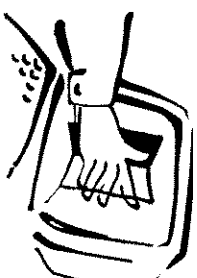


BC Online



BC Online Land Title Internet Service
Provided in co-operation with
Land Title and Survey Authority

LTSA - DOCUMENT RETRIEVAL

REQUESTED: 2008-04-28 09:43

CLIENT NAME: SUSAN CHOW
ADDRESS: 2105 1067 MARINASIDE CRESCENT
VANCOUVER BC V6Z 3A4

PICK-UP INSTRUCTIONS:

USER ID: PA69685 APPLICATION NO.: BCS741 VA PAGES: 014
ACCOUNT NO.: 920907
REFERENCE NO.: F03490 FOLIO NO.:

REMARKS:

BC Online Land Title Fax Service

Help Desk Victoria (250) 953-8200
In B.C. 1-800-663-6102
Administration Office ... (250) 953-8250
Fax Number (250) 953-8222

Persons who need to rely on a plan for legal purposes must examine the official version at the Land Title Office in which the plan is deposited. However, plans with plan numbers beginning with the letters EPP or EPS are electronic plans which constitute the official version.

The bylaw and common property sheets attached to strata plans have been repealed. Information regarding the bylaws and/or dealings affecting the common property of strata plans must be obtained from the general index and/or common property index on ALTOS. Refer to the BC Online user guide for access information.

**STRATA PLAN OF LOT 1,
FALSE CREEK, PLAN BCP125,
GROUP 1, N.W.D.**

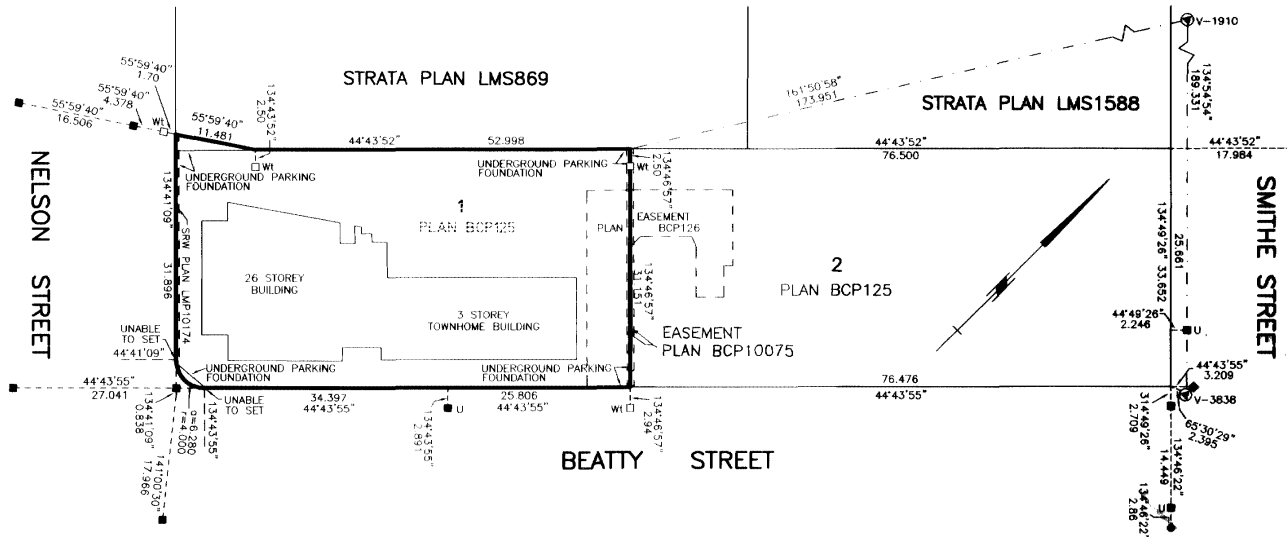
CITY OF VANCOUVER
BCGS 92J.025

SCALE 1 : 500



All distances are in metres unless otherwise noted

KEY PLAN



CIVIC ADDRESS:

989 Beatty Street
Vancouver, BC

NAME OF DEVELOPMENT:

NOVA - BEATTY AND NELSON

THIS PLAN LIES WITHIN THE
GREATER VANCOUVER REGIONAL DISTRICT

STRATA PLAN BCS 741

Deposited and registered in the Land
Title Office of New Westminster, B.C.
this 29 day of MARCH, 2004.

B. Bragan 169
Registrar

BW124321-485

OWNER:

GLENMERE HOLDINGS LTD.
INC. NO. 361655

Authorized Signatory
PRINT AND SIGN NAME CLEARLY
DALE BOSA

Authorized Signatory
PRINT AND SIGN NAME CLEARLY

WITNESS AS TO BOTH SIGNATURES

NAME Dale C.A. De Vries
PRINT AND SIGN NAME CLEARLY
ADDRESS 12011-4555 KINGSWAY
BURBANK, B.C. V5H 4T8

SOLEICATOR
OCCUPATION

I, Darryl J. Mitchell, a British Columbia Land
Surveyor, certify that the buildings shown on
this strata plan are within the external
boundaries of the land that is the subject
of the strata plan.

Date: February 12th, 2004.

D. Mitchell B.C.L.S.

I, Darryl J. Mitchell, a British Columbia
land surveyor, certify that the building
included in this strata plan has not, as of
February 12th, 2004, been previously
occupied.

D. Mitchell B.C.L.S.

I, Darryl J. Mitchell, a British Columbia Land
Surveyor, of Surrey, in British Columbia,
certify that I was present at and personally
superintended the survey represented by this
plan, and that the survey and plan are
correct. The field survey was completed on
the 9th day of February, 2004. The plan was
completed and checked, and the checklist
filed under ECP#11670, on the 12th day of
February, 2004

D. Mitchell B.C.L.S.

LEGEND:

Bearings are grid bearings and are derived
from observations between control monuments
V-3838 and V-1910, integrated Survey Area
number 31, City of Vancouver.

This plan shows ground level measured
distances. Prior to computation of U.T.M.
co-ordinates multiply by a combined
factor of 0.9996027.

- ⊙ denotes control monument found.
- denotes standard iron post found.
- denotes standard lead plug found.
- denotes standard lead plug placed.
- U denotes unregistered
- Wt denotes witness.
- m² denotes square metres.

All distances are metres unless otherwise noted.
All angles are 45° or 90° unless otherwise noted.

MORGAN STEWART AND COMPANY
Surveyors and Engineers
1055 Seymour St. Vancouver, B.C.
PHONE: 687-6866 FAX: 685-8071

STRATA LOT BOUNDARIES ARE DEFINED AS FOLLOWS:

1. Outside face of exterior building walls less 0.01 metres
2. Centreline of interior wall separating Strata Lot and Common Property.
3. Centreline of party walls with adjacent Strata Lot.
4. 0.10 metre into exterior concrete face of core walls.

- ④ denotes limited common property
for strata lot 4 (typical)
- ⊙ denotes common property
- B denotes balcony
- E denotes elevator
- EC denotes electrical closet
- EL denotes elevator lobby
- P denotes patio and planter
- PA denotes parking area
- PB denotes parking bay
- PT denotes part
- SH denotes shaft
- SL denotes strata lot

The City of Vancouver, registered owner of
covenants BT242699 and BT242700 hereby
consent to the deposit of this plan.

