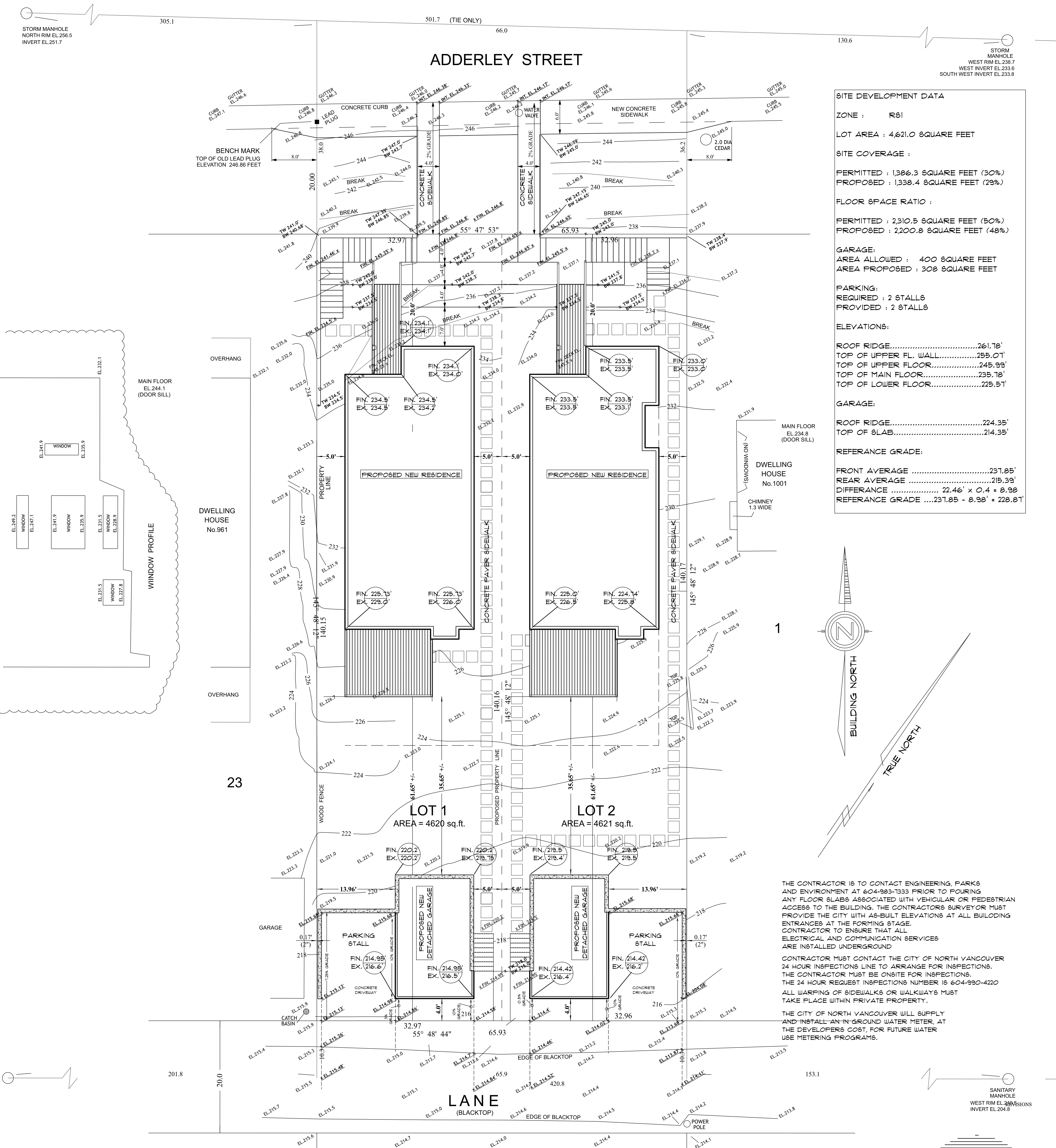


TOPOGRAPHIC SURVEY PLAN OF LOT 'A' (EXPLANATORY PLAN 3473),  
BLOCK 3, DISTRICT LOT 272, PLAN 3875

P.I.D. 012-088-307

SCALE 1 INCH = 8 FEET



**SITE DEVELOPMENT DATA**

ZONE : R81

LOT AREA : 4,621.0 SQUARE FEET

SITE COVERAGE :

PERMITTED : 1,386.3 SQUARE FEET (30%)  
PROPOSED : 1,388.4 SQUARE FEET (29%)

FLOOR SPACE RATIO :

PERMITTED : 2,310.5 SQUARE FEET (50%)  
PROPOSED : 2,200.8 SQUARE FEET (48%)

