

# Your Inspection Report



403 Durie St  
Toronto, ON M6S 3G5



**PREPARED FOR:**  
THEODORE BABIAK

**INSPECTION DATE:**  
Monday, August 24, 2026

**PREPARED BY:**  
Jonathan Dube



Carson, Dunlop & Associates Ltd.  
1243 Islington Ave, Suite 900  
Etobicoke, ON M8X 1Y9

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Excellence in home inspection



August 25, 2026

Dear Theodore Babiak ,

RE: Report No. 98938, v.2  
403 Durie St  
Toronto, ON  
M6S 3G5

Thank you for choosing us to perform your home inspection. We hope the experience met your expectations.

The enclosed report includes an Overview tab which summarizes key findings, and the report body. The Good Advice tab provides helpful tips for looking after your home; and the Appendix tab includes valuable added benefits. You can navigate by clicking the tabs at the top of each page.

TO THE PROSPECTIVE BUYER: Our obligation and liability are limited to the seller.

Thanks again for choosing Carson Dunlop

Sincerely,

Jonathan Dube  
on behalf of  
Carson, Dunlop & Associates Ltd.

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# OVERVIEW

403 Durie St, Toronto, ON August 24, 2026

Report No. 98938, v.2

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OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE

This Overview lists some of the significant report items if any were identified. Please read the entire report before making any decisions about the home; do not rely solely on the Overview.

## FOR THE BUYER

There are two elements to a home inspection - the inspection itself and the report. This report is helpful, but the inspection is equally important. You need both elements to make an informed decision.

When you move into the home you may find some issues not identified in the report. That is to be expected for a few reasons, such as furniture and storage that has been removed, changes to the property conditions, etc. Therefore, we suggest you allow roughly 1% of the value of the home annually for maintenance and repair.

Our obligation and liability are limited to the seller.

## Electrical

### **DISTRIBUTION SYSTEM \ Knob-and-tube wiring (wires)**

**Condition:** • [Active knob and tube was noted in the home. The extent of the knob and tube could not be determined at the inspection.](#) Click here to see the Ontario Electrical Safety Authority's position on this wiring system.

**Location:** Basement ceiling

**Task:** Replace when remodeling. In the short term, ground fault circuit interrupters (GFCIs) are an inexpensive way to help protect against electric shocks. Further evaluation.

**Cost:** Typically \$1,000 to \$2,000 per room to replace. Note: Additional costs may be incurred for other electrical improvements and cosmetic repairs. In the short term, GFCI protection typically costs \$100-\$200 per circuit.

## Heating

### **BOILER \ Life expectancy**

**Condition:** • Near end of life expectancy.

Although the boiler is close to the end of its life, continue to use and maintain the unit until it fails. Be prepared to replace the boiler at any time.

**Location:** Boiler room

**Task:** Replace

**Time:** When necessary

**Cost:** \$6,000 - \$12,000

# OVERVIEW

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OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE

## Cooling & Heat Pump

### AIR CONDITIONING \ Life expectancy

**Condition:** • Air conditioner near the end of typical life expectancy

Although the heat pump system is close to the end of its life, continue to use and maintain the unit until it fails. Be prepared to replace at any time.

**Task:** Replace

**Time:** When necessary

**Cost:** \$3,000 - \$6,000

## Interior

### BASEMENT \ Wet basement - evidence

**Condition:** • Evidence of moisture noted

Elevated moisture and related damage was observed in the wall paneling in the rear room and the drywall under the stairs is installed too close to the foundation wall, which may be wicking moisture from the wall and accumulated efflorescence and debris behind the paneling. Overflowing gutters and unsealed gap on the left side between the walkway and house may be contributing to the condition by increasing moisture levels at the foundation.

Recommend removing the affected paneling to permit cleaning and further evaluation of the foundation wall. Where basement walls are refinished, moisture-tolerant materials should be considered, as masonry foundation walls are generally more resistant to minor moisture infiltration than conventional wall finishes such as particle board or drywall. Correction of the gutter overflow and improvement of the seal between the building and the adjacent walkway or driveway are also recommended to help reduce moisture intrusion at the foundation.

**Task:** Remove Paneling and drywall.

**Time:** Immediate and ongoing

**Cost:** Not determined

Here are a few thoughts to help you stay warm, safe and dry in your home.

All homes require regular maintenance and periodic updates. Maintenance programs help keep homes safe, comfortable and efficient. Roofs, furnaces and air conditioners for example, wear out and have to be replaced. Good maintenance extends the life of these house systems. Refer to Our Advice tab for more details regarding maintenance of your home.

Water is the biggest enemy of homes, whether from leaks through the roof, walls or foundation, or from plumbing inside the home. Preventative maintenance and quick response to water problems are important to minimize damage, costs and help prevent mould.