Graham Johnson
Authorized Signatory

Authorized Signatory

MORTGAGEE & ASSIGNMENT OF RENTS:

MCAP FINANCIAL CORPORATION
(INC. NO. 50930A)

Dale C.A. De Vries
Authorized Signatory

Authorized Signatory

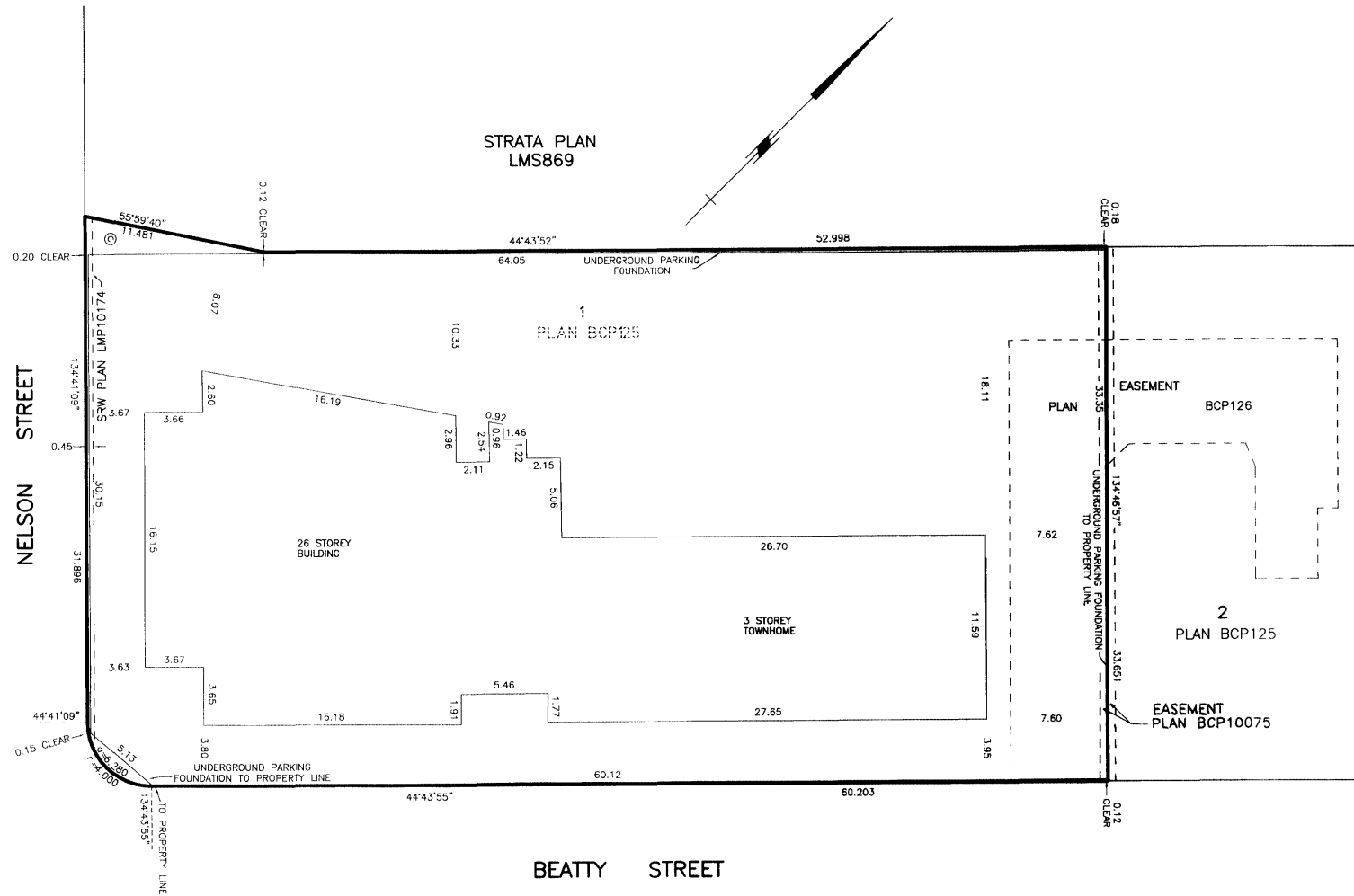
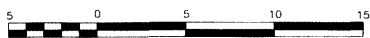
WITNESS AS TO BOTH SIGNATURES:

NAME Baender - Sell - Dell
ADDRESS #1400-1140 W. Pender St
Vancouver, BC V6E 4G1
Receptionist
OCCUPATION

BUILDING LOCATION

STRATA PLAN BCS 741

SCALE 1 : 200



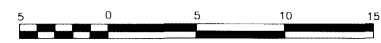
MORGAN STEWART AND COMPANY
 Surveyors and Engineers
 1055 Seymour St. Vancouver, B.C.
 PHONE: 687-6866 FAX: 685-8071

DATE FEB 12, 2004 *DJM* B.C.L.S.

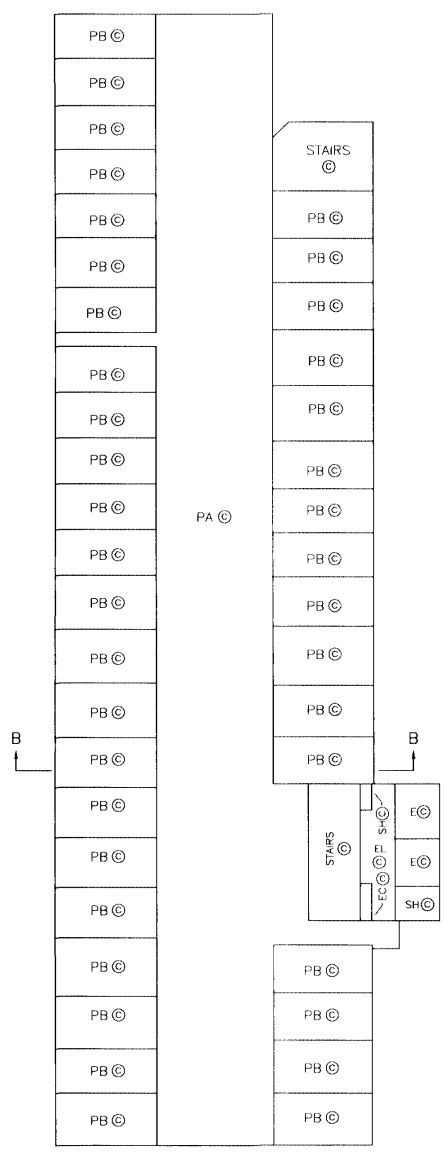
FLOOR PLANS

STRATA PLAN BCS 741

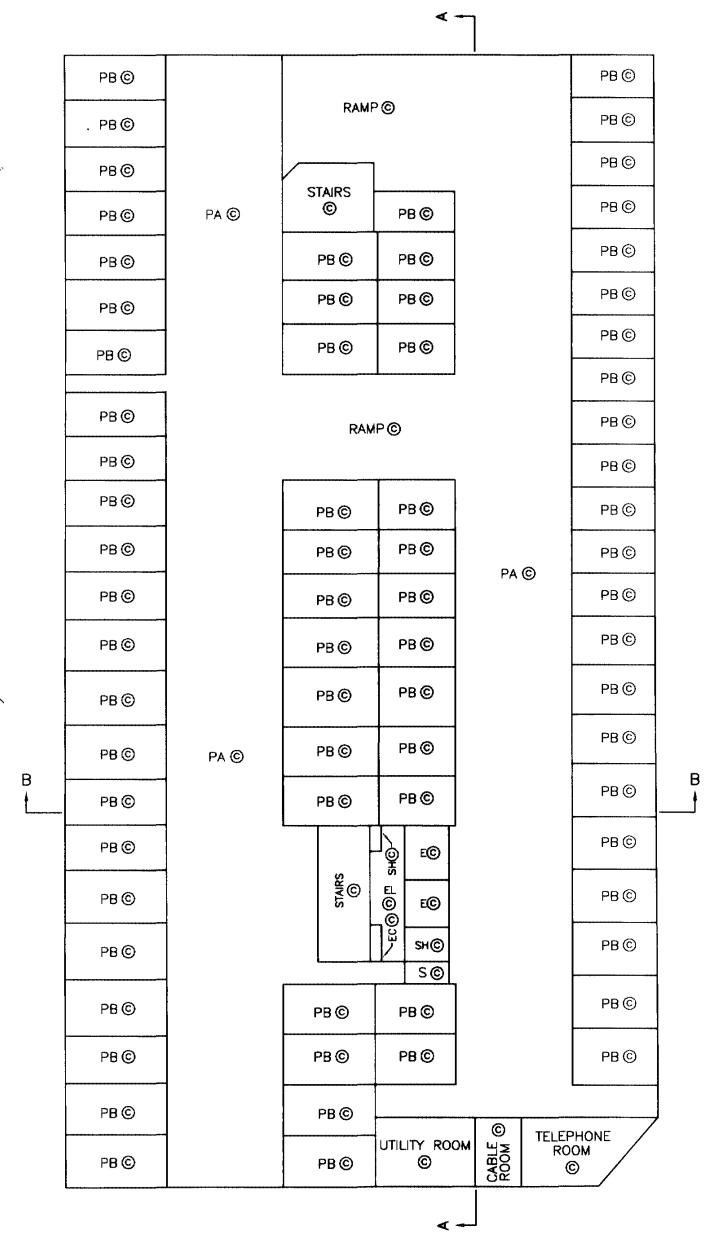
SCALE 1 : 200



PARKING LEVEL 3



PARKING LEVEL 2



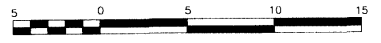
MORGAN STEWART AND COMPANY
 Surveyors and Engineers
 1055 Seymour St, Vancouver, B.C.
 PHONE: 687-6866 FAX: 685-8071

DATE FEB 13, 2004 *[Signature]* B.C.L.S.

