SURVEY PLAN CERTIFICATION PROVINCE OF BRITISH COLUMBIA

By incorporating your electronic signature into this form you are also incorporating your electronic signature into the attached plan and you

(a) represent that you are a subscriber and that you have incorporated your electronic signature to the attached electronic plan in accordance with section

168.73 (3) of the Land Title Act, RSBC 1996 c.250; and

(b) certify the matters set out in section 168.73 (4) of the Land Title Act,

Each term used in this representation and certification is to be given the meaning

ascribed to it in part 10.1 of the Land Title Act.

1. BC LAND SURVEYOR: (Name, address, phone number)

Surveyor General Certification [For Surveyor General Use Only]

2. PLAN IDENTIFICATION:

Plan Number:

This original plan number assignment was done under Commission #:

LTO Document Reference:

Control Number:

3. CERTIFICATION: Form 9 Explanatory Plan Form 9A

The field survey was completed on: (YYYY/Month/DD) The checklist was filed under ECR#:

The plan was completed and checked on: (YYYY/Month/DD)

I am a British Columbia land surveyor and certify that

this plan was completed and checked on: (YYYY/Month/DD)

that the checklist was filed under ECR#:

and that the plan is correct in accordance with Land Title Office records.

I am a British Columbia land surveyor and certify that the buildings included in this strata plan have not been previously

None

Strata Form S

occupied as of (YYYY/Month/DD)

None Strata Form U1 Strata Form U1/U2

I am a British Columbia land surveyor and certify that the buildings shown on this strata plan are within the external boundaries of the land that is the subject of the strata plan

Certification Date: (YYYY/Month/DD)

I am a British Columbia land surveyor and certify:

- 1. That the buildings shown on this strata plan are within the external boundaries of the land that is the subject of the strata plan subject to clause 2 of this endorsement
- 2. That certain parts of the buildings are not within the external boundaries but appropriate and necessary easements of other interests are registered as set out in section 244 (1)(f) of the Strata Property Act.

Registered Charge Number(s):

Certification Date: (YYYY/Month/DD)

Arterial Highway I am a British Columbia land surveyor and certify that I am authorized by the Minister of Transportation and Infrastructure under section 44.1 of the Transportation Act to show certain lands identified on this plan dedicated as Arterial Highway.

4. ALTERATION: LTO Document Reference:

This is an alteration to a previous version of this plan identified by control number:

DESCRIPTION OF ALTERATION: SEE SCHEDULE

PAGE

OF

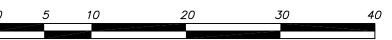
PAGES

STRATA PLAN EPS3219

STRATA PLAN OF LOT 1 DISTRICT LOT 8073 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP56721

RESORT MUNICIPALITY OF WHISTLER

BCGS 92J.005



DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 560mm IN WIDTH BY 432mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:400

GRID BEARINGS ARE DERIVED FROM DUAL FREQUENCY GNSS OBSERVATIONS AND ARE REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 10 (123° WEST LONGITUDE).

THE UTM COORDINATES AND ESTIMATED HORIZONTAL POSITIONAL ACCURACY ACHIEVED ARE DERIVED FROM DUAL FREQUENCY GNSS OBSERVATIONS TO WHISTLER CONTROL MONUMENT No. 897059.

THIS PLAN SHOWS HORIZONTAL GROUND—LEVEL DISTANCES UNLESS OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY GROUND—LEVEL DISTANCES BY THE COMBINED FACTOR OF 0.99950690. THE COMBINED FACTOR HAS BEEN DETERMINED BASED ON AN ELLIPSOIDAL ELEVATION OF 597.7 METRES.

<u>LEGEND</u>

FOUND PLACED

DENOTES STANDARD IRON POST

■ DENOTES LEAD PLUG

▲ DENOTES GNSS CONTROL POINT

SL DENOTES STRATA LOT

m2 DENOTES SQUARE METRES

LCP DENOTES LIMITED COMMON PROPERTY

© DENOTES COMMON PROPERTY

DENOTES PARKING STALL BEING COMMON PROPERTY

DENOTES PARKING STALL BEING LIMITED COMMON PROPERTY

FOR EXCLUSIVE USE OF STRATA LOT 10 (TYPICAL)

STRATA LOT BOUNDARIES ARE MEASURED TO THE OUTSIDE

OF SHEATHING ON EXTERIOR WALLS, THE CENTRE LINE OF INTERIOR WALLS, AND TO THE OUTSIDE FACE OF CONCRETE

ON ELEVATOR CORE WALLS.