Environmental consultants can help with issues like mould, indoor air quality and asbestos. If you need help in these areas, we can connect you with professionals.

All recommendations in the report should be addressed by qualified specialists. Our ballpark costs and time frames are

# OVERVIEW

403 Durie St, Toronto, ON    August 24, 2026

Report No. 98938, v.2

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|           |            |          |           |            |         |         |            |          |          |
|-----------|------------|----------|-----------|------------|---------|---------|------------|----------|----------|
| OVERVIEW  | ROOFING    | EXTERIOR | STRUCTURE | ELECTRICAL | HEATING | COOLING | INSULATION | PLUMBING | INTERIOR |
| RECALCHEK | OUR ADVICE | APPENDIX | REFERENCE |            |         |         |            |          |          |

provided as a courtesy and should be confirmed with quotes from specialists. Minor costs in the report are typically under \$1,000.

END OF OVERVIEW

# ROOFING

403 Durie St, Toronto, ON August 24, 2026

Report No. 98938, v.2

[www.carsondunlop.com](http://www.carsondunlop.com)

OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE

## Description

### Sloped roofing material:

- Asphalt shingles



Asphalt shingles



Asphalt shingles

**Flat roofing material:** • Modified bitumen membrane

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • The roof shingles are in good overall condition.

Annual inspections are recommended (on any roof) to take care of any roof damage and/or regular maintenance items (flashings/caulking).

### FLAT ROOF FLASHINGS \ Wear or damage

**Condition:** • Damage

**Task:** Repair / replace

**Time:** As soon as possible

**Cost:** \$500-\$1,000

# ROOFING

403 Durie St, Toronto, ON August 24, 2026

Report No. 98938, v.2

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OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

RECALCHEK

OUR ADVICE

APPENDIX

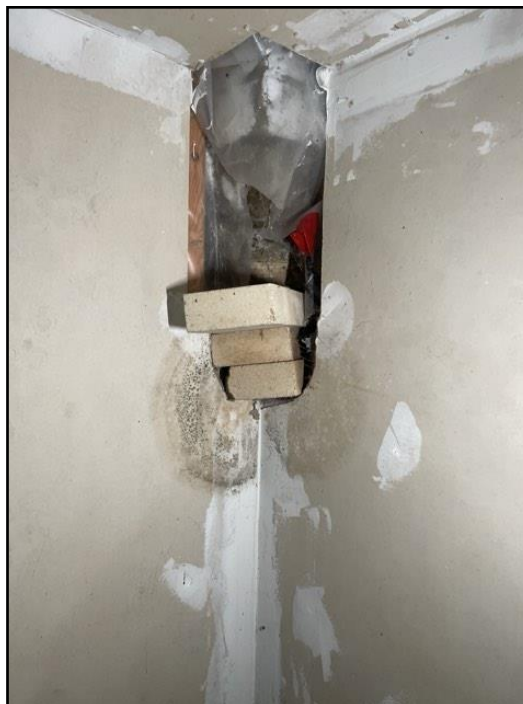
REFERENCE



Damage



Damage



Moisture/Mould detected in this area

# ROOFING

403 Durie St, Toronto, ON August 24, 2026

Report No. 98938, v.2

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OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Lack of access (too high/steep)

**Inspection performed:** • With a drone

**Age determined by:** • Visual inspection

# EXTERIOR

403 Durie St, Toronto, ON August 24, 2026

Report No. 98938, v.2

[www.carsondunlop.com](http://www.carsondunlop.com)

OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE

## Description

Wall surfaces and trim: • [Brick](#) • [Metal siding](#) • [Stone](#)

## Observations and Recommendations

### ROOF DRAINAGE \ Gutters

**Condition:** • [Loose or damaged](#)

Most of the gutters and downspouts are loose, damaged, or improperly configured. Elevated moisture levels were detected in the basement, and deficiencies in the roof drainage system may be contributing to moisture around the foundation.

Given the overall condition of the system, replacement and reconfiguration may provide better value than piecemeal repairs. Upgrading to wider gutters is recommended due to the size of the roof, along with improving downspout locations to promote more effective drainage away from the foundation.

**Location:** Front

**Task:** Repair/Replace/Upgrade

**Time:** As soon as possible/As needed

**Cost:** \$1,500-\$3,000 for replacement/upgrade



*Loose or damaged front*



*Clogged / loose / Water overflowing gutter*

### WALLS \ Masonry (brick, stone) and concrete

**Condition:** • [Cracked](#)

Masonry veneer mortar is cracked in several areas.

