

Construction Notes

These plans and concepts are protected by copyright and may not be reproduced in whole or in part without the express written consent of the designer.

General Conditions:

- The general contractor shall check all dimensions and conditions before commencing with any work. Any discrepancies are to be reported to the designer before proceeding with any work.
- All setbacks and building locations shall be confirmed by a registered British Columbia Land Surveyor.
- Written dimensions take precedence over scaled dimensions. Do not attempt to scale drawings to find an unknown dimension contact the designer.
- The designer shall not be responsible for any costs incurred to the owner or general contractor due to errors or omissions in these plans after a building permit has been issued for this project.

Construction shall comply with
The British Columbia Building Code 2018 (BCBC).

Foundations:

- Concrete shall be 32 mpa (3,000 psi) at 28 days.
- Footings shall extend a minimum of 18" below grade and to solid bearing.
- Fill foundations to rock as described in structural drawings.
- Provide a minimum of 2 coats of asphalt waterproofing or an approved waterproofing membrane over the exterior face of foundation walls.
- Provide 1/2" anchor bolts @ 6" o/c or anchor straps @ 4" o/c maximum spacing.
- Anchor posts to footings with pinned anchor saddles embedded in footings.
- Provide a damp proofing felt or equal between plates and concrete foundations where there is a potential for contact or provide pressure treated plates.
- Provide a non-binding agent between the tops of foundations and concrete slabs to prevent bonding.
- Provide a minimum 6 mil u.v. layer of poly under concrete slabs and skin coats.
- Fill under concrete slabs and skins is to be non organic.

Framing:

- All framing is to be to * 9.23 BCBC.
- All load bearing lumber to be Douglas Fir #2 or better.
- Limits are to be 2x10 DPT2 or better.
- All deck framing is to be pressure treated.
- Glulam, parallel, microlam and other manufactured beams are to be engineer designed and the general contractor will provide certificates of manufacture as required before erection.
- Roof and floor trusses are to be engineer designed and shop drawings showing truss layout and details are to be provided to the building inspector as required.
- Cross bridge floor and roof joists @ T/O/C maximum.

Stairs:

- Straight stair: Rise min. 4.92" max. 7.81"
Run min. 8.21" max. 13.98"
Tread min. 9.25" max. 13.98"
- All treads to have a 1" nosing.
- Minimum headroom is 6'-5" measured vertically from an imaginary line connecting the stair nosings.
- Handrail height is to be between 32" and 38" measured as clear height over stairs.
- Handrails to conform to #3.8.4.5.
- Minimum stair width is 2'-0".
- Curved stairs and stairs greater than 43" in width require a handrail on both sides of the stair.
- A handrail is required for interior stairs with more than 2 risers and for exterior stairs with more than 3 risers.
- No member facilitating climbing above 4" to 36" from the deck or stair surface is permitted in the handrail assembly.
- The maximum opening size within the balustrade width is 4".

Guardrails:

- Guardrail height is 36" where the vertical distance to grade is 5'-11" or less. Where the vertical distance is greater, the guard height is 3'-6" or as noted.
- All guards to have a nosing unless engineer approved.
- A guard is required where there is a drop of 24" or more.
- A guard is required where the adjacent surface within 4' of the walking surface has a slope greater than 1 in 2.

Safety Glass:

- Glass within 36" of a door shall be safety glass.
- Glass in exterior doors, showers, french, and sliding doors shall be safety glass.
- Windows in walls enclosing showers or bathtubs shall be safety glass and located above the waterproof finish height.
- Mirrored doors are to be safety glass and blocked with solid material.
- Glass within 8" of the floor is to be safety glass.