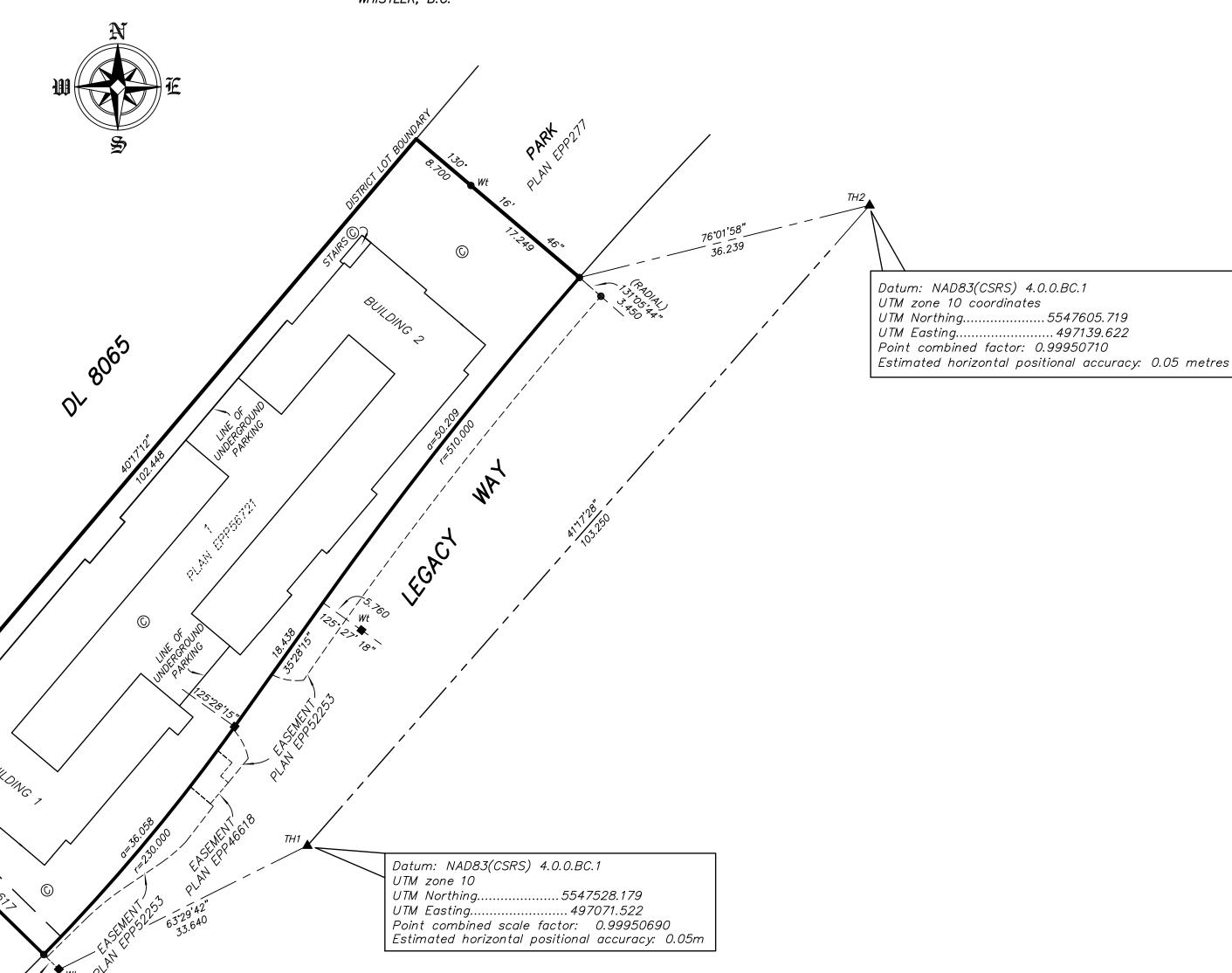
THE BUILDINGS SHOWN HEREON ARE WITHIN THE EXTERNAL BOUNDARIES OF THE LAND THAT IS

