

Plant List

key	qty.	Botanical Name	Common Name	Size and Spacing
Trees				
AC	-	Acer circinatum	Vine Maple	B&B, 5cm calliper
AG	-	Acer griseum	Paperbark Maple	B&B, 10cm calliper, Tree Form
APD	-	Acer palmatum dissectum	Threadleaf Japanese Maple	B&B, 3'h x 4'w specimen
CS	-	Cornus 'Starlight'	Starlight Dogweed	B&B, 6cm calliper, 1.2m ht. Std.
FP	-	Fraxinus p. Cimmaron'	Ash	B&B, 7cm calliper, 1.8m ht. Std.
ST1	-	Street Tree Thurlow	Street Tree	B&B, 7cm calliper, 1.8m ht. Std.
Shrubs				
Ag	-	Azalea 'Gumpo White'	Dwarf Azalea	#5 pot
Ct	-	Choisya ternata *	Mexican Orange	#7 pot
Lp	-	Lonicera pileata	Boxleaf Honeysuckle	#5 pot
R1	-	Rhododendron 'Crete'	Dwarf White Rhododendron	#10 pot
T	-	Taxus media 'Hilli'	Hill's Yew	1.2m ht. B&B
Vt	-	Vaccinium o. 'Thunderbird'	Evergreen Blueberry	#5 pot
Vines				
-	-	Clematis cartmanii 'Early Sensation'	Evergreen Clematis	#2 pot, staked
-	-	Parthenocissus tricuspidata	Boston Ivy	#2 pot, staked
Groundcovers, Perennials, Grasses and Ferns				
a	-	Asarum splendens	Wild Ginger	#1 pot
as	-	Astrantia 'Star of Billions'	Masterwort	#1 pot
co	-	Carex 'Everest'	Everest Sedge	#1 pot
c	-	Cornus canadensis	Bunchberry	#1 pot
Ct	-	Cotoneaster dammeri*	Cotoneaster	#1 pot
pe	-	Pennisetum a. 'Hameln'	Fountain Grass	#1 pot
pm	-	Polystichum munitum	Western Sword Fern	#2 pot
po	-	Polygonatum o. 'Variegatum'	False Solomon's Seal	#1 pot
Urban Agriculture Temporary Planting				
	-	Fragaria - everbearing *	Strawberry	#1 pot
	-	Rubus idaeus 'Chilcotin'*	Raspberry	#3 pot
	-	Vaccinium 'Northland'	Dwarf Blueberry	#3 pot

Landscape Bird Friendly Strategy

There are several landscape measures to ensure the proposed development is Bird Friendly. The existing retained street trees along Burnaby Street will provide canopy cover and mature habitat. Additionally the new street tree planting in the City boulevard on Thurlow Street will provide more habitat opportunities and also continue to provide a continuous forest canopy for birds.

The proposed landscape planting incorporates canopy/habitat stratification with tree and shrub planting, utilizes plants that attract birds and insects, and includes native and non-native/non-invasive plants. The townhouse rooftops along the lane are planted with an extensive green roof.

The proposed area of exterior green space for the building significantly exceed the existing green coverage on the site. The planting is distributed over two levels of the building with different exposures - the market level with north and eastern exposures, and the social housing with a south and western exposure.

General Planting Notes:

- All work shall meet or exceed the requirements as outlined in the Current Edition of the B.C. Landscape Standard.
- Plant sizes and related container classes are specified according to the B.C. Landscape Standard Current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers these shall be as defined in the BCNTA (ANSI) Standard.
- Sod is to be sand based turf and mesh free. No substitutes.
- All soft landscape area are to be irrigated using a high efficiency drip system, complete with rain sensor. All work to IABC standards.
- Attach vines to trellis posts using non-chafing garden twine.
- All plants with an asterisk (*) are bird friendly species.