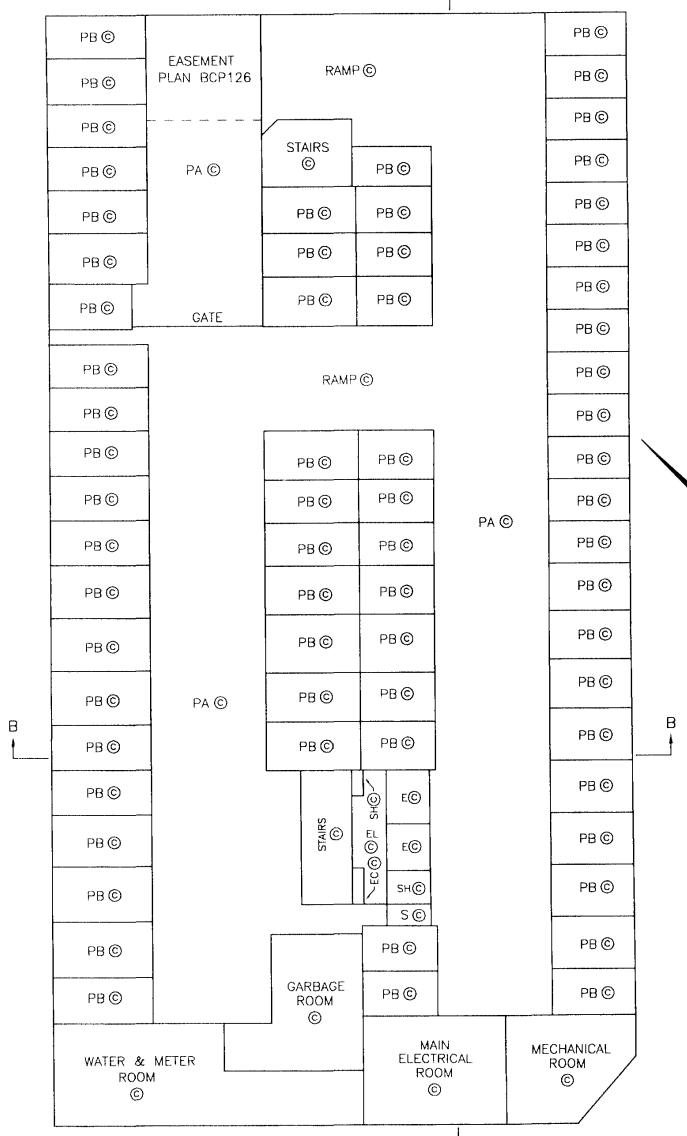
FLOOR PLANS

STRATA PLAN BCS 741

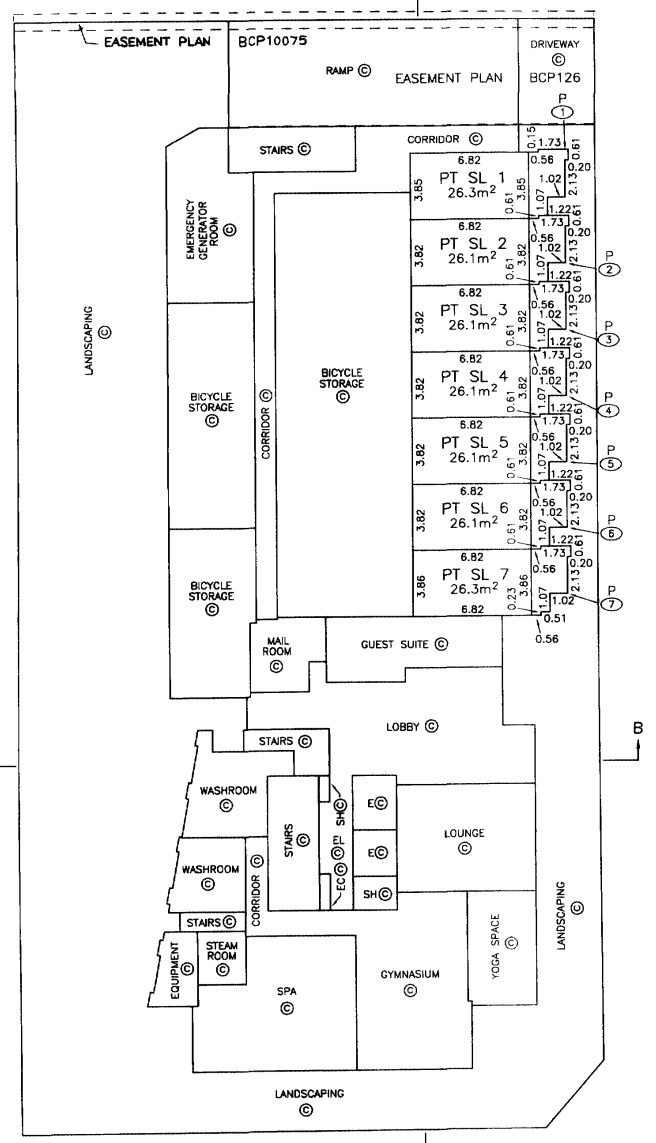
SCALE 1 : 200



PARKING LEVEL 1



LEVEL 1



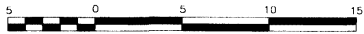
MORGAN STEWART AND COMPANY
 Surveyors and Engineers
 1055 Seymour St, Vancouver, B.C.
 PHONE: 687-6866 FAX: 685-8071