GARAGE:  
AREA ALLOWED : 400 SQUARE FEET  
AREA PROPOSED : 308 SQUARE FEET

PARKING:  
REQUIRED : 2 STALLS  
PROVIDED : 2 STALLS

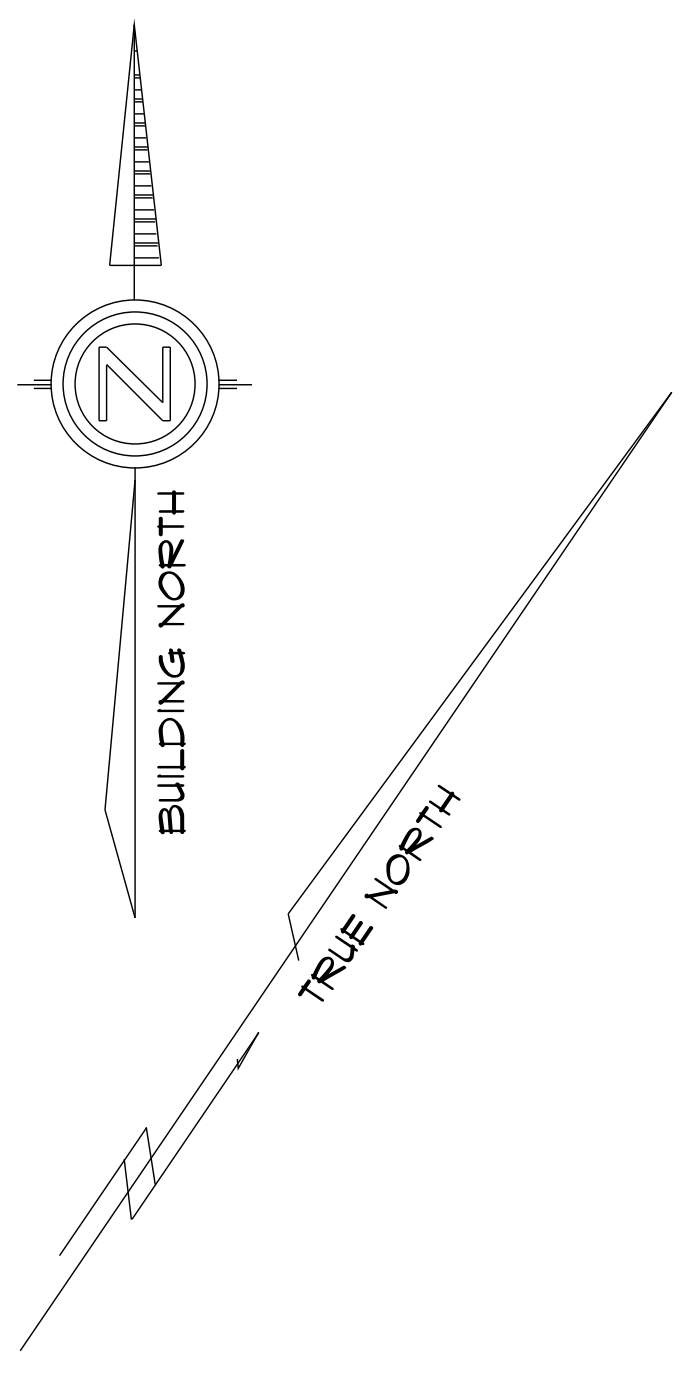
ELEVATIONS:

ROOF RIDGE.....261.78'  
TOP OF UPPER FL. WALL.....255.07'  
TOP OF UPPER FLOOR.....245.99'  
TOP OF MAIN FLOOR.....235.18'  
TOP OF LOWER FLOOR.....225.51'

GARAGE:  
ROOF RIDGE.....224.35'  
TOP OF SLAB.....214.35'

REFERENCE GRADE:

FRONT AVERAGE .....237.85'  
REAR AVERAGE .....215.39'  
DIFFERENCE ..... 22.46' x 0.4 = 8.98'  
REFERENCE GRADE .....237.85' - 8.98' = 228.87'



THE CONTRACTOR IS TO CONTACT ENGINEERING, PARKS AND ENVIRONMENT AT 604-983-1333 PRIOR TO POURING ANY FLOOR SLABS ASSOCIATED WITH VEHICULAR OR PEDESTRIAN ACCESS TO THE BUILDING. THE CONTRACTORS SURVEYOR MUST PROVIDE THE CITY WITH AS-BUILT ELEVATIONS AT ALL BUILDING ENTRANCES AT THE FORMING STAGE. CONTRACTOR TO ENSURE THAT ALL ELECTRICAL AND COMMUNICATION SERVICES ARE INSTALLED UNDERGROUND

CONTRACTOR MUST CONTACT THE CITY OF NORTH VANCOUVER 24 HOUR INSPECTIONS LINE TO ARRANGE FOR INSPECTIONS. THE CONTRACTOR MUST BE ON SITE FOR INSPECTIONS. THE 24 HOUR REQUEST INSPECTIONS NUMBER IS 604-930-4220 ALL WARPING OF SIDEWALKS OR WALKWAYS MUST TAKE PLACE WITHIN PRIVATE PROPERTY.

THE CITY OF NORTH VANCOUVER WILL SUPPLY AND INSTALL AN "IN" GROUND WATER METER, AT THE DEVELOPER'S COST, FOR FUTURE WATER USE METERING PROGRAMS.

**ELEVATIONS**

ELEVATIONS ARE TO GEODETIC DATUM (CVD28GVRD).

BENCH MARK USED : CONTROL MONUMENT 87H 3710 LOCATED AT THE INTERSECTION OF CLOVERLEY STREET AND HENDRY AVENUE ELEVATION 233.73 FEET (GEODETIC DATUM)

BENCH MARK SET: TOP OF OLD LEAD PLUG LOCATED 20 FEET NORTH OF THE NORTH WEST CORNER OF LOT 'A' ELEVATION 246.86 FEET

THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED

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**NOTE:**

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR THROUGH ERRORS OR OMISSIONS ON PLANS OR SPECIFICATIONS AFTER THE BUILDING PERMIT HAS BEEN ISSUED. THESE PLANS AND CONCEPTS ARE PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND NO PLAN OR PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. VERBAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

**LOT 2**

1 of 7

**Project**  
PARENTE RESIDENCE  
AT 975 ADDERLEY ST.  
NORTH VANCOUVER

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**SITE PLAN**  
Drawing  
Drawn By BC Date AUG. 2018  
SCALE: 1/8" = 1'-0"