Cladding:

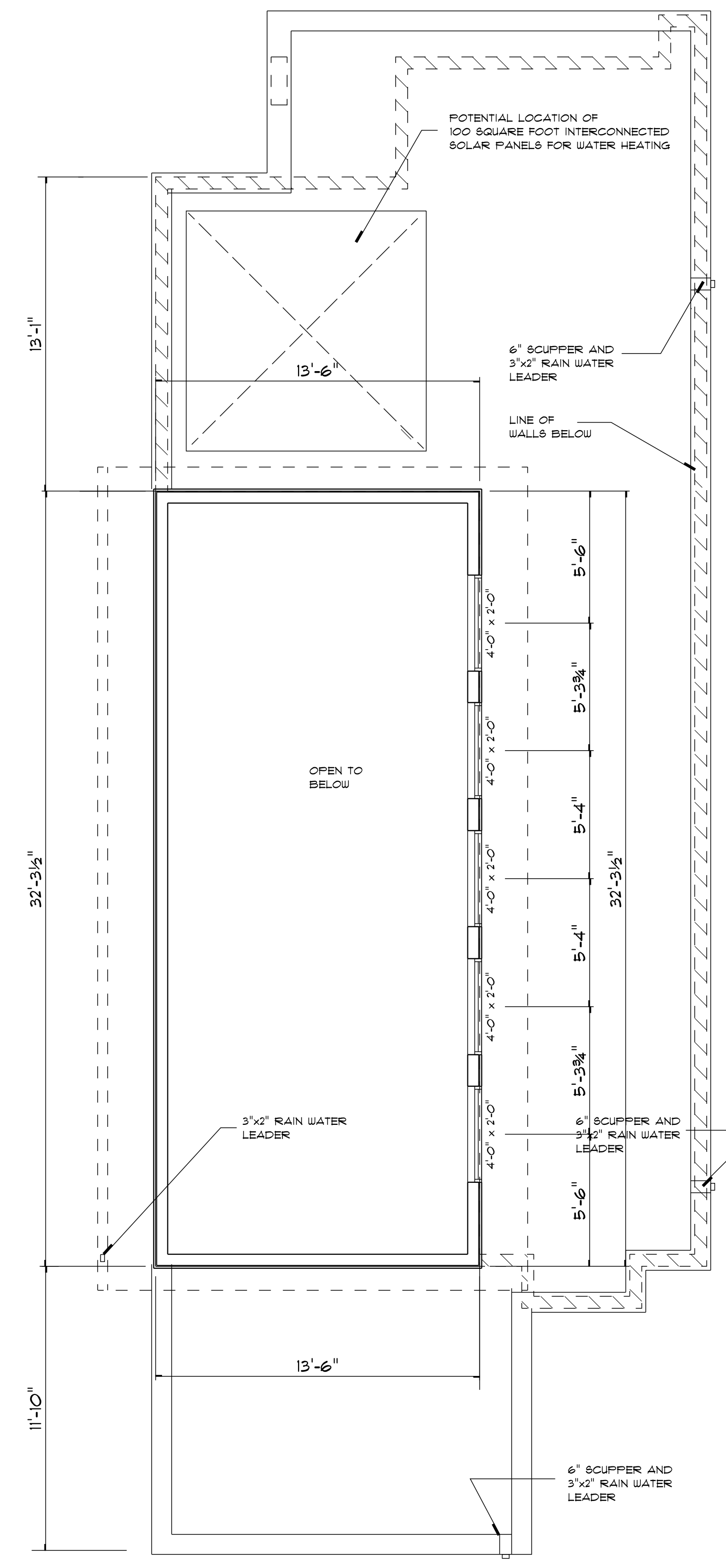
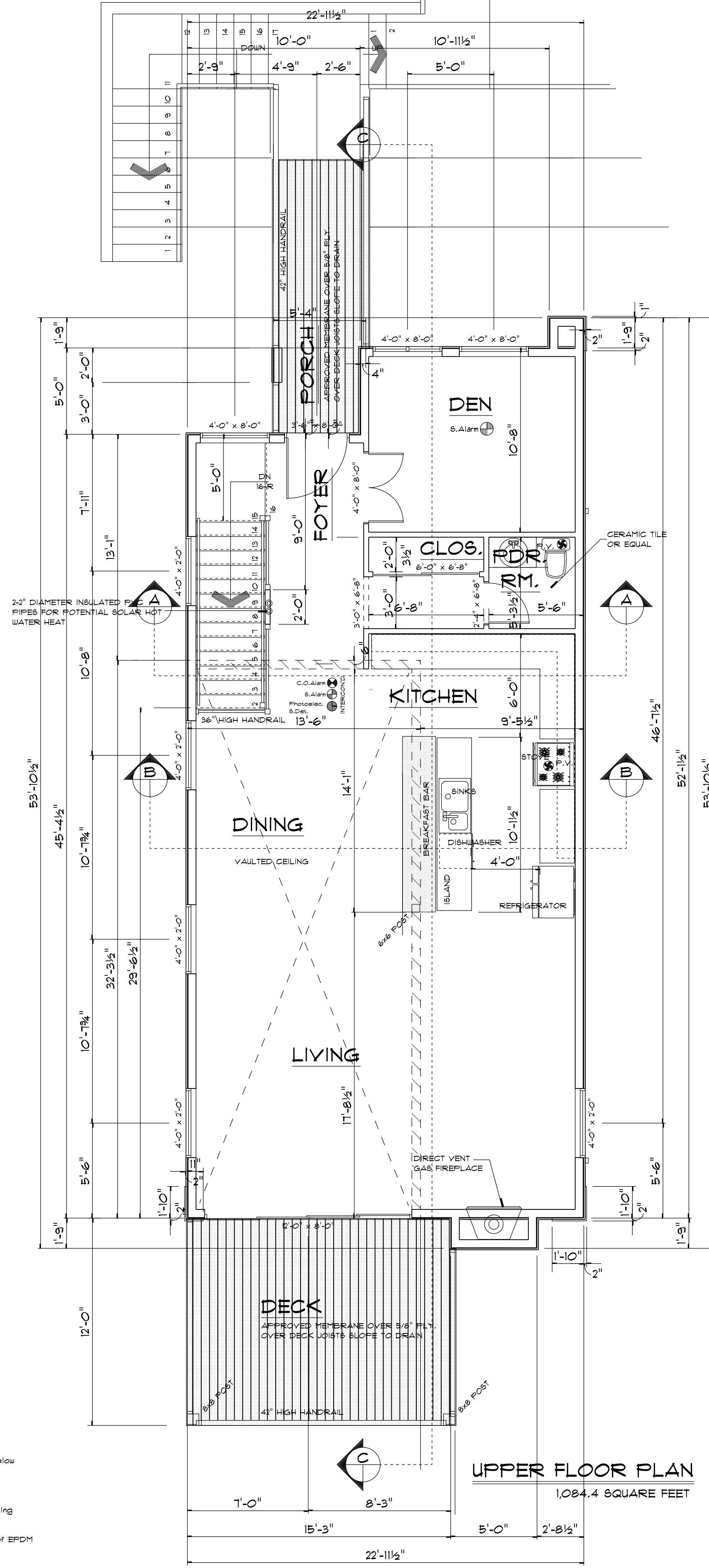
- Cladding shall conform to #3.21 BCBC
- All flashing shall conform to #3.21.3.1 BCBC and installed to conform with #3.21.3.8 BCBC
- All cladding shall conform to section #3.21.4 BCBC