DATE FEB 12, 2004 *D.M. B.C.L.S.*

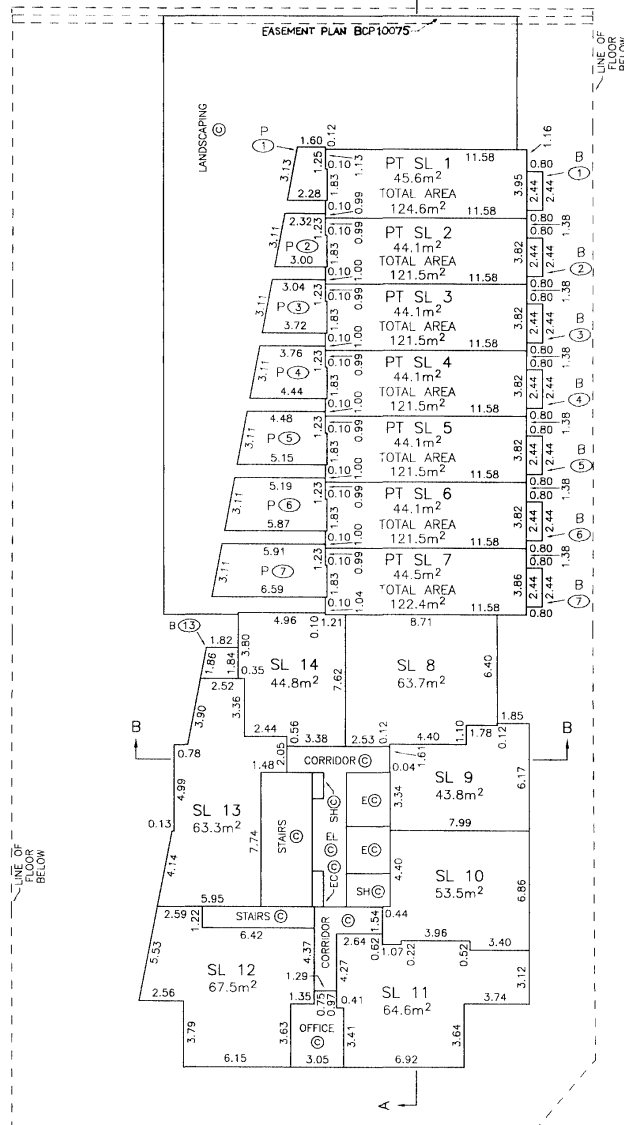
FLOOR PLANS

STRATA PLAN BCS 741

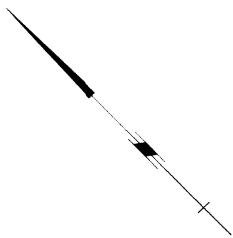
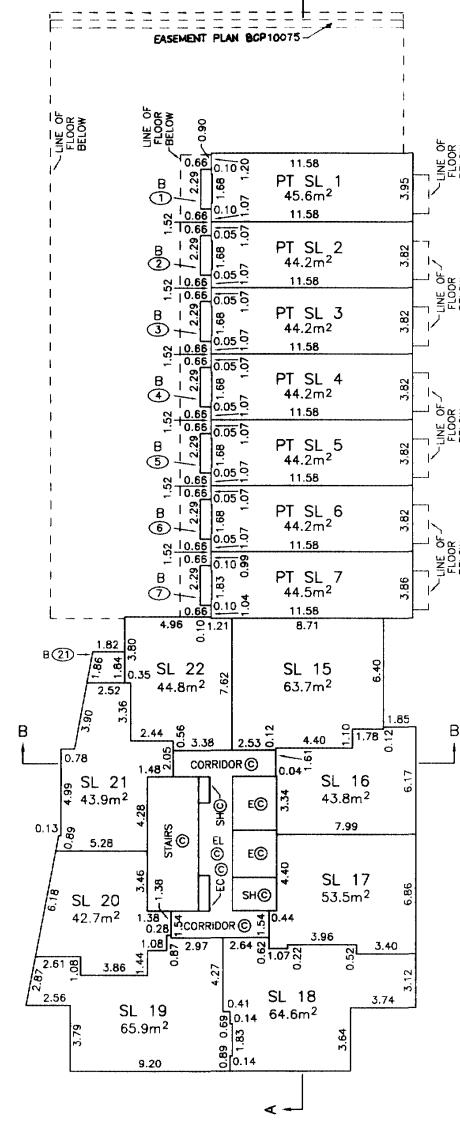
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LEVEL 2



LEVEL 3



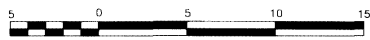
MORGAN STEWART AND COMPANY
 Surveyors and Engineers
 1055 Seymour St. Vancouver, B.C.
 PHONE: 687-6886 FAX: 685-8071

DATE FEB 12, 2004 *[Signature]* B.C.L.S.

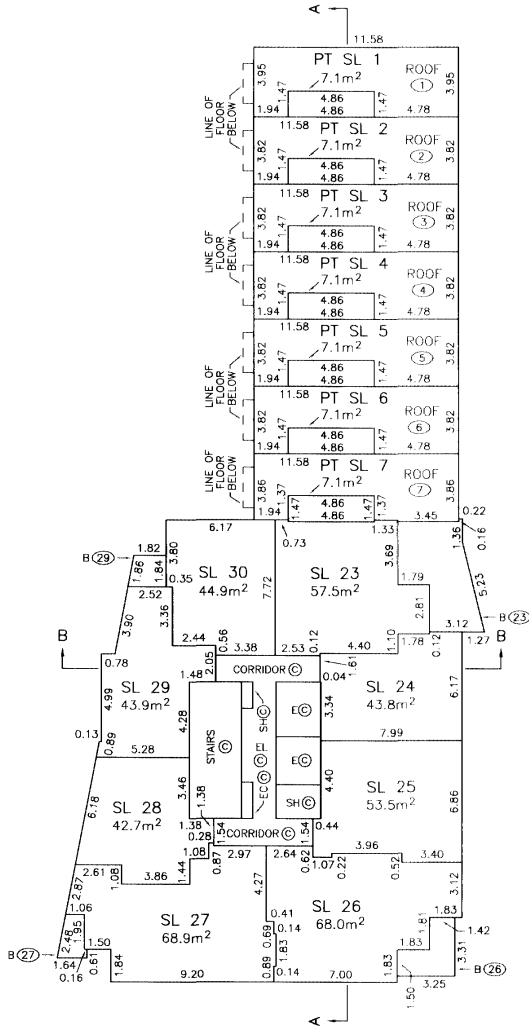
FLOOR PLANS

STRATA PLAN BCS 741

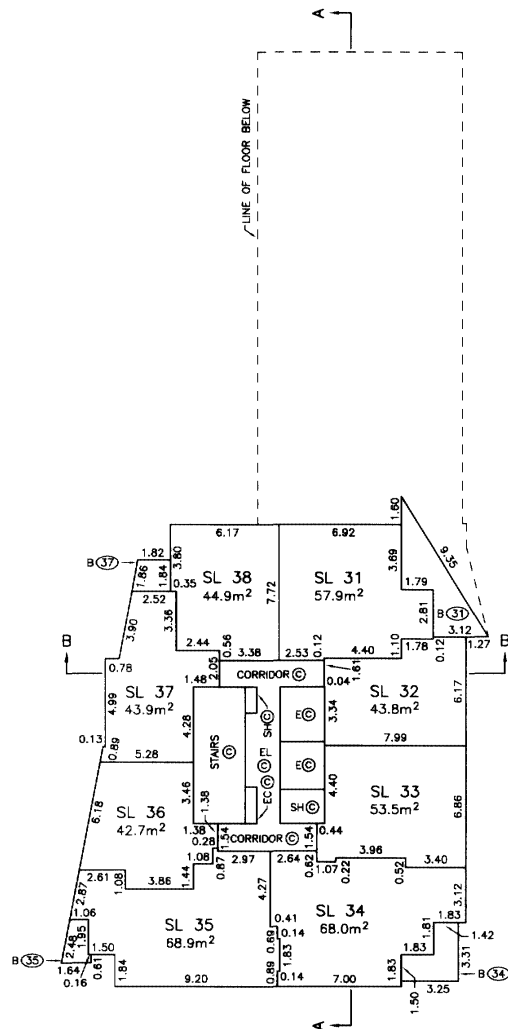
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LEVEL 4



LEVEL 5



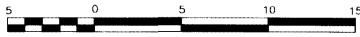
MORGAN STEWART AND COMPANY
 Surveyors and Engineers
 1055 Seymour St, Vancouver, B.C.
 PHONE: 687-6866 FAX: 685-8071

DATE FEB 12, 2004 *DJM* B.C.L.S.

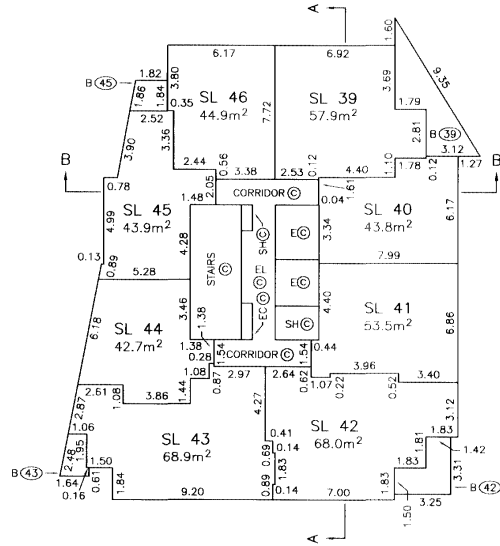
FLOOR PLANS

STRATA PLAN BCS 741

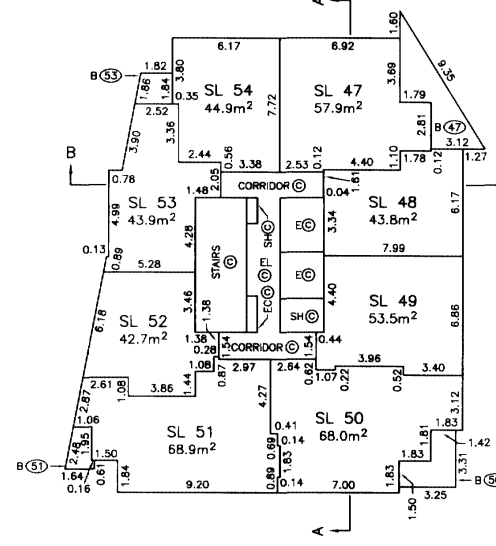
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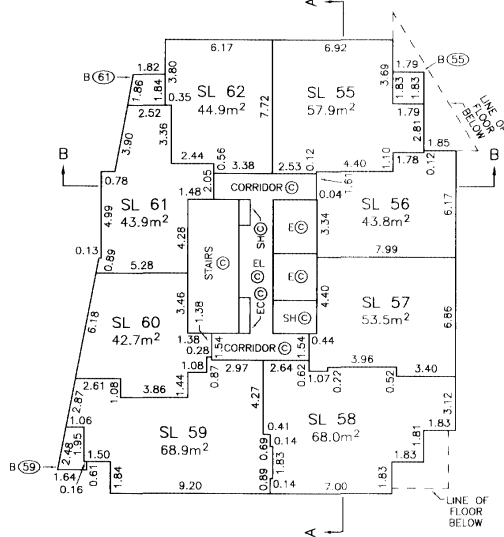
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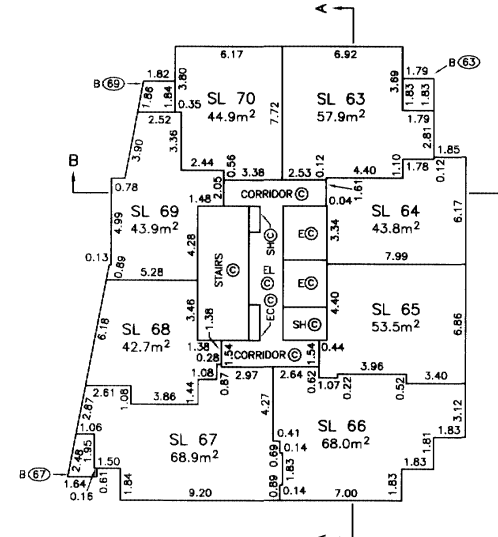
LEVEL 7