**Location:** Front

**Task:** Repair

**Time:** As soon as practical

**Cost:** \$500-\$1,000

# EXTERIOR

403 Durie St, Toronto, ON August 24, 2026

Report No. 98938, v.2

[www.carsondunlop.com](http://www.carsondunlop.com)

OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

RECALCHEK

OUR ADVICE

APPENDIX

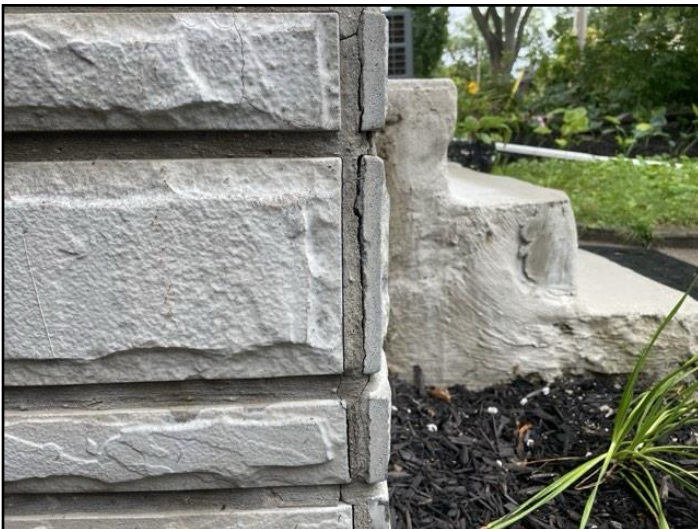
REFERENCE



*Cracked*



*Gap*



*Cracked*



*Front and left side*

# EXTERIOR

403 Durie St, Toronto, ON August 24, 2026

Report No. 98938, v.2

[www.carsondunlop.com](http://www.carsondunlop.com)

OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE



Cracked



Cracked

**Condition:** • Most masonry walls have small cracks due to shrinkage or minor settlement. These will not be individually noted in the report, unless leakage, building movement or similar problems are noted.

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

**Condition:** • [Masonry or concrete cracking](#)

The gutters are clogged and leaking in this area and may be contributing to masonry erosion, Elevated moisture was detected in thi part of the basement (under the stairs) (see Exterior-Gutters and Interior for more details)

**Task:** Repair/replace stairs

**Time:** As needed

**Cost:** \$1,000-\$2,000



Masonry or concrete cracking



Gutter is leaking in this area

## LANDSCAPING \ General notes

**Condition:** • Raised gardens against the house

# EXTERIOR

403 Durie St, Toronto, ON August 24, 2026

Report No. 98938, v.2

[www.carsondunlop.com](http://www.carsondunlop.com)

OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

RECALCHEK

OUR ADVICE

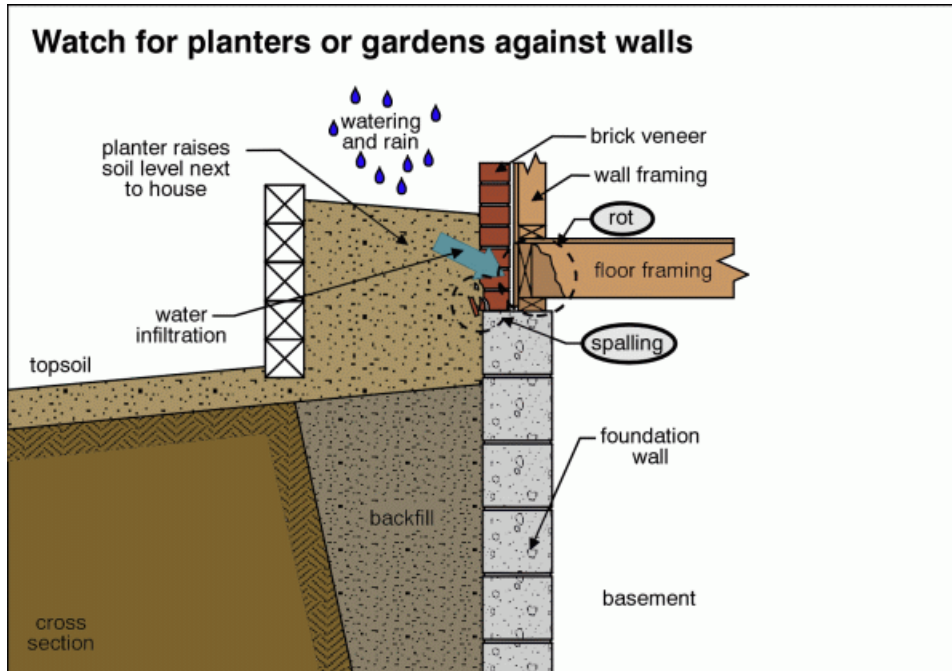
APPENDIX

REFERENCE

**Location:** Front

**Task:** Monitor and re-arrange if necessary.

**Time:** Ongoing



*Raised gardens against the house*

## LANDSCAPING \ Walkway

**Condition:** • [Unsealed gap at building](#)

**Location:** Various - Left side

**Task:** Seal

**Time:** As soon as possible

**Cost:** \$250-\$500

# EXTERIOR

403 Durie St, Toronto, ON August 24, 2026

Report No. 98938, v.2

[www.carsondunlop.com](http://www.carsondunlop.com)

OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

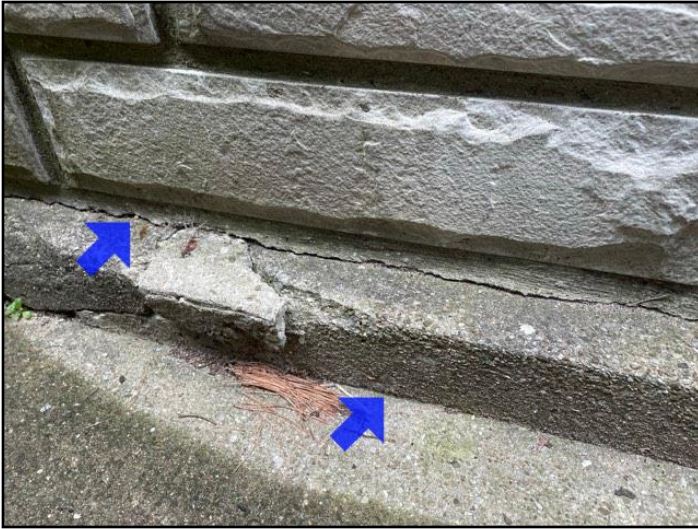
INTERIOR

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE



Unsealed gap at building



Unsealed gap - Left side

## GARAGE \ Ceilings and walls

**Condition:** • Damage

Garage walls are clad with unfinished drywall, which is vulnerable to mould, and without proper ventilation or climate control mould has started to develop on the surface. Additionally, wet drywall was observed in the corner, damage to the roof flashing may be a contributing factor.

**Location:** Garage

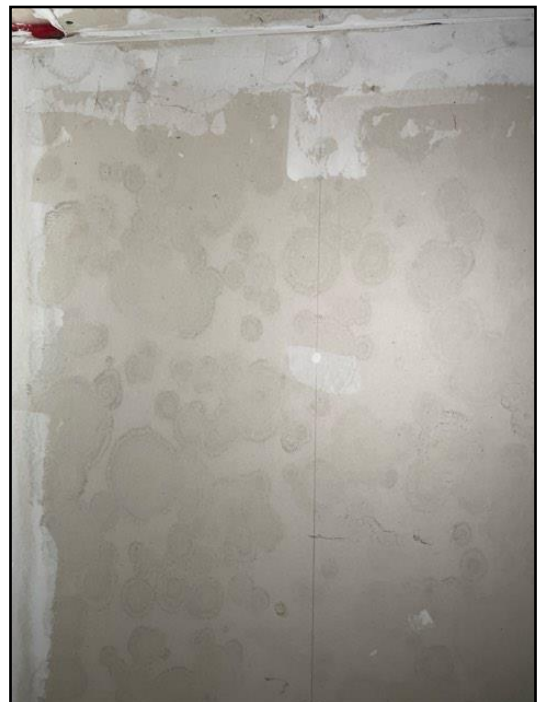
**Task:** Remove drywall

**Time:** As soon as possible

**Cost:** \$500-\$1,000



Damage/Mould



Mould

# EXTERIOR

403 Durie St, Toronto, ON August 24, 2026

Report No. 98938, v.2

[www.carsondunlop.com](http://www.carsondunlop.com)

OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Storage • Poor access under steps, deck, porch • Vines/shrubs/trees against wall • Inaccessible wall

**Exterior inspected from:** • Ground level

**Not included as part of a building inspection:** • Fences and boundary walls • Outbuildings other than garages and carports • Exterior natural gas BBQ connections (if present).

## Description

**General:** • The structure has performed well, with no evidence of significant movement.

**Configuration:** • [Basement](#)

**Foundation material:** • [Masonry block](#) • [Brick](#) • Not visible in areas

**Floor construction:** • [Joists](#) • Subfloor - plank • Not visible in some areas

**Exterior wall construction:** • [Wood frame](#) • [Masonry](#) • Not visible in some areas

**Roof and ceiling framing:**

• Rafters/ceiling joists



*Rafters/ceiling joists*

• [Plank sheathing](#)

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • Most foundation walls and masonry walls have small cracks due to minor shrinkage, settlement or shifting. These will not be individually noted, unless leakage or building movement is noted.

