

**SURVEY PLAN CERTIFICATION  
PROVINCE OF BRITISH COLUMBIA**

PAGE OF PAGES

By incorporating your electronic signature into this form you are also incorporating your electronic signature into the attached plan and you  
(a) represent that you are a subscriber and that you have incorporated your electronic signature to the attached electronic plan in accordance with section 168.73 (3) of the Land Title Act, RSBC 1996 c.250; and  
(b) certify the matters set out in section 168.73 (4) of the Land Title Act,  
Each term used in this representation and certification is to be given the meaning ascribed to it in part 10.1 of the Land Title Act.

1. BC LAND SURVEYOR: (Name, address, phone number)

Surveyor General Certification [For Surveyor General Use Only]

2. PLAN IDENTIFICATION:

Control Number:

Plan Number:

This original plan number assignment was done under Commission #:

LTO Document Reference:

3. CERTIFICATION:

Form 9

Explanatory Plan

Form 9A

The field survey was completed on:

(YYYY/Month/DD)

The checklist was filed under ECR#:

The plan was completed and checked on:

(YYYY/Month/DD)

I am a British Columbia land surveyor and certify that

this plan was completed and checked on:

(YYYY/Month/DD)

that the checklist was filed under ECR#:

and that the plan is correct in accordance with Land Title Office records.

I am a British Columbia land surveyor and certify that the buildings included in this strata plan have not been previously occupied as of

(YYYY/Month/DD)

None

Strata Form S

None

Strata Form U1

Strata Form U1/U2

I am a British Columbia land surveyor and certify that the buildings shown on this strata plan are within the external boundaries of the land that is the subject of the strata plan

Certification Date:

(YYYY/Month/DD)

I am a British Columbia land surveyor and certify:

1. That the buildings shown on this strata plan are within the external boundaries of the land that is the subject of the strata plan subject to clause 2 of this endorsement

2. That certain parts of the buildings are not within the external boundaries but appropriate and necessary easements of other interests are registered as set out in section 244 (1)(f) of the Strata Property Act.

Registered Charge Number(s):

Certification Date:

(YYYY/Month/DD)

Arterial Highway

I am a British Columbia land surveyor and certify that I am authorized by the Minister of Transportation and Infrastructure under section 44.1 of the Transportation Act to show certain lands identified on this plan dedicated as Arterial Highway.

4. ALTERATION:

LTO Document Reference:

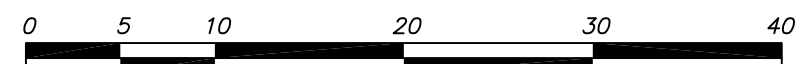
This is an alteration to a previous version of this plan identified by control number:

DESCRIPTION OF ALTERATION: SEE SCHEDULE

# STRATA PLAN OF LOT 1 DISTRICT LOT 8073 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP56721

STRATA PLAN EPS3219

RESORT MUNICIPALITY OF WHISTLER  
BCGS 92J.005



DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 560mm IN WIDTH BY 432mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:400

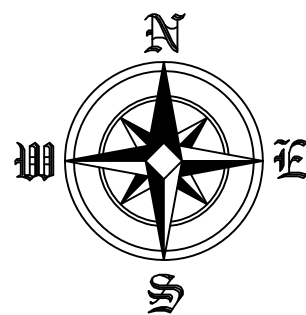
GRID BEARINGS ARE DERIVED FROM DUAL FREQUENCY GNSS OBSERVATIONS AND ARE REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 10 (123° WEST LONGITUDE).

THE UTM COORDINATES AND ESTIMATED HORIZONTAL POSITIONAL ACCURACY ACHIEVED ARE DERIVED FROM DUAL FREQUENCY GNSS OBSERVATIONS TO WHISTLER CONTROL MONUMENT No. 897059.

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY GROUND-LEVEL DISTANCES BY THE COMBINED FACTOR OF 0.99950690. THE COMBINED FACTOR HAS BEEN DETERMINED BASED ON AN ELLIPSOIDAL ELEVATION OF 597.7 METRES.