LEVEL 8



LEVEL 9



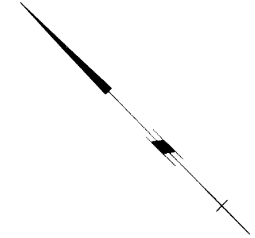
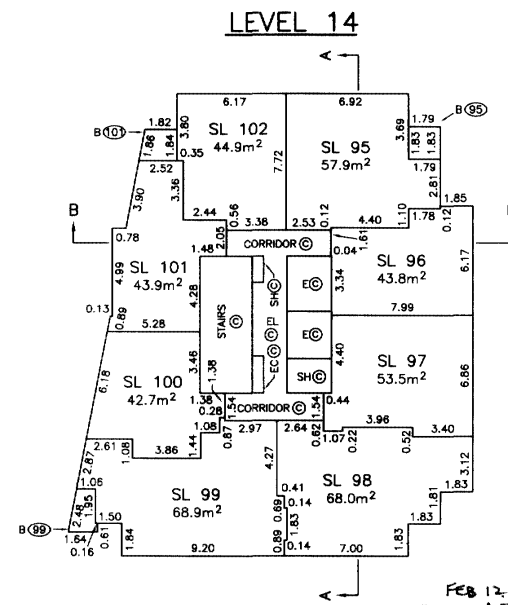
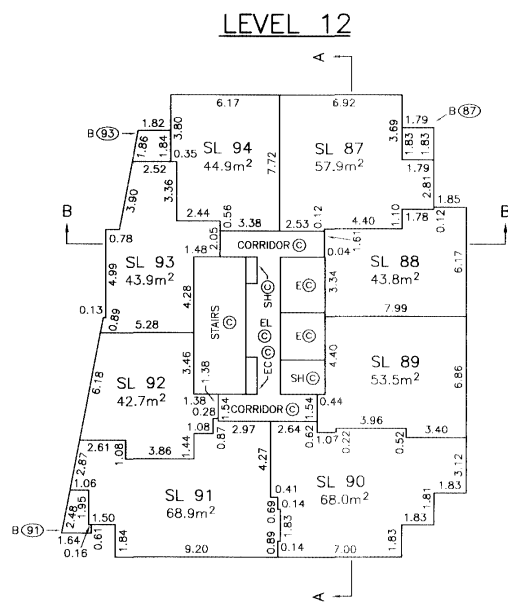
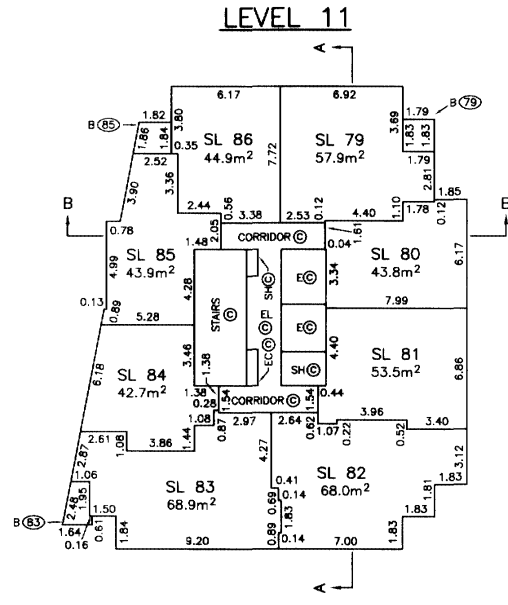
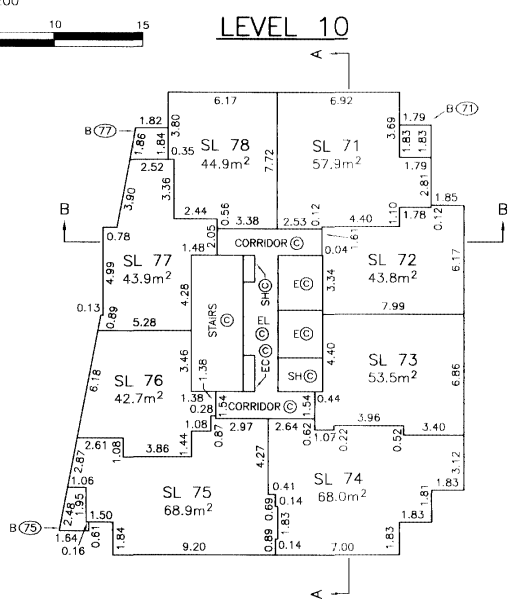
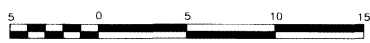
MORGAN STEWART AND COMPANY
 Surveyors and Engineers
 1055 Seymour St, Vancouver, B.C.
 PHONE:687-6866 FAX:685-8071

DATE FEB 12, 2004 *[Signature]* B.C.L.S.

FLOOR PLANS

STRATA PLAN BCS 741

SCALE 1 : 200



MORGAN STEWART AND COMPANY
 Surveyors and Engineers
 1055 Seymour St, Vancouver, B.C.
 PHONE: 687-6866 FAX: 685-8071

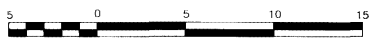
DATE FEB 12, 2004 [Signature]

B.C.L.S.