Fireplaces and Chimneys:

- Fireplaces and chimneys shall conform to #3.21 and #3.22.
- Provide 2" clearance between chimney and combustible framing.
- Masonry hearths shall conform to #3.22.5.1
- Provide flueliners to #3.21.3. Flue sizes to 3.21.2.5a & b
- Provide clearouts to #3.21.4.1
- Provide 4" firebrick lining to firebox.
- Provide dampers
- Factory built fireplaces and chimneys shall be installed to manufacturers specifications and to meet ULC listing requirements.
- Provide non combustible protection under non combustible hearth.
- Fireplaces to have tight fitting doors and outside combustion air supplied directly to the firebox.

Moisture Protection:

- Provide flashing between horizontal intersections of differing wall finishes. All flashing to slope away from the building at 6% minimum.
- Provide flashing at all wall - roof junctions, including parapets for guards on decks.
- Rainscreen assembly required for all buildings with a minimum capillary break of 3/8"
- All platforms are roofs.
- All roofs must slope a minimum of 1 in 50 away from walls including parapet walls surrounding decks. Ensure adequate drainage from those enclosed deck areas with roof scuppers and or drains.
- 6" clearance required from deck membrane and floor.
- All window and door head flashings (with a 4" high back leg) must be placed so that no end clams run past outer edges of by 3/8" where there is wood trim to allow for rot and calk between the frame and trim.
- All exterior fasteners shall be approved hot dipped galvanized.
- All horizontal vinyl "J" trims shall be perforated @ 3/16" holes @ 16" o/c.
- All exterior doors shall be set into 2" continuous beads of urethane caulk at the sill and 2" up the jamb. The doorframe brick molds must also be back caulked.
- All wood cladding products are to be back primed.
- A through wall flashing is required at all horizontal expansion joints, building band trims, and below the gable and louver vents. All through wall flashings must have a 4" high back leg. All horizontal laps must be 6" minimum and caulked.
- All wall vents shall be back caulked at the top and side flanges to a piece of 2x2 60 minute flashing paper placed behind the vent. Place the field paper over the top and side flanges only lap the bottom of the 2x2 flashing paper over the field paper (hingle stile) and provide a flashing @/w and dams over all vents. Caulk the sides of the vents to the cladding.
- All vents must be approved before installing.
- All exterior hose bibs are to be placed through a 1/4" hole in the centre of a 12"x12" piece of EPDM roofing lapped angle style into the building paper.
- All penetrations must have an approved vinyl trim kit.
- All exterior structural wood shall be pressure treated.



Energy Efficiency:

- All heating, ventilation and insulation components are to conform to regulations outlined in section #3.36
- All habitable spaces are to achieve Step Code 3 performance.
- Energy efficiency components are to be designed by a Certified Energy Performance Advisor.
- Notify the designer in the event of conflict between assembly descriptions between these drawings and those of the Energy Performance Advisor.

Ventilation:

- Provide combustion air to Forced Air furnaces
- Provide exhaust fans that provide half an air change an hour located in bathrooms and kitchens.
- Provide fresh, tempered air to all habitable spaces with humidity control at a static pressure of 0.25" of water.
- Air is to be mechanically vented from all kitchens, bathrooms and laundry rooms.
- Air to be ducted to a centrally located and continuously running 2 speed exhaust fan (speed controlled from sources).
- Duct systems shall be sized according to exhaust manufacturer recommendations. Duct layout to be designed by trade.
- Air baffles shall form a continuous envelope on the inside surfaces of the building.
- Provide sealed or lapped joints at least 4" wide at framing members, furring or blocking.
- Provide vapour barrier protection at the inside of box joists.
- Holes through vapour barriers for mechanical and electrical services shall be sealed to retain the integrity of the air envelope.
- Vapour proof electrical boxes are recommended for exterior walls.
- Attic access hatches are to be weatherstripped and have an air barrier.
- Uniformly ventilate roof spaces at a 1:300 ratio of the insulated floor area. Ventilation ratio is to be 1:150 in conditions where the roof slope is 2/12 or less.
- Provide a minimum of 25% of the required ventilation area at the roof ridge.
- All ducts intended for the discharge of air to the outdoors shall be equipped with a motorized, gravity or spring operated backflow damper.
- All ducts and plenums carrying conditioned air and located within the plane of insulation shall have all joints sealed against air infiltration and exfiltration with sealants or gaskets made from liquids, mastics, or heat applied materials.
- Ventilate attics @ 1/300 ratio of insulated ceiling area. Ventilate flat roofs @ 1/150 ratio.
- Roof vents are to be uniformly distributed with a minimum of 25% at the base and 25% at the roof stop.
- Submit mechanical ventilation/ air conditioning design and letter of supervision by a Professional Engineer certified HRAI or HVC Technician at frame and final inspection.
- Heat Recovery Ventilators are to be installed to manufacturers specifications.