Legend

Furniture + Structures:

- Custom Ipe Bench
- Rounded River Boulders
- 1060mm/42" ht. Metal Fence + Gate
- Metal Bike Rack
- Logs Play Structure
- Wood Play Hut, Table and Benches in Sand Area

Walls + Stairs:

- Brick Clad CIP Concrete Planter Wall
- C.I.P. Concrete Planter Wall
- Brick Clad Raised Garden Wall
- C.I.P. Concrete Stairs

Surfaces:

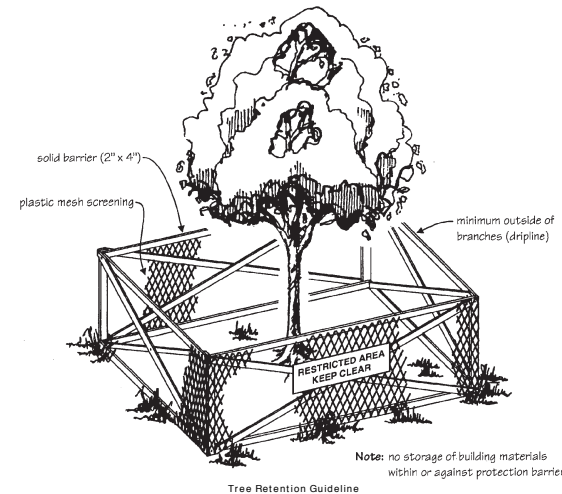
- Broom Finished Saw Cut Concrete
- 600/24" sq. Concrete Paving Slabs - charcoal colour
- Broom Finished Coloured Saw Cut Concrete Charcoal, 4 x 4' Pattern
- Stone Paving at Market Residential Entry
- Poured In Place Rubber Safety Surfacing -depth to suit fall height of play structure
- Play Sand

Furniture + Structures:

- Existing Trees: Existing Tree to be protected and retained - refer to Tree Plan
- Lighting: Wall Mounted Sconce Light, Soffit Light, Planter Wall (Cast) Light, Linear LED Light @ Benches
- Soft Landscape: Lawn, Shrub/Perennial Beds, Evergreen Hedging
- Grading + Drainage: + TS 10.00m bottom of stair, + BS 10.00m top of stair, + BW 10.00m bottom of wall, + TW 10.00m top of wall, + 10.00m spot elevation, + FG 10.00m finished grade, - 1% direction/percent slope, - - - - - break in slope, DN 4R direction/number of risers down, existing elevation (as per survey), + BG 10.00m building grade, TD 10.00m Trench Drain, AD 10.00m Area Drain
- Irrigation & Hose Bibs: Frost Free Hose Bib, Irrigation Stub Up 50psi + 50gpm

4.1 Tree Retention

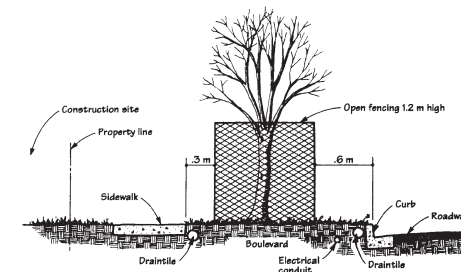
- Where trees are to be retained on a site, protection barriers must be installed as specified in the **Private Property Tree By-Law**.
- Any required excavation in or around the protection barrier to accommodate underground services, footings, etc. should be indicated on the plan and done by hand.
- Trees inside the protection zone should be cared for throughout the construction process, i.e., they must be watered sufficiently, particularly if a portion of the tree's root system has been disturbed by excavation.
- Root and branch pruning, where necessary, must be done in accordance with Sections 4.4 and 4.5. Only the Park Board is authorized to prune trees on City property.



Ld - 1 City of Vancouver Tree Protection Barrier Detail
L 1.2 Not To Scale

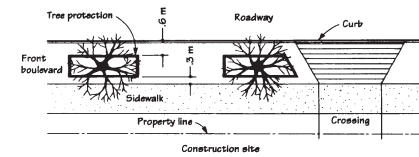
4.2 Tree Retention on Boulevards Adjacent to Construction Sites

Boulevard trees adjacent to construction sites, including those of less than 20 cm diameter, must be protected in accordance with these Engineering Department guidelines and cannot be pruned, moved or otherwise disturbed without prior written Park Board permission.



- Barrier fencing used for tree protection must:
- allow for free and clear passage of pedestrians on the sidewalk and adjacent portion of boulevard;
 - provide for clear visibility of fire hydrants, driveway access, crosswalks, etc. ("see-through" fencing should be used);
 - be 0.6 m or more from the curb to provide for the opening of car doors; and
 - be 0.3 m or more from the edge of any sidewalk located within a grass boulevard.

NOTE: These setbacks also reduce the possibility of interference with underground utilities when staking fences in place.