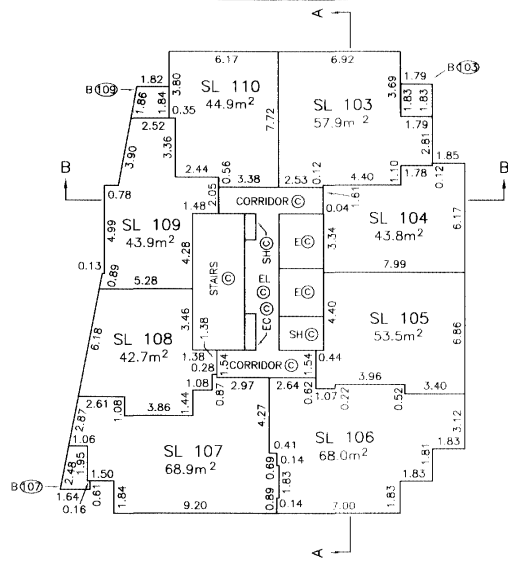
FLOOR PLANS

STRATA PLAN BCS 741

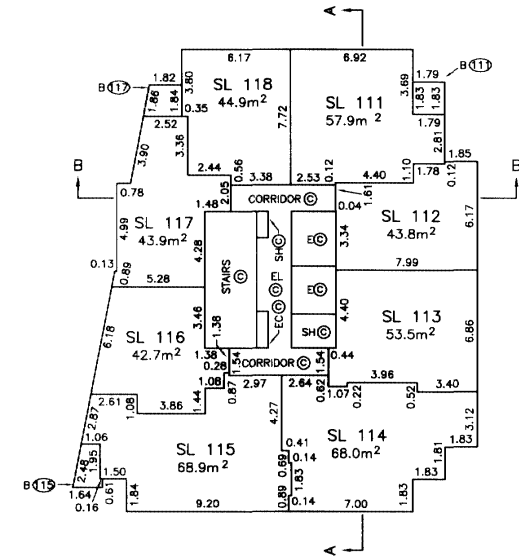
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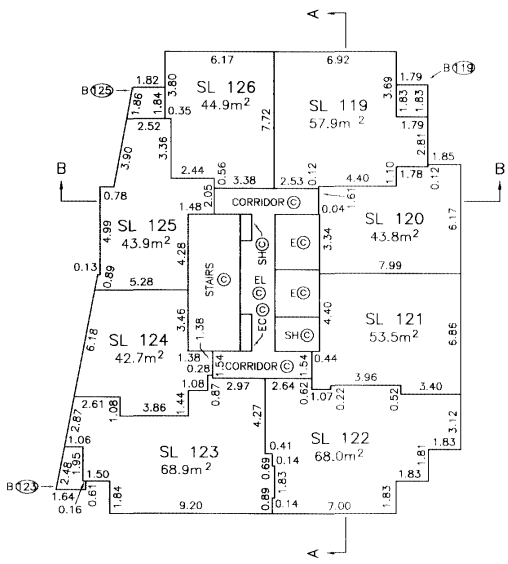
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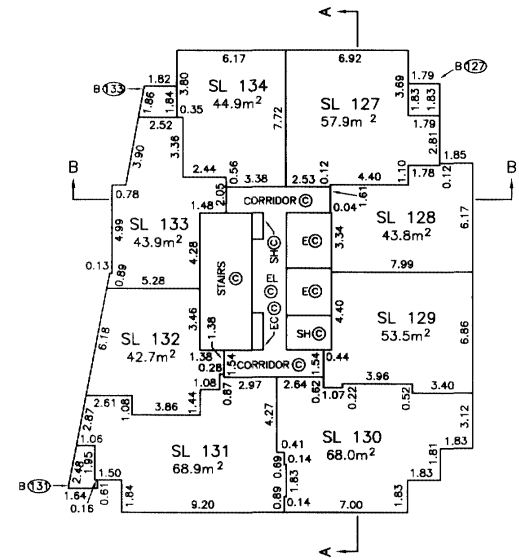
LEVEL 16



LEVEL 17



LEVEL 18



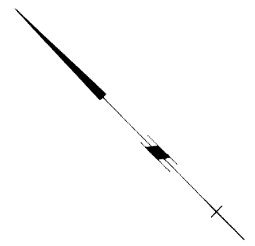
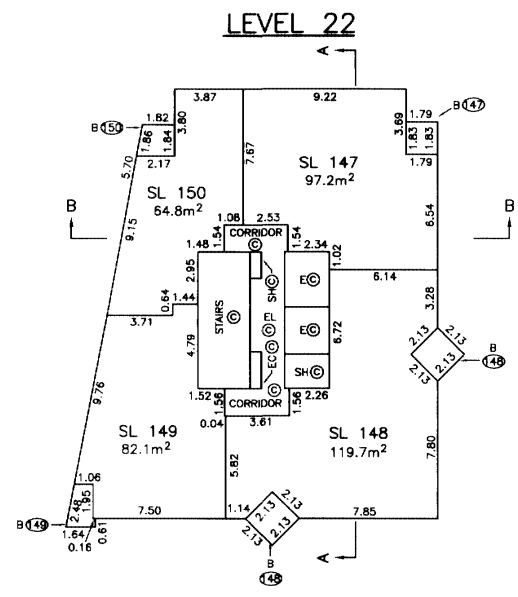
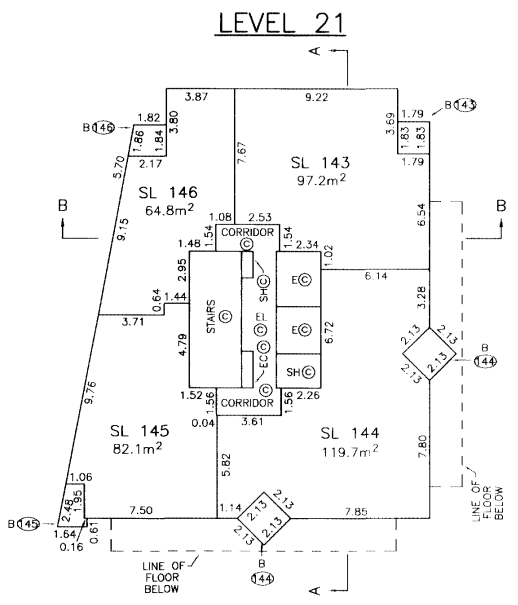
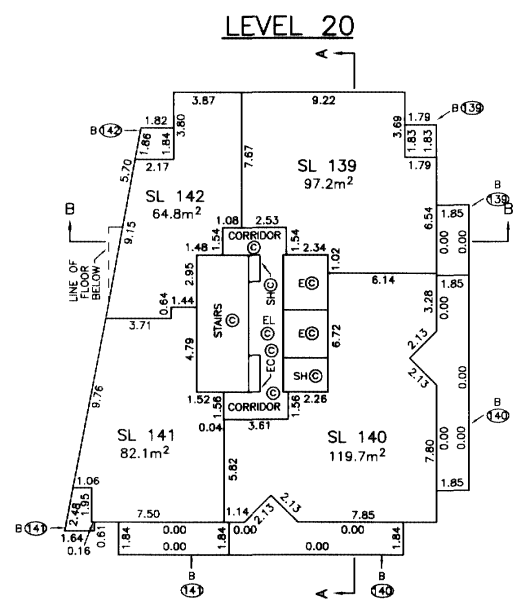
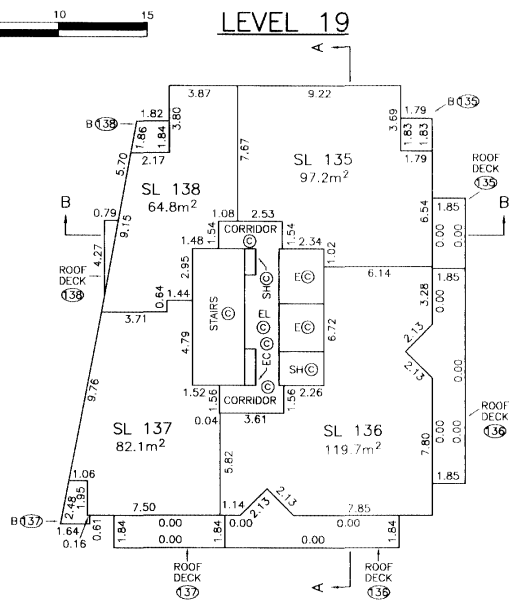
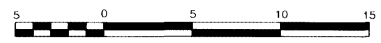
MORGAN STEWART AND COMPANY
 Surveyors and Engineers
 1055 Seymour St, Vancouver, B.C.
 PHONE: 687-6866 FAX: 685-8071

DATE FEB 12, 2004 *JM* B.C.L.S.

FLOOR PLANS

STRATA PLAN BCS 741

SCALE 1 : 200



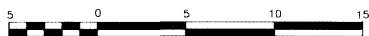
MORGAN STEWART AND COMPANY
 Surveyors and Engineers
 1055 Seymour St, Vancouver, B.C.
 PHONE: 687-6866 FAX: 685-8071

DATE FEB 12, 2004 *DAM* B.C.L.S.