**NAME OF DEVELOPMENT**  
LEGACY WAY

**CIVIC ADDRESS:**  
1025 LEGACY WAY  
WHISTLER, B.C.



### LEGEND

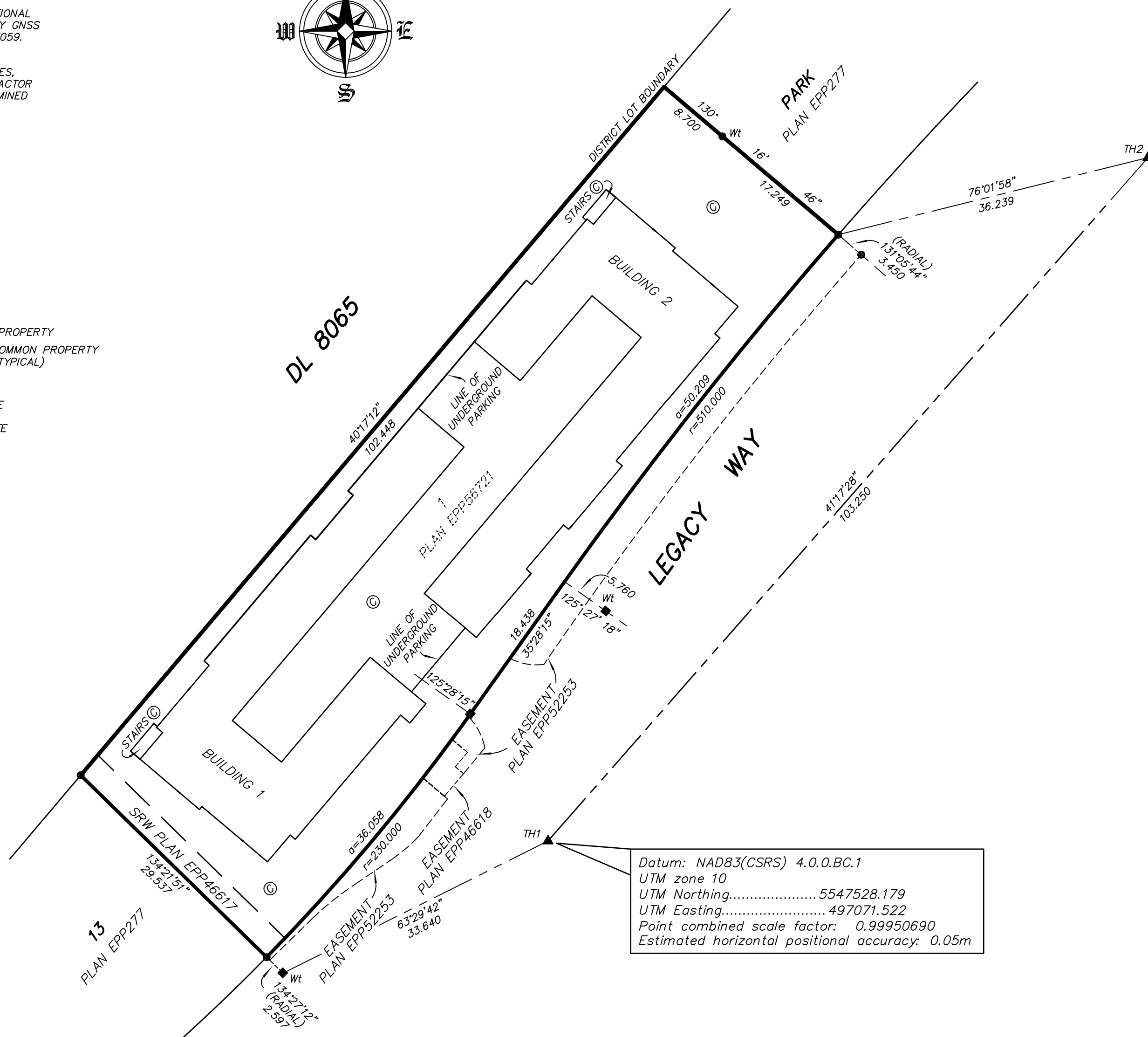
FOUND PLACED

- DENOTES STANDARD IRON POST
- DENOTES LEAD PLUG
- ▲ DENOTES GNSS CONTROL POINT
- SL DENOTES STRATA LOT
- m2 DENOTES SQUARE METRES
- LCP DENOTES LIMITED COMMON PROPERTY
- ⊙ DENOTES COMMON PROPERTY
- Ⓟ DENOTES PARKING STALL BEING COMMON PROPERTY
- Ⓟ-10 DENOTES PARKING STALL BEING LIMITED COMMON PROPERTY FOR EXCLUSIVE USE OF STRATA LOT 10 (TYPICAL)

STRATA LOT BOUNDARIES ARE MEASURED TO THE OUTSIDE OF SHEATHING ON EXTERIOR WALLS, THE CENTRE LINE OF INTERIOR WALLS, AND TO THE OUTSIDE FACE OF CONCRETE ON ELEVATOR CORE WALLS.

THE BUILDINGS SHOWN HEREON ARE WITHIN THE EXTERNAL BOUNDARIES OF THE LAND THAT IS THE SUBJECT OF THE STRATA PLAN

THE BUILDINGS INCLUDED IN THIS STRATA PLAN HAVE NOT BEEN PREVIOUSLY OCCUPIED



Datum: NAD83(CSRS) 4.0.0.BC.1  
 UTM zone 10 coordinates  
 UTM Northing..... 5547605.719  
 UTM Easting..... 497139.622  
 Point combined factor: 0.99950710  
 Estimated horizontal positional accuracy: 0.05 metres

Datum: NAD83(CSRS) 4.0.0.BC.1  
 UTM zone 10  
 UTM Northing..... 5547528.179  
 UTM Easting..... 497071.522  
 Point combined scale factor: 0.99950690  
 Estimated horizontal positional accuracy: 0.05m

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED ON THE 27th DAY OF OCTOBER, 2015.  
DARRYL J. MITCHELL, BCLS 689