### FLOORS \ Concrete slabs

**Condition:** • Concrete basement, crawlspace and garage floors are not typically part of the structure. Almost all basement, crawlspace and garage concrete floors have minor shrinkage and settlement cracks.

|           |            |          |           |            |         |         |            |          |          |
|-----------|------------|----------|-----------|------------|---------|---------|------------|----------|----------|
| OVERVIEW  | ROOFING    | EXTERIOR | STRUCTURE | ELECTRICAL | HEATING | COOLING | INSULATION | PLUMBING | INTERIOR |
| RECALCHEK | OUR ADVICE | APPENDIX | REFERENCE |            |         |         |            |          |          |

Inspection Methods and Limitations

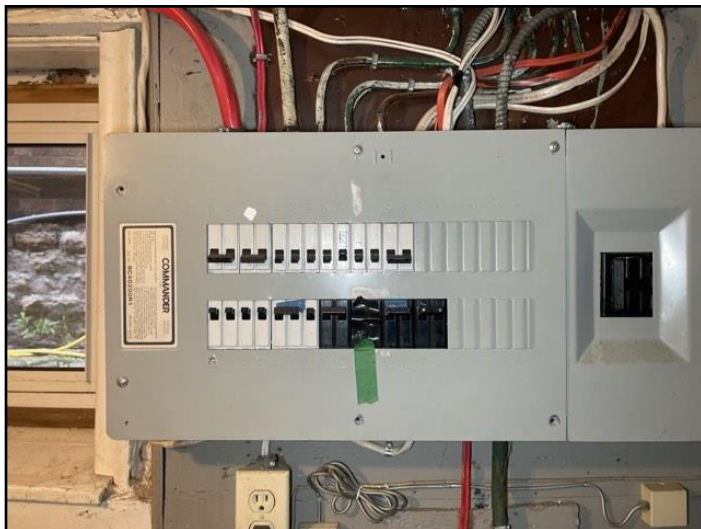
**Attic/roof space:** • Inspected from access hatch

## Description

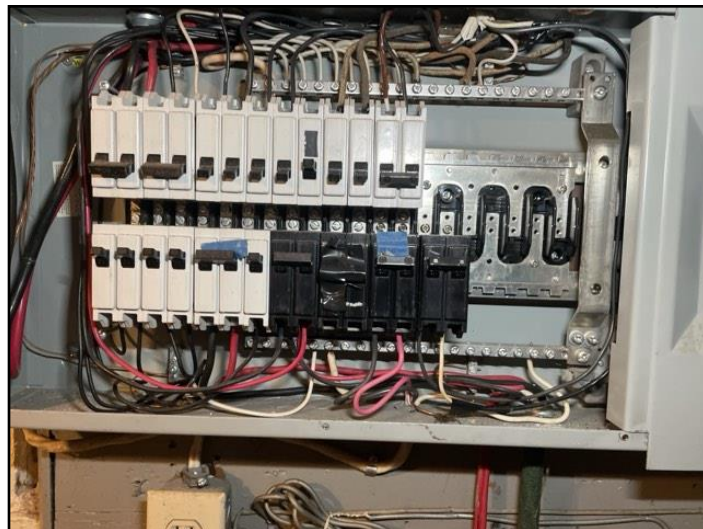
**Service size:** • [200 Amps \(240 Volts\)](#)

**Main disconnect/service box type and location:**

• [Breakers - basement](#)



Breakers - basement



Breakers - basement

**Distribution wire (conductor) material and type:** • [Copper - non-metallic sheathed](#) • [Copper - metallic sheathed](#) • Copper - knob and tube

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • [GFCIs present](#) • No AFCI

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • All electrical recommendations are safety issues. Treat them as high priority items, and consider the Time frame as Immediate, unless otherwise noted.

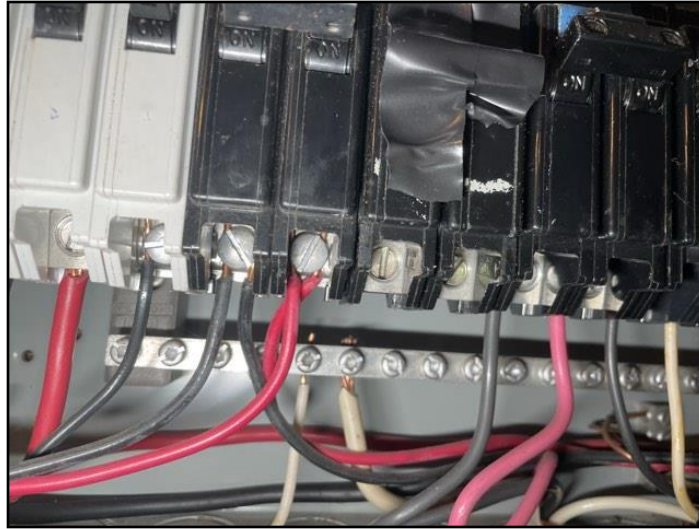
### SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