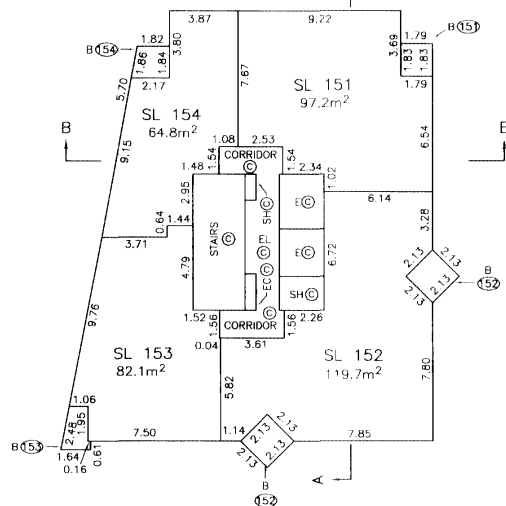
FLOOR PLANS

STRATA PLAN BCS 741

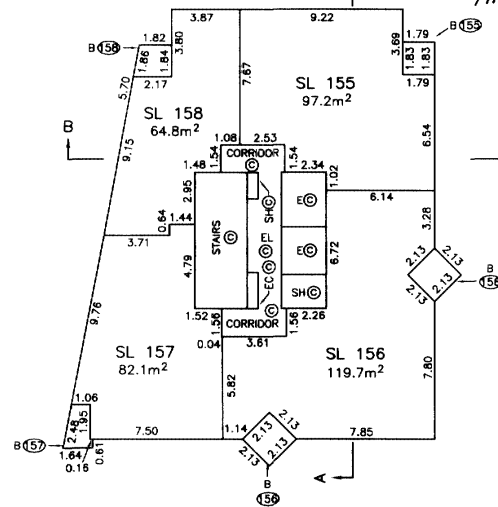
SCALE 1 : 200



LEVEL 23

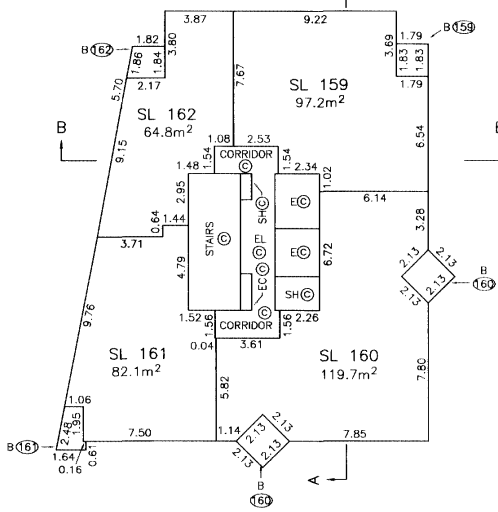


LEVEL 24

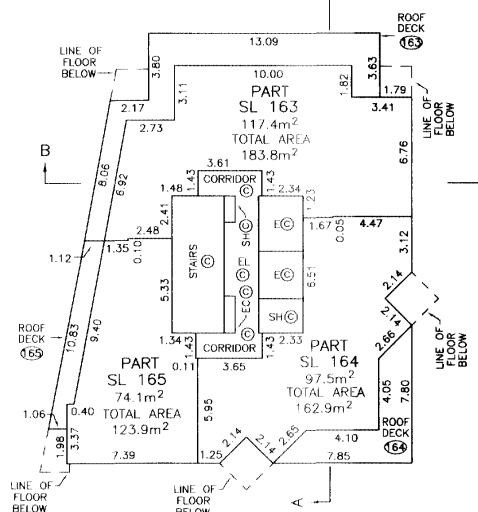


AMENDED PURSUANT TO
 SECTION 257 STRATA PROPERTY ACT.
 THIS 21ST DAY SEPT 2004.
 SEE AMENDED SHEET 11A
 B/W 435'108

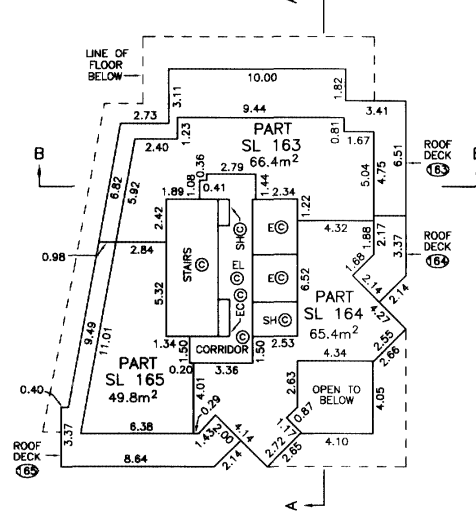
LEVEL 25



LEVEL 26



LEVEL 27



MORGAN STEWART AND COMPANY
 Surveyors and Engineers
 1055 Seymour St, Vancouver, B.C.
 PHONE: 687-6866 FAX: 685-8071

DATE FEB 12, 2004 *[Signature]* B.C.L.S.

EXPLANATORY PLAN AMENDING FALSE CREEK STRATA PLAN BCS741, STRATA PLAN OF LOT 1, FALSE CREEK, PLAN BCP125, GROUP 1, N.W.D., TO DESIGNATE CHANGES TO LIMITED COMMON PROPERTY FOR THE BENEFIT OF STRATA LOT 164 AND TO THE DETRIMENT OF STRATA LOT 165, PURSUANT TO SECTION 257 OF THE STRATA PROPERTY ACT.

STRATA PLAN BCS 741

Deposited and registered in the Land Title Office at New Westminster, B.C. this 21 day of SEP 2004.

B. Bagnall 167 Deputy Registrar RW 435 102

CITY OF VANCOUVER BCGS 92J.025 SCALE 1 : 200



NOTES:

- 4 denotes limited common property for strata lot 4 (typical)
P denotes patio and planter
C denotes common property
B denotes balcony
E denotes elevator
EC denotes electrical closet
EL denotes elevator lobby
PA denotes patio and planter
PB denotes parking area
PT denotes parking bay
SH denotes shaft
SL denotes strata lot

All distances are metres unless otherwise noted. Area affected by the change are outlined in bold.

STRATA LOT BOUNDARIES ARE DEFINED AS FOLLOWS:

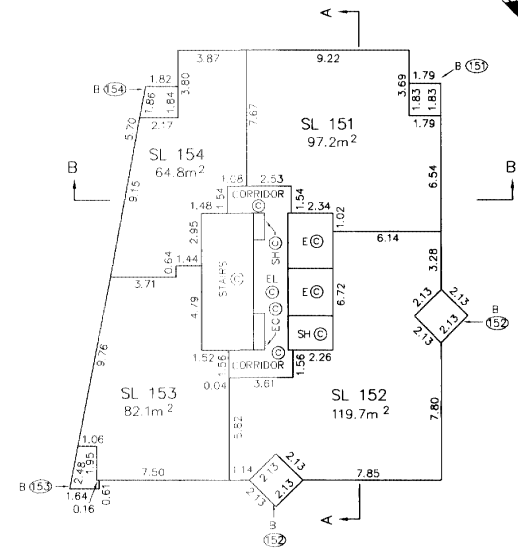
- 1. Outside face of exterior building walls less 0.01 metres
2. Centreline of interior wall separating Strata Lot and Common Property.
3. Centreline of party walls with adjacent Strata Lot.
4. 0.10 metre into exterior concrete face of core walls.

Certified correct according to Land Title Office records. Dated this 22nd day of July, 2004

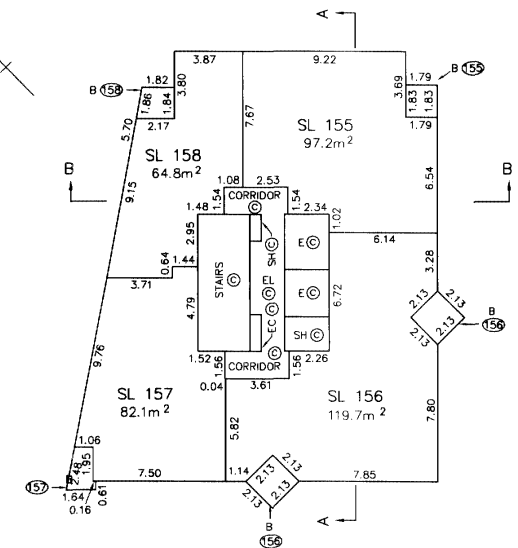
Morgan Stewart and Company signature

B.C.L.S.