1	2018.11.23	Issued for Rezoning
no.:	date:	Item:
Revisions:		

durantekreuk
Durante Kreuk Ltd.
102 - 1637 West 5th Avenue
Vancouver BC V6J 1N5
t: 604 684 4611
f: 604 684 0577
www.dkl.bc.ca

Project:
1290 Hornby Street
Vancouver BC

Drawn by:	JES
Checked by:	JES
Date:	2018.10.03
Scale:	1/8"=1'-0"

Drawing Title:
Landscape Legends
+ Lists

Project No.:
18038

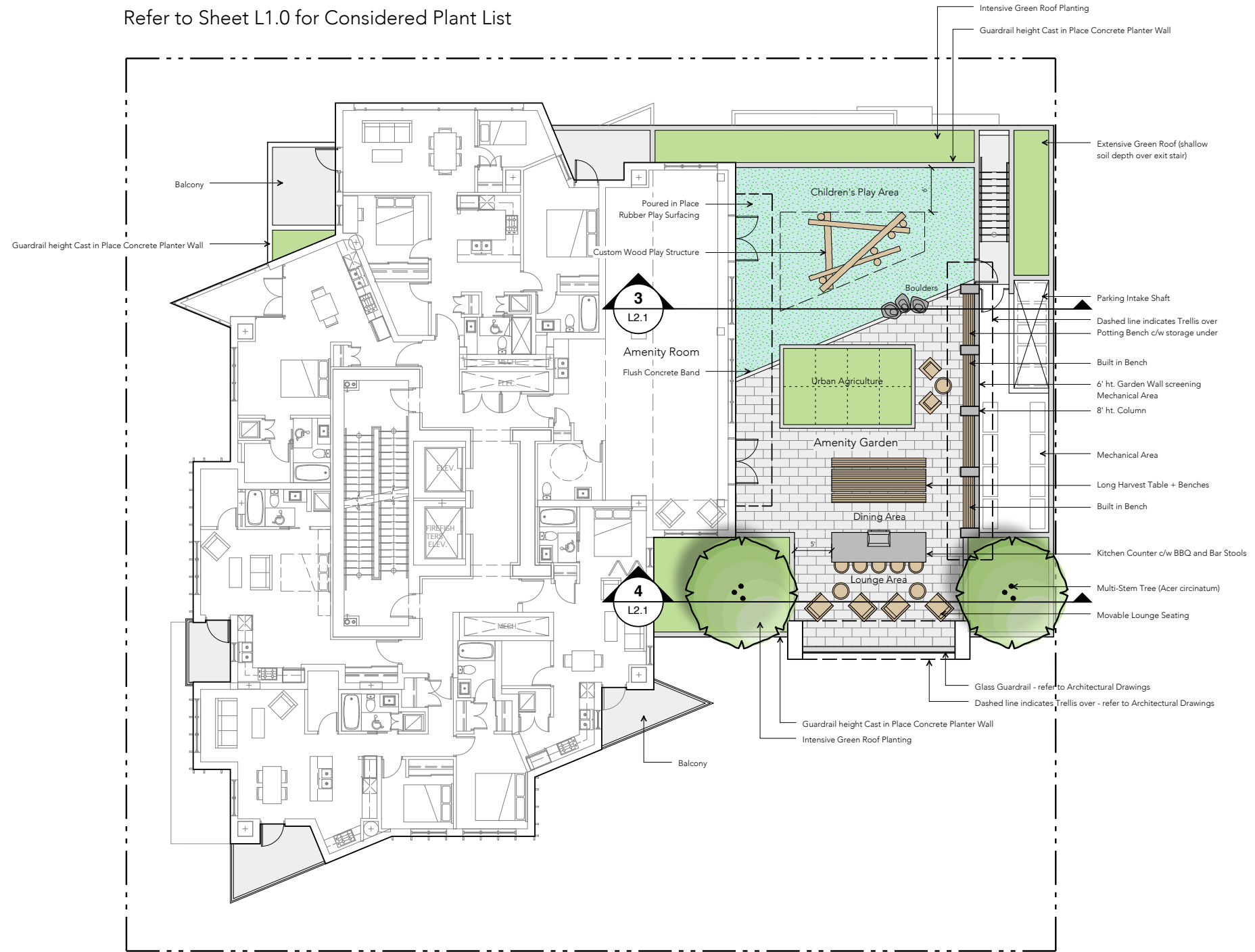
Sheet No.:

L1.0



Refer to Sheet L1.0 for Considered Plant List

DRAKE STREET



LANE

1	2018.11.23	Issued for Rezoning
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dk Durante Kreuk Ltd.
102 - 1637 West 5th Avenue
Vancouver BC V6J 1N5
t: 604 684 4611
f: 604 684 0577
www.dk.bc.ca

Project:
1290 Hornby Street
Vancouver BC

Drawn by:	JES
Checked by:	JES
Date:	2018.10.03
Scale:	1/8"=1'-0"
Drawing Title:	Level 6 Landscape Plan

Project No.:
18038

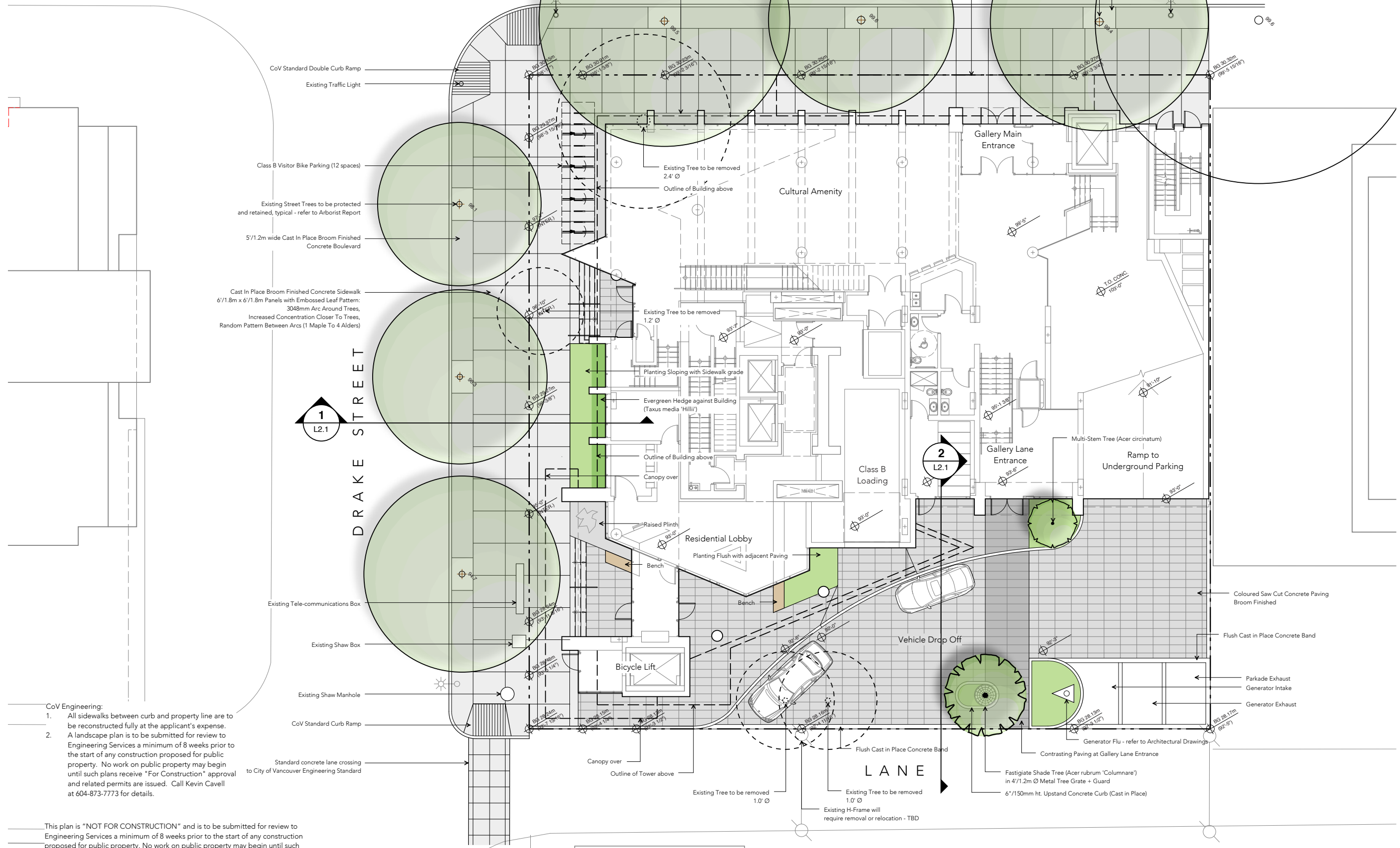
Sheet No.:

L1.2



HORNBY STREET

100



- CoV Standard Double Curb Ramp
- Existing Traffic Light
- Class B Visitor Bike Parking (12 spaces)
- Existing Street Trees to be protected and retained, typical - refer to Arborist Report
- 5/1.2m wide Cast In Place Broom Finished Concrete Boulevard
- Cast In Place Broom Finished Concrete Sidewalk
6/1.8m x 6/1.8m Panels with Embossed Leaf Pattern:
3048mm Arc Around Trees,
Increased Concentration Closer To Trees,
Random Pattern Between Arcs (1 Maple To 4 Alders)
- Existing Tele-communications Box
- Existing Shaw Box
- Existing Shaw Manhole
- CoV Standard Curb Ramp
- Standard concrete lane crossing to City of Vancouver Engineering Standard

- Existing Street Trees to be protected and retained - refer to Arborist Report
- Pull back boulevard paving a minimum 3/1m from stem of existing tree
- Existing Lamp Post

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Vancouver BC V6J 1N5
t: 604 684 4611
f: 604 684 0577
www.dk.bc.ca

Project:
**1290 Hornby Street
Vancouver BC**

Drawn by: JES
Checked by: JES
Date: 2018.10.03
Scale: 1/8"=1'-0"

Drawing Title:
Level 1 Landscape Plan

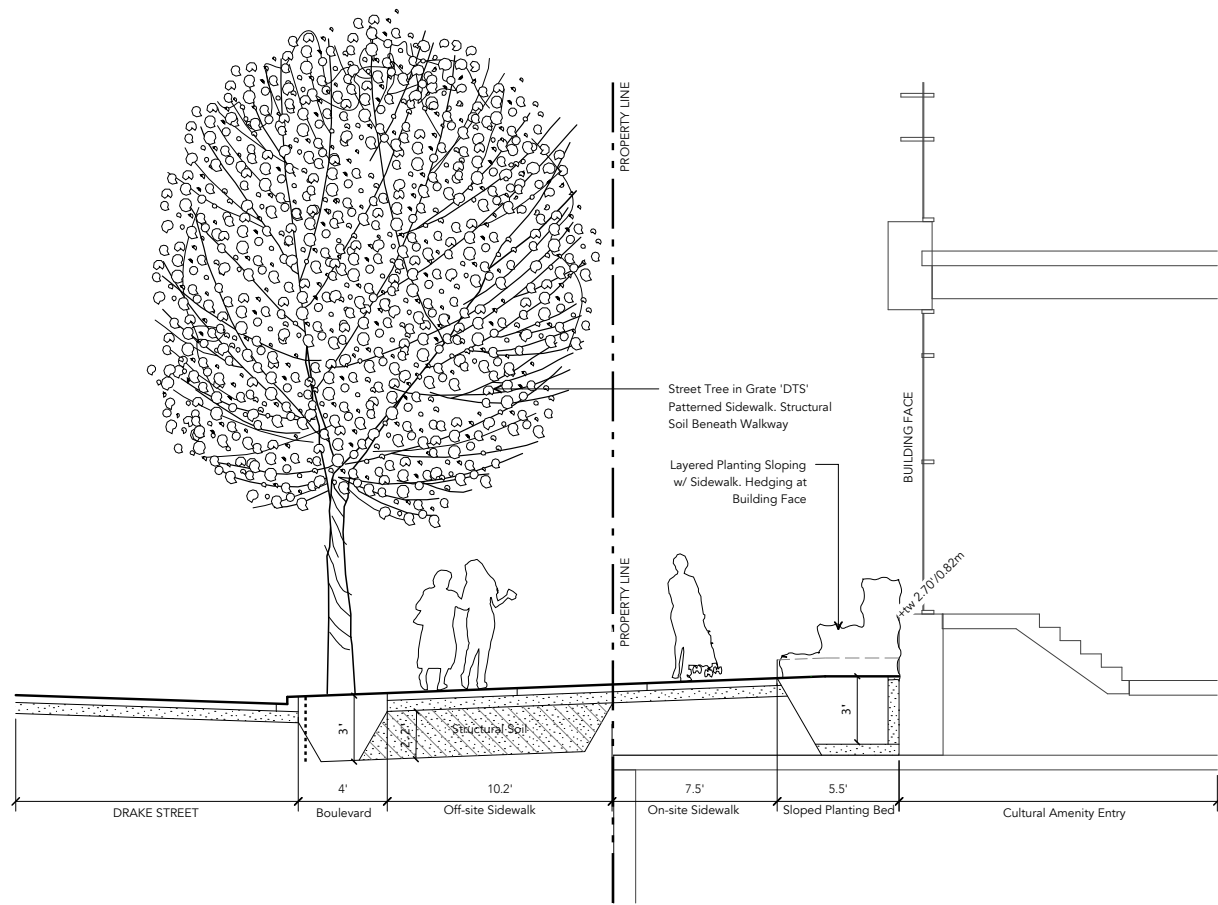
Project No.:
18038
Sheet No.:

L1.1

CoV Engineering:
1. All sidewalks between curb and property line are to be reconstructed fully at the applicant's expense.
2. A landscape plan is to be submitted for review to Engineering Services a minimum of 8 weeks prior to the start of any construction proposed for public property. No work on public property may begin until such plans receive "For Construction" approval and related permits are issued. Call Kevin Cavell at 604-873-7773 for details.

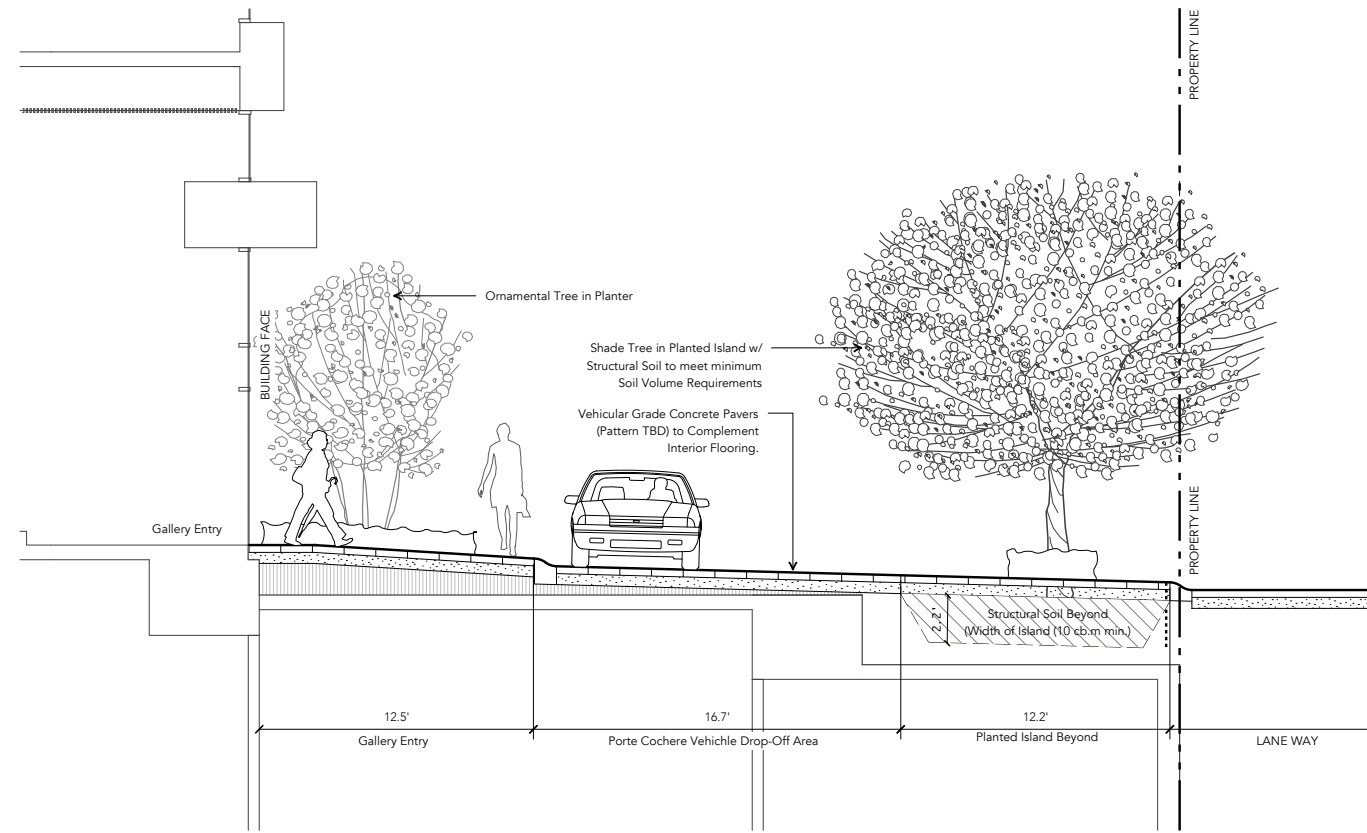
This plan is "NOT FOR CONSTRUCTION" and is to be submitted for review to Engineering Services a minimum of 8 weeks prior to the start of any construction proposed for public property. No work on public property may begin until such plans receive "For Construction" approval and related permits are issued. Please contact Engineering, Development Services and/or your Engineering, Building Site Inspector for details.