**Condition:** • [Double taps](#)

**Location:** Basement

**Task:** Further evaluation/improve

**Time:** As needed



*Double taps*

## **DISTRIBUTION SYSTEM \ Knob-and-tube wiring (wires)**

**Condition:** • [Active knob and tube was noted in the home. The extent of the knob and tube could not be determined at the inspection.](#) Click here to see the Ontario Electrical Safety Authority's position on this wiring system.

**Location:** Basement ceiling

**Task:** Replace when remodeling. In the short term, ground fault circuit interrupters (GFCIs) are an inexpensive way to help protect against electric shocks. Further evaluation.

**Cost:** Typically \$1,000 to \$2,000 per room to replace. Note: Additional costs may be incurred for other electrical improvements and cosmetic repairs. In the short term, GFCI protection typically costs \$100-\$200 per circuit.



*Knob and tube - Active*

## **DISTRIBUTION SYSTEM \ Junction boxes**

**Condition:** • [Cover loose or missing](#)

**Location:** Utility room

**Task:** Provide



*Cover loose or missing*

## DISTRIBUTION SYSTEM \ Outlets (receptacles)

**Condition:** • [Ungrounded](#)

Ungrounded 2-prong receptacles were noted. These outlets are common in older homes and are not necessarily considered a defect; however, upgrading affected circuits should be considered during future renovations or electrical improvements.

**Location:** Various

**Task:** Replace

**Time:** When renovating



*Ungrounded*

## DISTRIBUTION SYSTEM \ Cover plates

**Condition:** • [Missing](#)

# ELECTRICAL

403 Durie St, Toronto, ON August 24, 2026

Report No. 98938, v.2

[www.carsondunlop.com](http://www.carsondunlop.com)

OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE

**Location:** Various

**Task:** Provide

**Time:** When and where needed

**Cost:** Minor

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Main disconnect cover not removed - unsafe to do so.

**Not included as part of a building inspection:** • Low voltage wiring systems and components • Testing of smoke and/or carbon monoxide alarms

# HEATING

403 Durie St, Toronto, ON August 24, 2026

Report No. 98938, v.2

[www.carsondunlop.com](http://www.carsondunlop.com)

OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE

## Description

Heating system type:

- [Boiler](#)



Boiler

Fuel/energy source: • [Gas](#)

Approximate capacity: • 120,000 BTU/hr

Efficiency: • [Conventional](#)

Approximate age: • [34 years](#)

Typical life expectancy: • Boiler (cast-iron) 20 to 35 years

Auxiliary heat: • [Electric baseboard heater](#)

Fireplace/stove: • [Gas fireplace](#)

Exhaust/Chimney/vent: • [Masonry](#)

## Observations and Recommendations

### BOILER \ Life expectancy

**Condition:** • Near end of life expectancy.

Although the boiler is close to the end of its life, continue to use and maintain the unit until it fails. Be prepared to replace the boiler at any time.

**Location:** Boiler room

**Task:** Replace

**Time:** When necessary

**Cost:** \$6,000 - \$12,000

### COMMENTS \ Additional

**Condition:** • The insulation on boiler piping may contain asbestos. Health Canada recommends the insulation be left in

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403 Durie St, Toronto, ON August 24, 2026

Report No. 98938, v.2

[www.carsondunlop.com](http://www.carsondunlop.com)

OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE

place undisturbed. If the insulation is damaged or is to be disturbed, and if it contains asbestos (confirm with laboratory test), precautions should be taken that asbestos fibers are not released into the house air during the work.

**Location:** Basement ceiling

**Task:** Do not disturb / Further evaluation from a professional, if removing

**Time:** As needed



*Insulation on boiler piping*



*Insulation on boiler piping*

**Condition:** • Old heating equipment, Remove as desired.



*old equipment no longer connected.*

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403 Durie St, Toronto, ON August 24, 2026

Report No. 98938, v.2

[www.carsondunlop.com](http://www.carsondunlop.com)

OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE

## Inspection Methods and Limitations

**General:** • The inspection does not include gas leak detection, carbon monoxide testing, combustion analysis, or evaluation of internal furnace components.