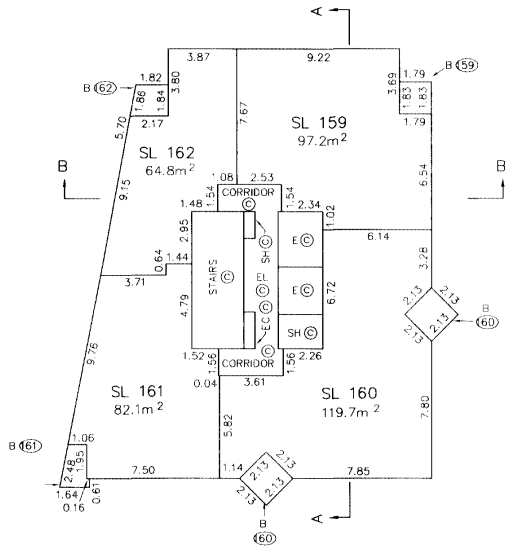
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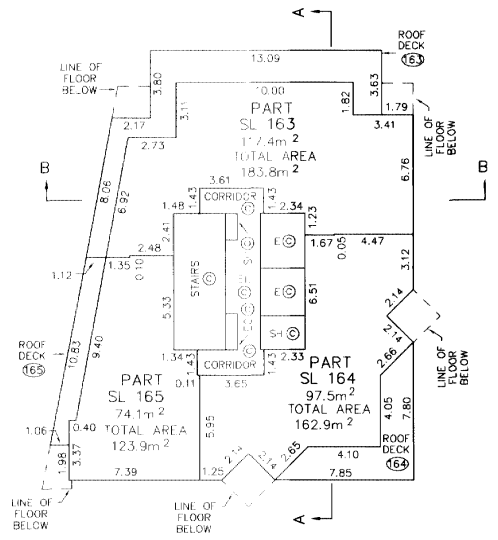
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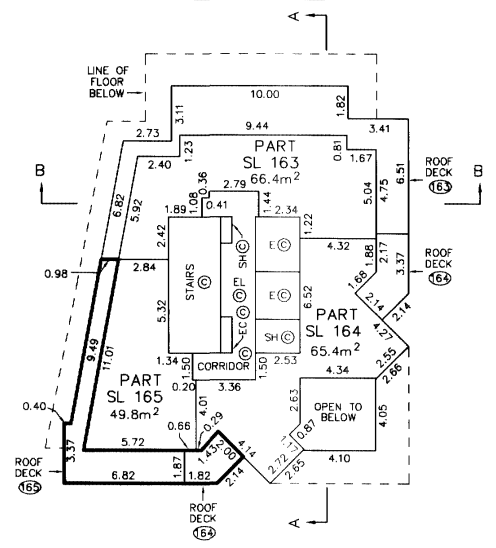
LEVEL 25



LEVEL 26



LEVEL 27

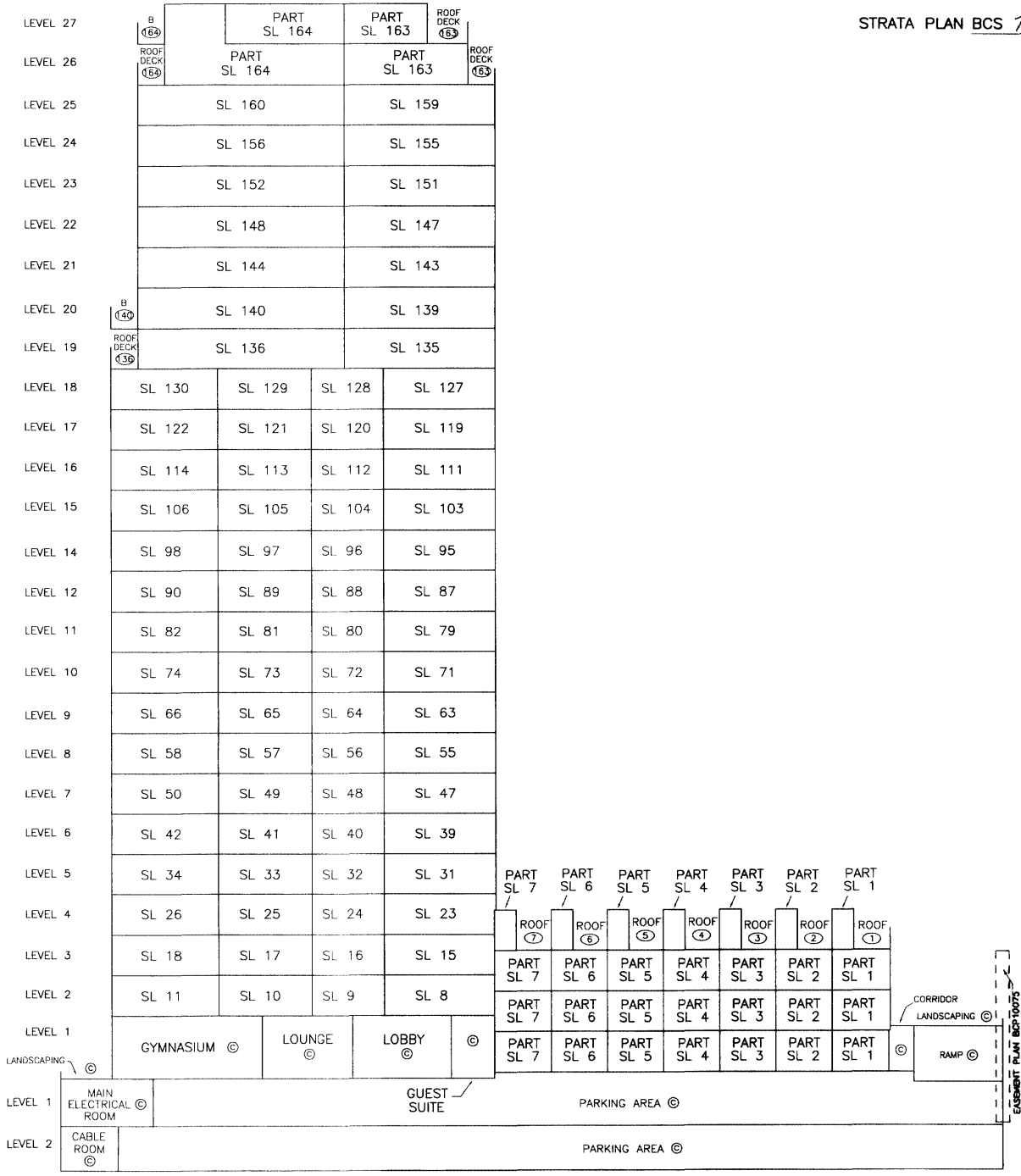
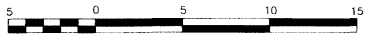


MORGAN STEWART AND COMPANY Surveyors and Engineers 1055 Seymour St. Vancouver, B.C. PHONE: 687-6866 FAX: 685-8071

SECTION A - A

STRATA PLAN BCS 741

SCALE 1 : 200



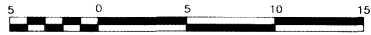
DATE FEB 12, 2004 *[Signature]* B.C.L.S.

MORGAN STEWART AND COMPANY
 Surveyors and Engineers
 1055 Seymour St. Vancouver, B.C.
 PHONE: 687-6866 FAX: 685-8071

SECTION B - B

STRATA PLAN BCS 741

SCALE 1 : 200



LEVEL 27	ROOF DECK 163	PART SL 163	CORRIDOR	PART SL 163	ROOF DECK 163
LEVEL 26	ROOF DECK 163	PART SL 163	CORRIDOR	PART SL 163	
LEVEL 25		SL 162	CORRIDOR	SL 159	
LEVEL 24		SL 158	CORRIDOR	SL 155	
LEVEL 23		SL 154	CORRIDOR	SL 151	
LEVEL 22		SL 150	CORRIDOR	SL 147	
LEVEL 21		SL 146	CORRIDOR	SL 143	
LEVEL 20		SL 142	CORRIDOR	SL 139	B 139
LEVEL 19	ROOF DECK 139	SL 138	CORRIDOR	SL 135	ROOF DECK 139
LEVEL 18		SL 133	CORRIDOR	SL 128	
LEVEL 17		SL 125	CORRIDOR	SL 120	
LEVEL 16		SL 117	CORRIDOR	SL 112	
LEVEL 15		SL 109	CORRIDOR	SL 104	
LEVEL 14		SL 101	CORRIDOR	SL 96	
LEVEL 12		SL 93	CORRIDOR	SL 88	
LEVEL 11		SL 85	CORRIDOR	SL 80	
LEVEL 10		SL 77	CORRIDOR	SL 72	
LEVEL 9		SL 69	CORRIDOR	SL 64	
LEVEL 8		SL 61	CORRIDOR	SL 56	
LEVEL 7		SL 53	CORRIDOR	SL 48	
LEVEL 6		SL 45	CORRIDOR	SL 40	
LEVEL 5		SL 37	CORRIDOR	SL 32	
LEVEL 4		SL 29	CORRIDOR	SL 24	
LEVEL 3		SL 21	CORRIDOR	SL 16	
LEVEL 2		SL 13	CORRIDOR	SL 9	
LEVEL 1	LANDSCAPING	WASHROOM	STAIRS	LOBBY	LANDSCAPING
PARKING LEVEL 1	PB	PARKING AREA	PB	PB	PARKING LEVEL 1
PARKING LEVEL 2	PB	PARKING AREA	PB	PB	PARKING LEVEL 2
PARKING LEVEL 3	PB	PARKING AREA	PB	PB	

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