THIS PLAN LIES WITHIN THE SQUAMISH-LILLOOET REGIONAL DISTRICT



**BUILDING LOCATION**

**STRATA PLAN EPS3219**

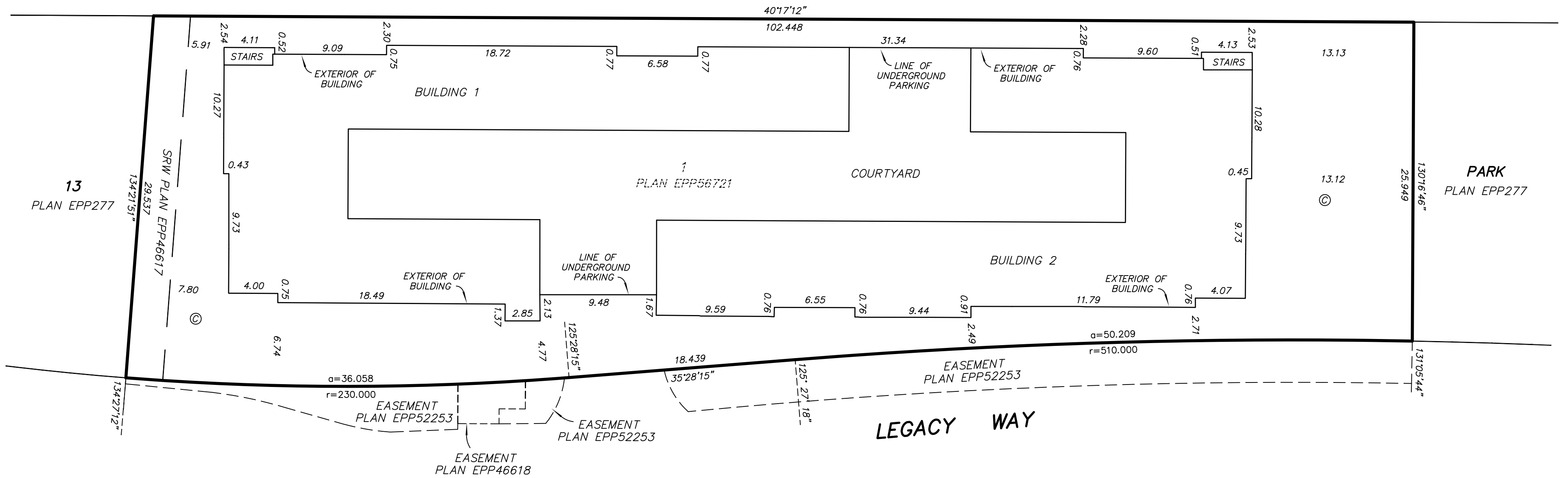


DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 560mm IN