**Warm weather:** • Prevented testing in heating mode

**Environmental issues are outside the scope of a home inspection:** • This includes issues such as asbestos.

# COOLING & HEAT PUMP

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Report No. 98938, v.2

[www.carsondunlop.com](http://www.carsondunlop.com)

OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE

## Description

### Heat pump type:

- [Ductless \(Mini split\) system](#)



Outdoor unit



Indoor unit

**Cooling capacity:** • 12,000 BTU/hr

**Compressor approximate age:** • 16 years

**Typical life expectancy:** • 10 to 15 years

## Observations and Recommendations

### AIR CONDITIONING \ Life expectancy

**Condition:** • Air conditioner near the end of typical life expectancy

Although the heat pump system is close to the end of its life, continue to use and maintain the unit until it fails. Be prepared to replace at any time.

**Task:** Replace

**Time:** When necessary

**Cost:** \$3,000 - \$6,000

## Inspection Methods and Limitations

**Inspection limited by:** • Heat pumps are not operated in the heating mode when the outdoor temperature is above 70°F

## Description

### Attic/roof insulation material:

- [Cellulose](#)



Cellulose

Attic/roof insulation amount/value: • [R-32](#)

Attic/roof air/vapor barrier: • [Plastic](#)

## Observations and Recommendations

### ATTIC/ROOF \ Insulation

**Condition:** • [Amount less than current standards](#)

Insulation levels are below modern standards (R50-R60) and, in many cases, it is not practical (or cost effective) to improve it unless the opportunity presents itself (e.g. during renovations). Improvements may lead to lower heating/air conditioning costs and improved comfort.

**Location:** Attic

**Task:** Improve

**Time:** Discretionary

**Cost:** \$1,500 - and up

### ATTIC/ROOF \ Hatch/Door

**Condition:** • [Not insulated and not weatherstripped](#)

**Task:** Improve

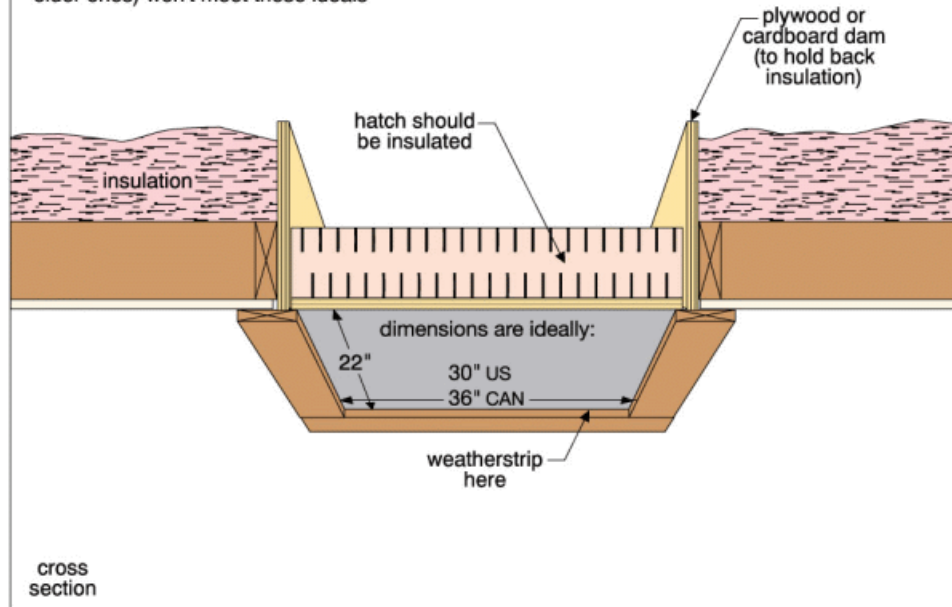
**Time:** As soon as practical

**Cost:** Minor

## Attic access hatch

the illustration shows a good attic access hatch design

hatches in many houses (especially older ones) won't meet these ideals



## Inspection Methods and Limitations

**Inspection limited/prevented by lack of access to:** • Wall space - access not gained

**Attic inspection performed:** • From access hatch

**Roof ventilation system performance:** • Not evaluated

## Description

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the: • Utility room

Water heater type:

• [Conventional](#)



*Conventional*

Water heater fuel/energy source: • [Gas](#)

Water heater approximate age: • 11 years

Water heater typical life expectancy: • 10 to 15 years

Waste and vent piping in building: • [ABS plastic](#) • [Cast iron](#)

Floor drain location: • Near laundry area

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • Many plumbing fixtures may be expected to last 15 years or more, although faucets are often replaced every 10 years.

### SUPPLY PLUMBING \ Water supply piping in building

**Condition:** • [Poor support](#)

a long span of copper pipe is suspended by shoelaces.

**Location:** Basement near Main water shut off

**Task:** Improve

**Time:** As soon as possible



Poor support



Poor support

## WASTE PLUMBING \ Drain piping - performance

**Condition:** • The main sewer line to the street cannot be inspected during a home inspection. A video scan dramatically reduces the risk of expensive and unhealthy sewer back-ups.