THE BUILDINGS INCLUDED IN THIS STRATA PLAN HAVE NOT BEEN PREVIOUSLY OCCUPIED

THE SUBJECT OF THE STRATA PLAN

NAME OF DEVELOPMENT LEGACY WAY

CIVIC ADDRESS: 1025 LEGACY WAY WHISTLER, B.C.



AXIS LAND SURVEYING LTD.
B.C. & CANADA LANDS SURVEYORS
101, 32885 VENTURA AVENUE
ABBOTSFORD, B.C. V2S 6A3
T. 604-853-2700 F. 604-853-2710
FILE: M 4832

DWG: 4832-FS

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED ON THE 27th DAY OF OCTOBER, 2015.

DARRYL J. MITCHELL, BCLS 689

STRATA PLAN EPS3219

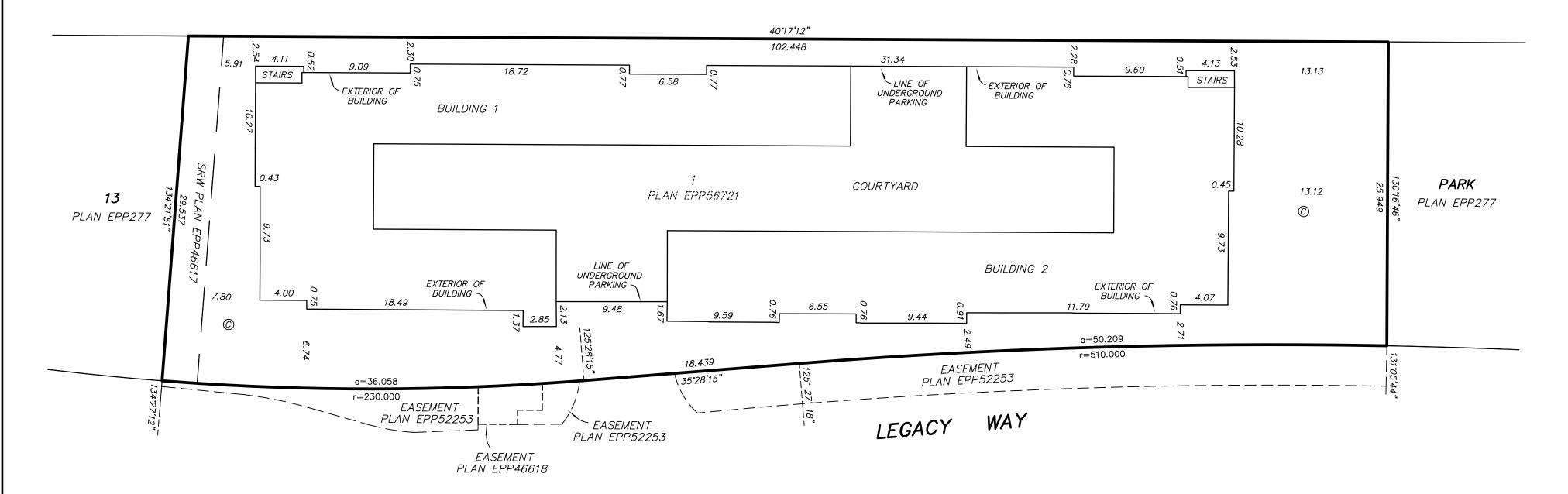
DISTANCES ARE IN METRES

BUILDING LOCATION

THE INTENDED PLOT SIZE OF THIS PLAN IS 560mm IN WIDTH BY 432mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:250