Refer to Sheet L1.0 for Considered Plant List



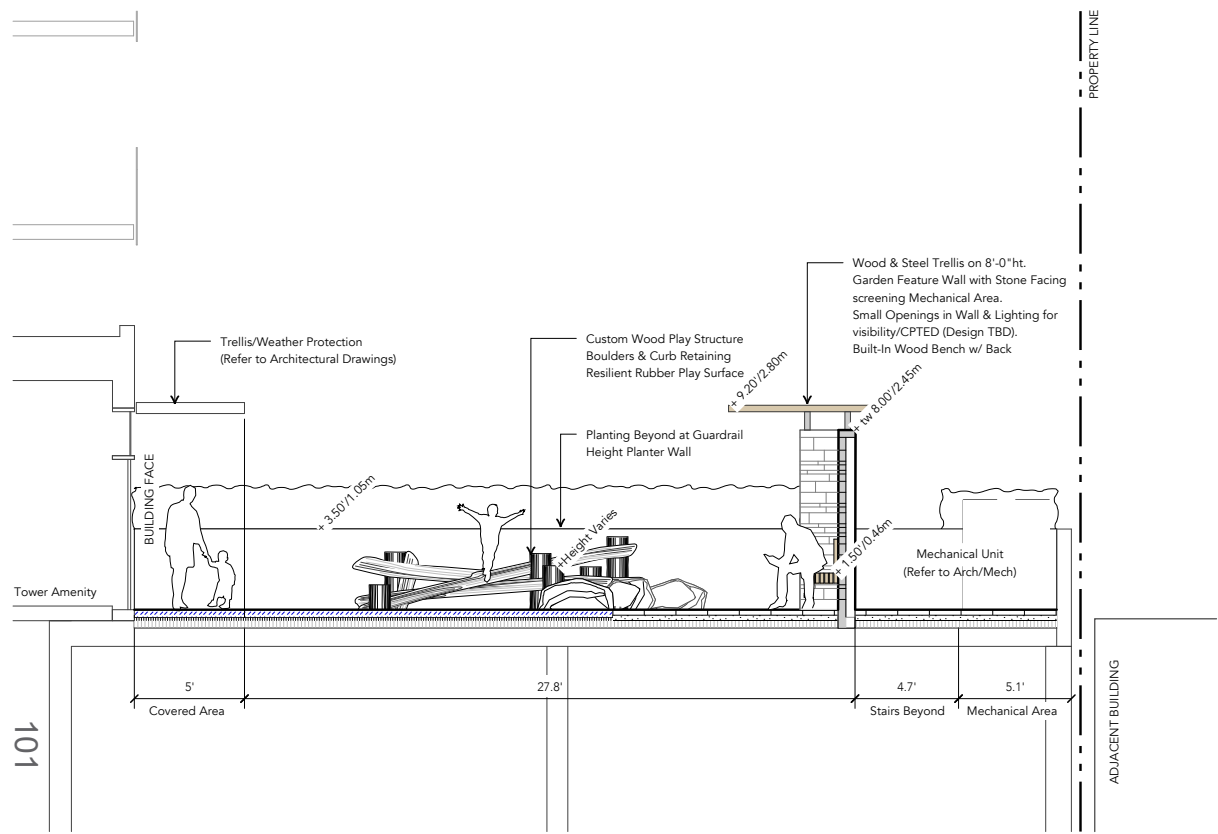
1 Section through Streetscape at Drake Street

L 1.1 Scale: 1/4" = 1'-0"