WIDTH BY 432mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:250

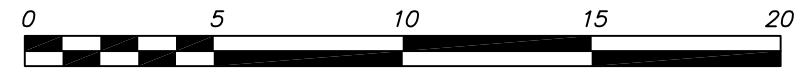


**DL 8065**



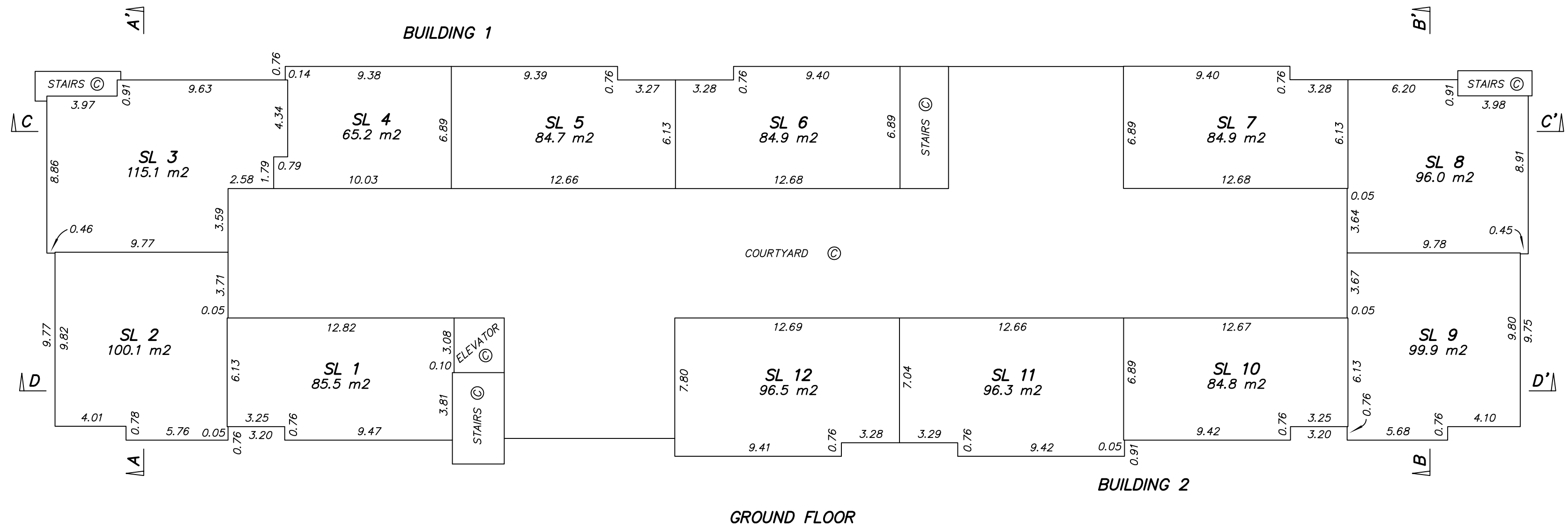
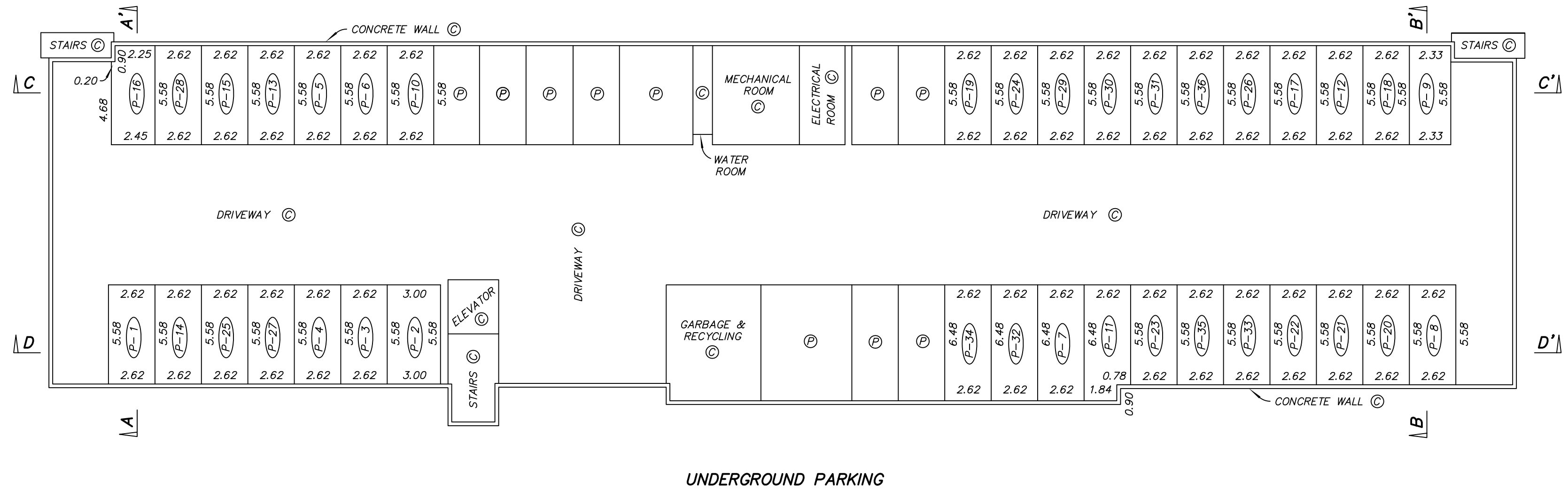
FLOOR PLANS