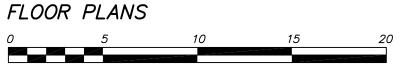


DL 8065





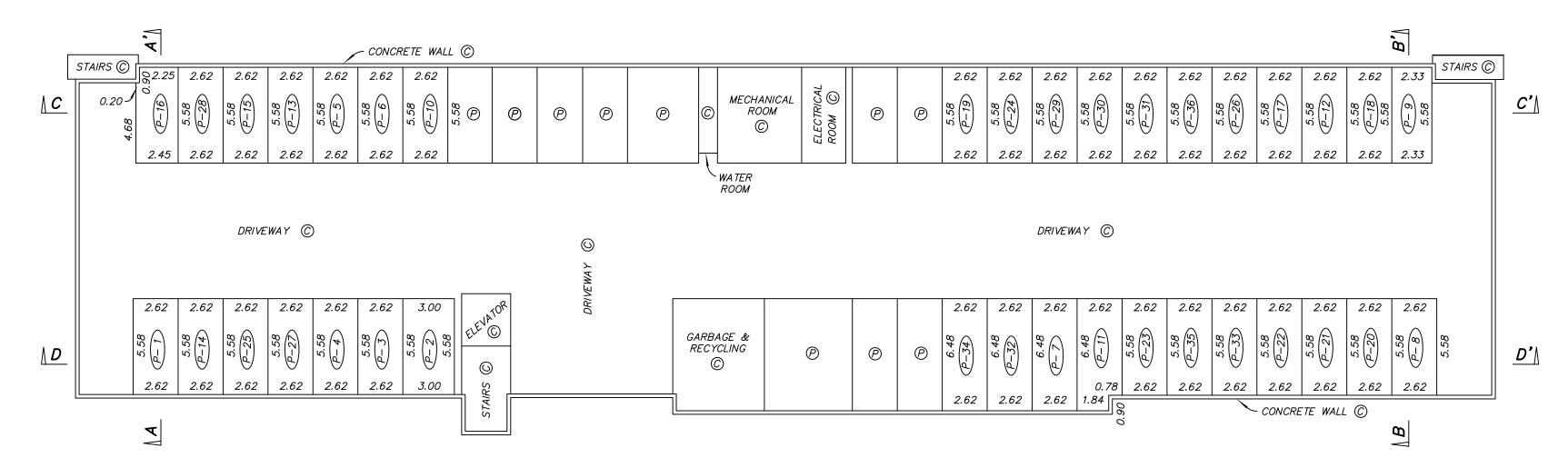
AXIS LAND SURVEYING LTD. B.C. & CANADA LANDS SURVEYORS 101, 32885 VENTURA AVENUE ABBOTSFORD, B.C. V2S 6A3 T. 604-853-2700 F. 604-853-2710 FILE: M 4832



DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 560mm IN WIDTH BY 432mm

IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:200



UNDERGROUND PARKING



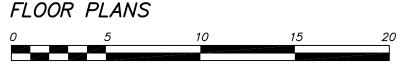
A'A B'BUILDING 1 0.14 9.38 9.39 9.40 9.40 STAIRS © STAIRS © 3.28 9.63 3.27 *3.28* \odot 3.97 3.98 $\c C$ SL **4** 65.2 m2 SL 7 84.9 m2 C' SL 5 SL 6 STAIRS 84.9 m2 84.7 m2 0.79 2.58 -SL 3 115.1 m2 **SL 8** 96.0 m2 10.03 12.66 12.68 12.68 0.05 0.45 9.77 9.78 COURTYARD © 0.05 0.05 12.67 12.82 12.69 12.66 SL 9 SL 2 100.1 m2 99.9 m2 0.10 SL 1 SL 10 SL 12 SL 11 D**D**' 85.5 m2 84.8 m2 96.5 m2 0 96.3 m2 STAIRS 4.01 *3.25* 4.10 5.76 0.05 \omega 3.20 9.47 9.42 9. 5.68 *3.28* 0.05 16.0 3.20 3.29 9.41 9.42 $\backslash B$ BUILDING 2