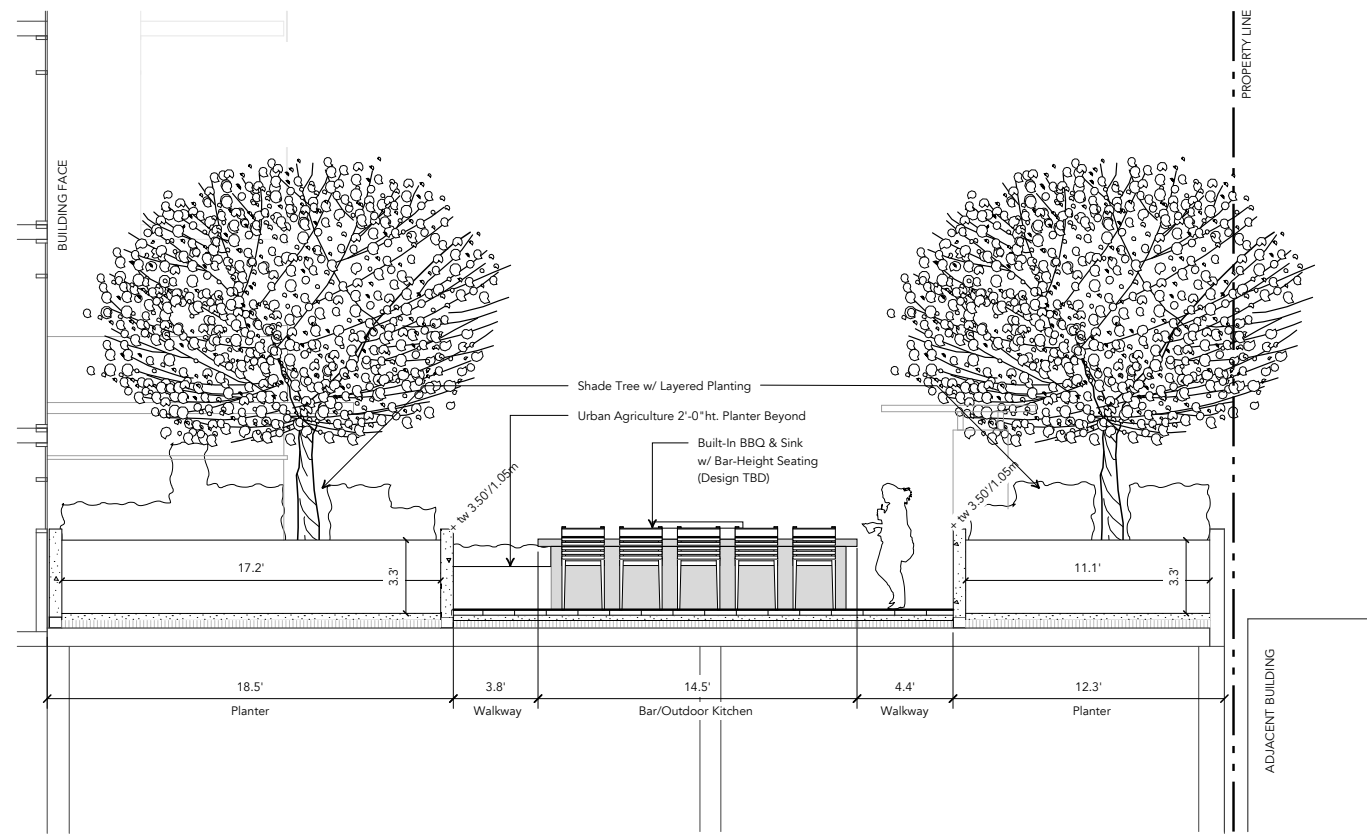
2 Section through Vehicle Drop-Off Area at Gallery Entry

L 1.1 Scale: 1/4" = 1'-0"



3 Section through Children's Play Area & Ft. Wall separating Mechanical Area

L 1.2 Scale: 1/4" = 1'-0"



4 Section through Guardrail Ht. Planters at Lounge/Dining Area

L 1.2 Scale: 1/4" = 1'-0"

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Vancouver BC

Drawn by: JES
Checked by: JES
Date: 2018.10.03
Scale: 1/4"=1'-0"

Drawing Title:
Landscape Sections

Project No.:
18038
Sheet No.:

L2.1