STRATA PLAN EPS3219



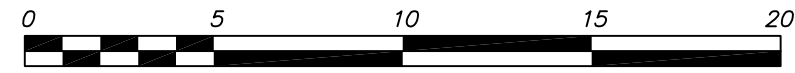
DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 560mm IN WIDTH BY 432mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:200



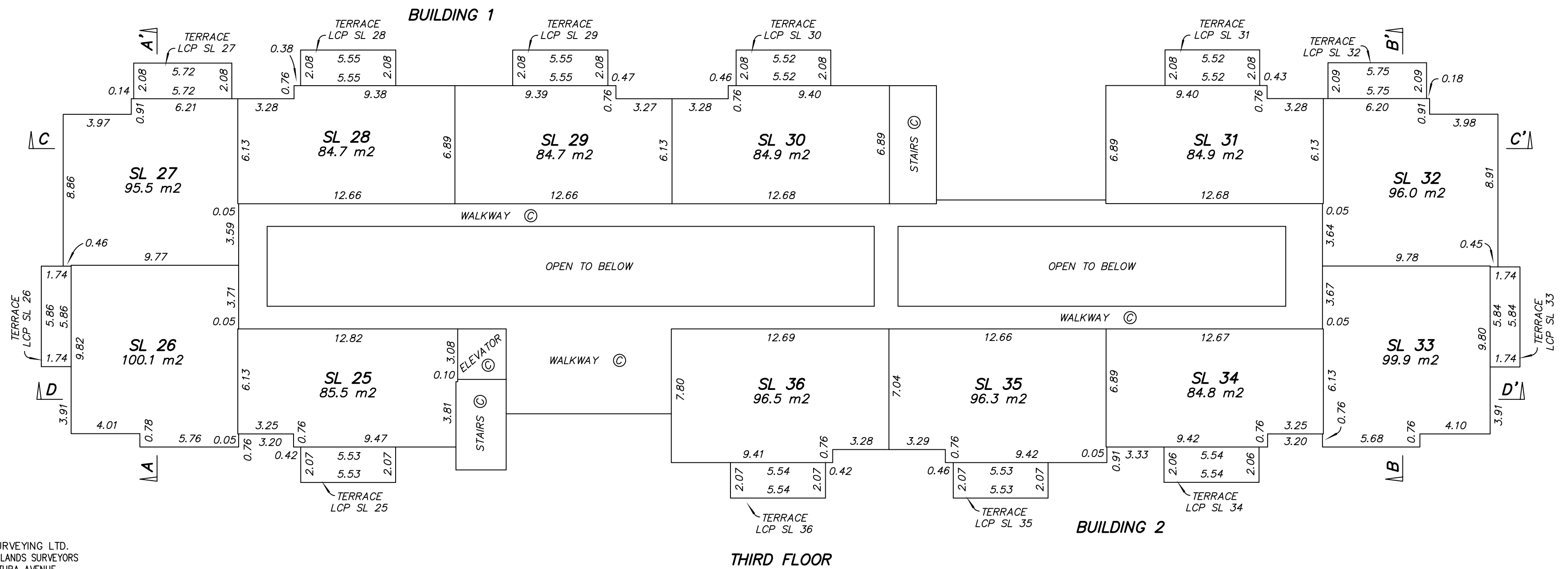
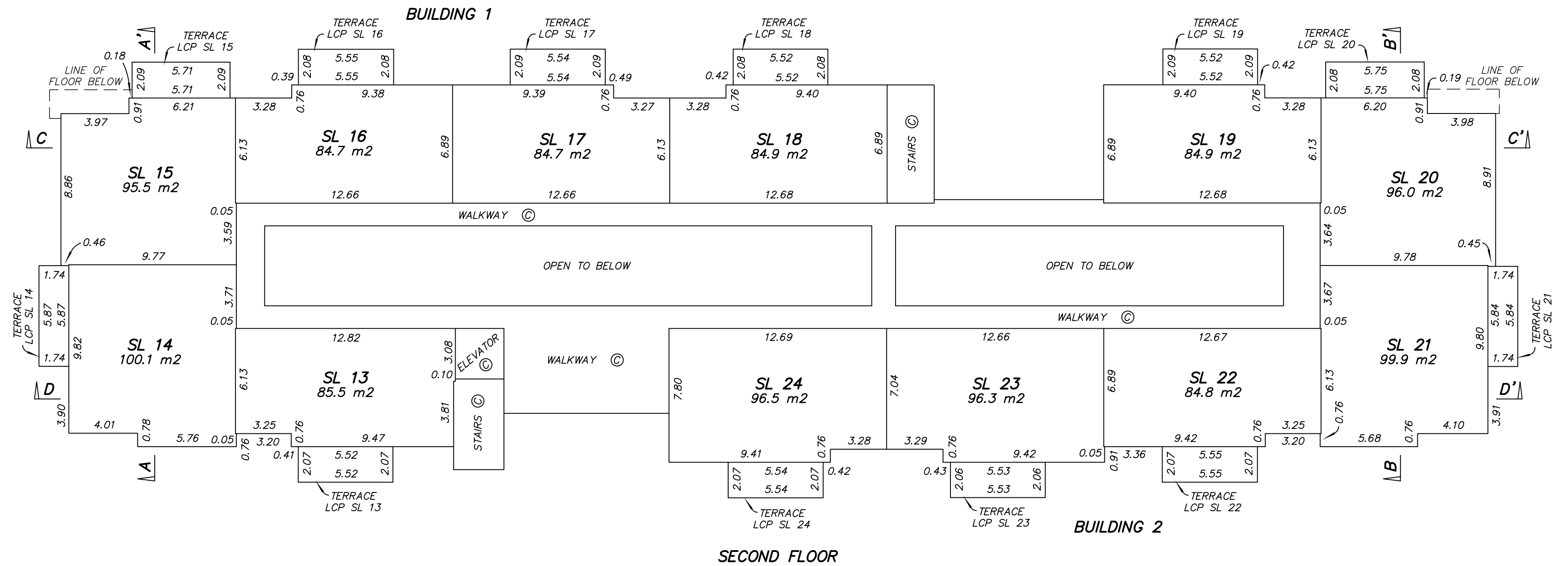
FLOOR PLANS