GROUND FLOOR



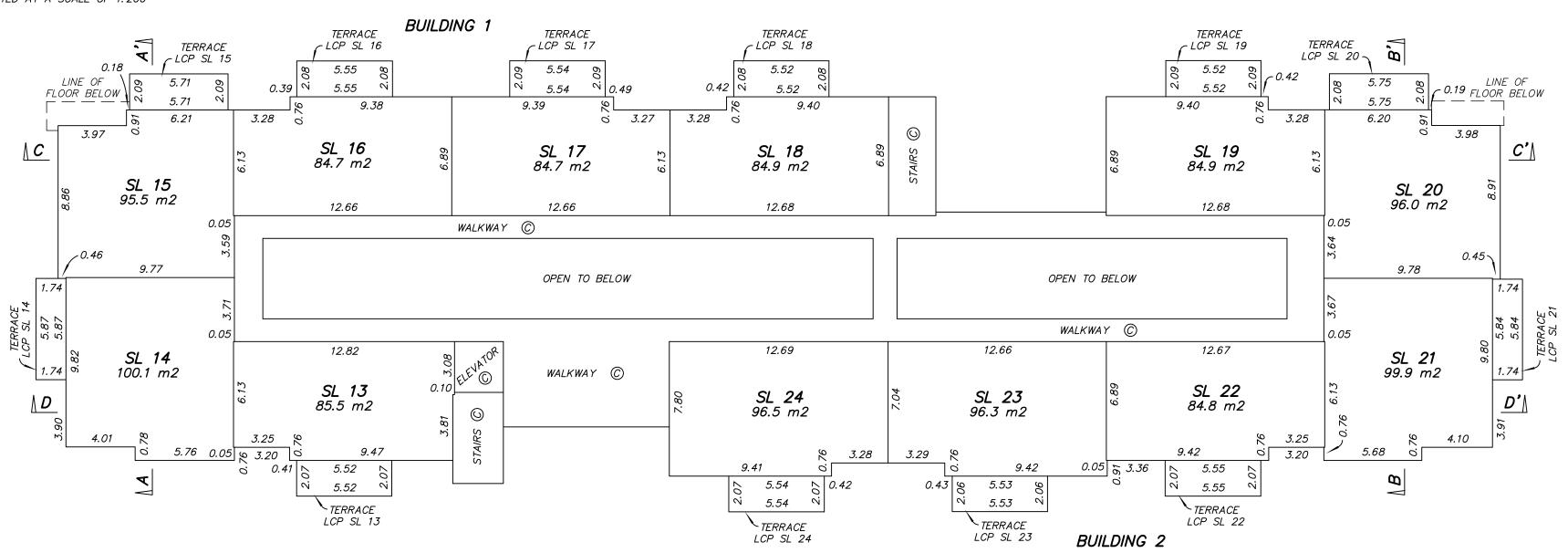
AXIS LAND SURVEYING LTD. B.C. & CANADA LANDS SURVEYORS 101, 32885 VENTURA AVENUE ABBOTSFORD, B.C. V2S 6A3 T. 604-853-2700 F. 604-853-2710 FILE: M 4832