Vapour Barrier:

- Where an interior frame wall meets a ceiling required to have vapour protection on an exterior wall, the vapour barrier shall be continuous at the ceiling or wall intersection.
- Provide vapour barrier protection to the inside of insulation on the inside of box joist or as rigid foam insulation.
- Clearance between chimneys or vents to be sealed with non-combustible insulation.

Masonry Veneer Walls:

- Provide 1" airspace between frame walls and masonry.
- Provide metal strap ties, through wall flashing and weep holes to #3.20.

Miscellaneous:

- Heating system: Principle residence, Gas fired hot water radiant. Butte, Gas fired hot water radiant heat.
- Provide for fiberglass window frames with thermal glazing in sealed units providing a minimum 1/2" airspace.
- Glass in doors and windows to be double glazed unless otherwise specified.
- Provide thermally broken frames in all skylights.
- Hard wire smoke alarms in bedroom areas and on all floors to conform to #3.10.18 BCBC.
- Finish grades are to direct water away from the building and to conform to #3.14 BCBC.
- Provide hard wired C.O. detectors in each bedroom within 16.4' of bedroom door in conformance with #3.32.4.2.

Dwelling Security:

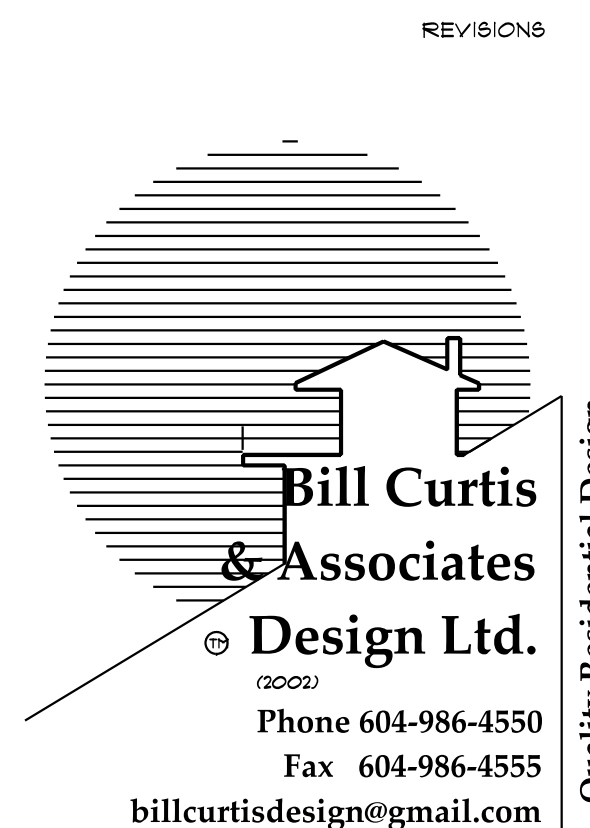
- Main entrance doors without sidelights are to be equipped with a door viewer.
- Doorframes in exterior openings are to be solid blocked at the lock height so that the door frame will resist spreading by force to # 9.6.6 BCBC and #3.9.14 BCBC.
- Exterior doors shall be provided with a 5 pin cylinder deadbolt lock with a 1" throw to # 9.6.6 BCBC.
- Exterior sliding windows shall be equipped and installed in a manner that will prevent the removal of a sliding panel when in the locked position.
- Sliding glass doors shall be equipped with sliding pin locks into the door frame to supplement the ash lock of the door handle.

NOTE:

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. THE DESIGNER WILL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR THROUGH ERRORS OR OMISSIONS ON PLANS OR SPECIFICATIONS AFTER THE BUILDING PERMIT HAS BEEN ISSUED. THESE PLANS AND CONCEPTS ARE PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND NO PLAN OR PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

LOT 1

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Harbourfront Business Centre
5th Floor, 224 West Esplanade
North Vancouver, BC V7M 3M6
UPPER FL. &
ROOF PLANS
Drawing B.C. Date AUG. 2011
Scale 1/4" = 1'-0"
Project PARENTE RESIDENCE AT
915 ADDERLEY STREET
NORTH VANCOUVER