STRATA PLAN EPS3219



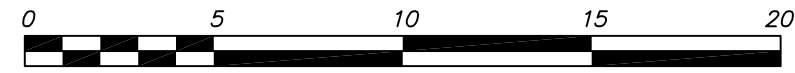
DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 560mm IN WIDTH BY 432mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:200



SECTIONS

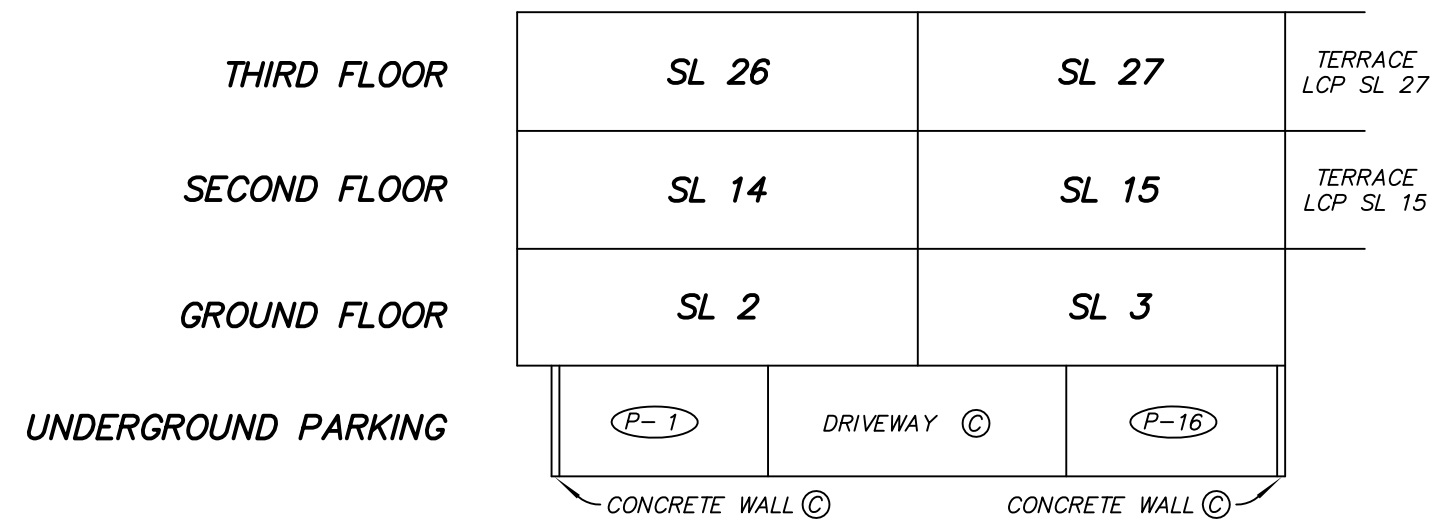
STRATA PLAN EPS3219