DWG: 4832-FS



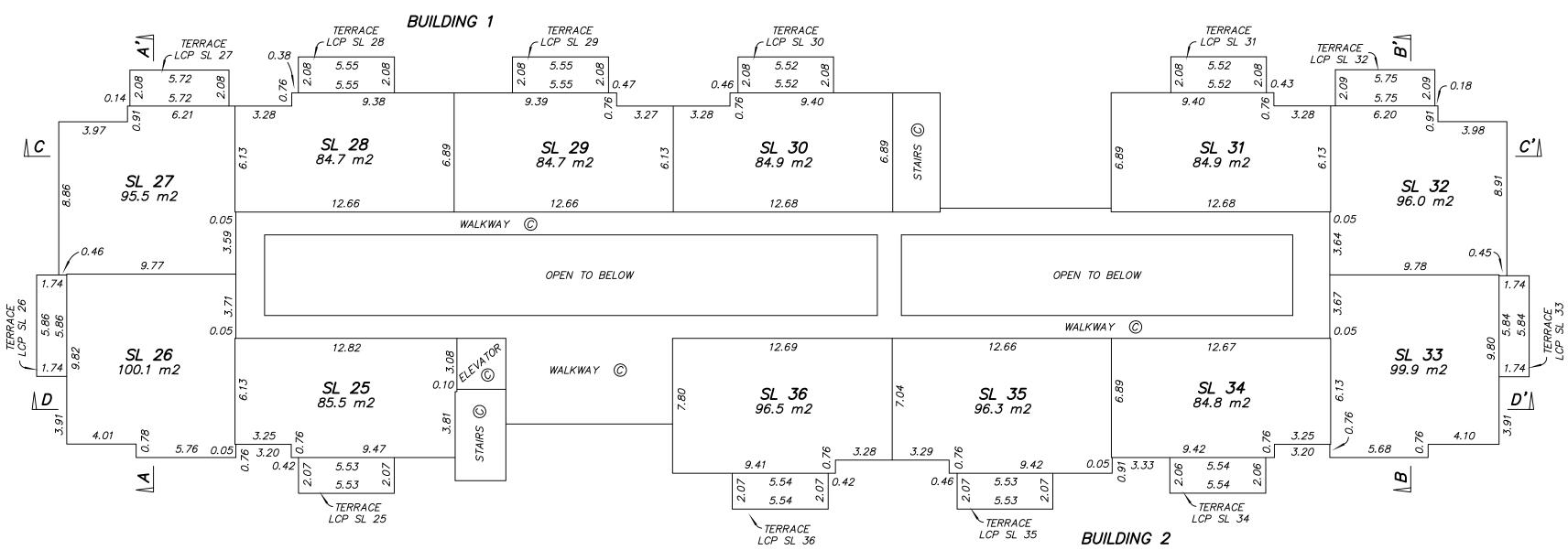
DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 560mm IN WIDTH BY 432mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:200

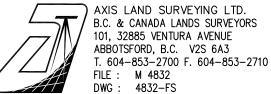


SECOND FLOOR





THIRD FLOOR



OCTOBER 29, 2015 DARRYL MITCHELL, BCLS

STRATA PLAN EPS3219

SECTIONS DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 560mm IN WIDTH BY 432mm

IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:200

SECTION B - B' SECTION A - A' **BUILDING 1** BUILDING 2 TERRACE TERRACE SL 26 SL 27 SL 33 SL 32 THIRD FLOOR THIRD FLOOR LCP SL 27 LCP SL 32 TERRACE TERRACE SECOND FLOOR SECOND FLOOR SL 14 SL 15 SL 21 SL 20 LCP SL 15 LCP SL 20 SL 2 SL 3 SL 9 SL 8 GROUND FLOOR GROUND FLOOR P-16 P-8 P-9 P-1) DRIVEWAY © DRIVEWAY (C) UNDERGROUND PARKING UNDERGROUND PARKING CONCRETE WALL (C) -CONCRETE WALL (C) CONCRETE WALL @-~ CONCRETE WALL €

SECTION C - C'BUILDING 1 BUILDING 2 STAIRS © SL 29 SL 27 SL 28 SL 30 SL 31 SL 32 THIRD FLOOR STAIRS © SECOND FLOOR 🕤 SL 17 SL 15 SL 16 SL 18 SL 19 SL 20 \odot TAIRS © SL 3 SL 4 SL 5 SL 6 COURTYARD © SL 7 SL 8 GROUND FLOOR MECHANICAL DRIVEWAY DRIVEWAY P P P P P P ROOM UNDERGROUND PARKING © WATER ~ ROOM ELECTRICAL~ DRIVEWAY (C) ROOM

SECTION D - D'**BUILDING 1** BUILDING 2 STAIRS © SL 26 SL 25 SL 36 SL 35 SL 34 SL 33 THIRD FLOOR WALKWAY © TAIRS © SECOND FLOOR 🕤 SL 14 SL 13 SL 24 SL 23 SL 22 SL 21 WALKWAY © TAIRS © SL 1 SL 12 SL 11 SL 9 SL 2 COURTYARD © SL 10 GROUND FLOOR GARBAGE & RECYCLING TAIRS DRIVEWAY P P P DRIVEWAY (C) UNDERGROUND PARKING \bigcirc \bigcirc **©** DRIVEWAY (C) ~



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