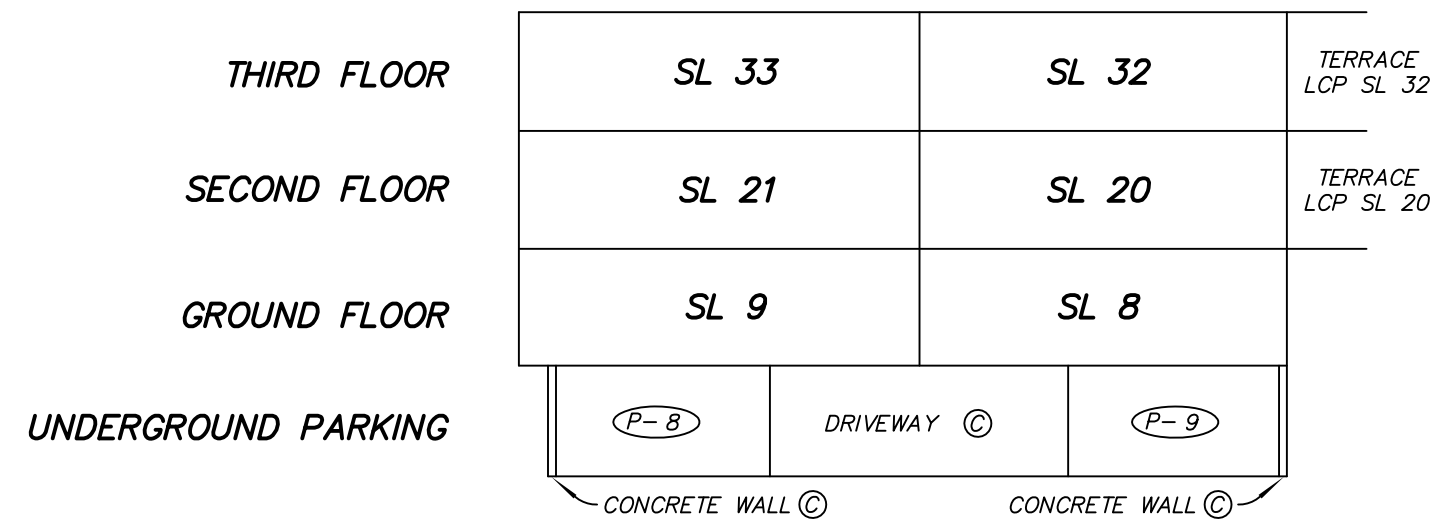
DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 560mm IN WIDTH BY 432mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:200

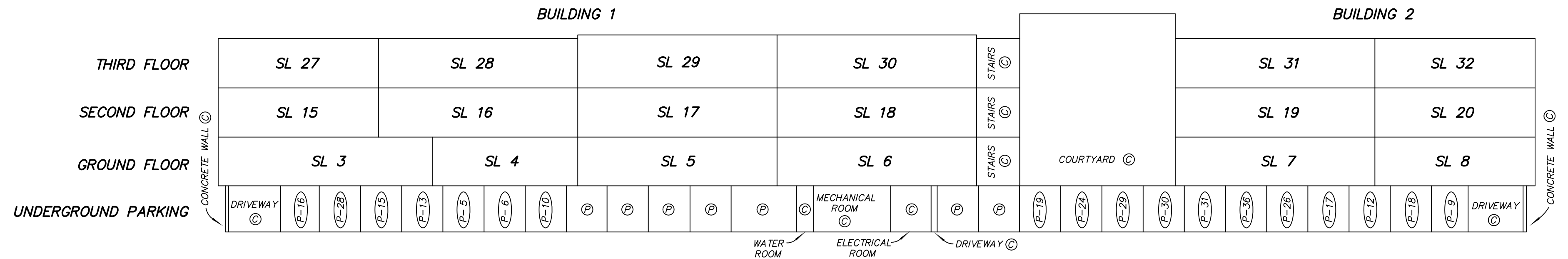
SECTION A - A'  
BUILDING 1



SECTION B - B'  
BUILDING 2



SECTION C - C'



SECTION D - D'