**Task:** Provide after possession of the home.

**Cost:** \$300 and up

## FIXTURES AND FAUCETS \ Basin, sink and laundry tub

**Condition:** • Concrete laundry tub is cracked, and has its original lead drain.

**Task:** Replace the basin and drain piping

**Time:** As needed

**Cost:** \$250-\$500



Laundry tub



Cracked

# PLUMBING

403 Durie St, Toronto, ON August 24, 2026

Report No. 98938, v.2

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OVERVIEW

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

RECALCHEK

OUR ADVICE

APPENDIX

REFERENCE



Hand formed lead drain



## FIXTURES AND FAUCETS \ Bathtub

**Condition:** • [Caulking loose, missing or deteriorated](#)

**Location:** Basement

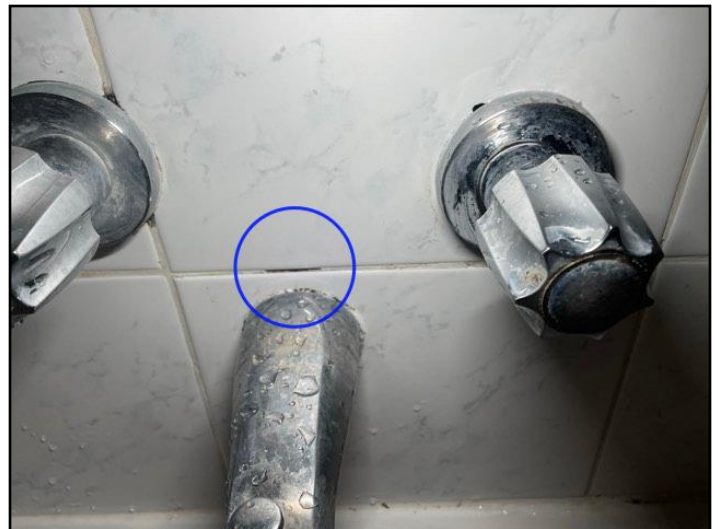
**Task:** Re-Caulk / Re-grout

**Time:** As soon as possible

**Cost:** Minor



Caulking loose, missing or deteriorated



Grout missing

## COMMENTS \ Additional

**Condition:** • Plumbing clean-out pipe is damaged

**Location:** Front

**Task:** Cut pipe flush so the lid sits on properly

**Time:** As soon as possible

**Cost:** Minor



## Inspection Methods and Limitations

**Fixtures not tested/not in service:** • Laundry tub

**Items excluded from a building inspection:** • Tub/sink overflows

## Description

**General:** • Interior finishes are in good repair overall.

## Observations and Recommendations

### CEILINGS AND WALLS \ General notes

**Condition:** • Typical minor flaws

### FLOORS \ General notes

**Condition:** • Typical flaws

These cosmetic issues reflect normal wear and tear.

**Location:** Throughout

### WINDOWS \ General notes

**Condition:** • Painted shut

**Location:** Stairway window

**Task:** Improve

**Time:** If desired

**Cost:** Minor



*Painted shut*

**Condition:** • Windows in varying condition

Windows throughout the home vary in style and age, ranging from original wood-framed windows to more modern replacement windows. The original wood windows require ongoing maintenance, including cleaning, repainting, and periodic repairs to glazing putty and glass as needed.

Some of the more modern windows were noted to have broken or missing operating cranks. All windows tested were functional and operable at the time of inspection, with the exception of a few windows that had been painted or sealed shut. Repair or replacement of damaged window hardware and restoration of inoperable windows is recommended to help ensure proper operation.

**Task:** Clean/Paint/Repair/Replace

**Time:** As needed/Desired

**Cost:** \$500-\$1,000 per window for replacement if desired.

## WINDOWS \ Glass (glazing)

**Condition:** • [Cracked](#)

This is an older wood frame, sash window and aluminum storm window. both are single pane glass which simplifies repair

**Location:** Storm window, second floor kitchen

**Task:** Replace glass

**Time:** As soon as possible

**Cost:** \$100-\$200



*Cracked-Second floor kitchen*



*Cracked- Second floor kitchen*

# INTERIOR

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PLUMBING

INTERIOR

RECALCHEK

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APPENDIX

REFERENCE



*Cracked-Stairwell window*

## WINDOWS \ Hardware

**Condition:** • [Inoperative](#)

Window opens but does not close without manual assistance.

**Location:** Rear right side bedroom

**Task:** Replace window crank mechanism

**Time:** As soon as possible

**Cost:** \$150-\$300



*Inoperative*



*Inoperative - Worn drive gear*

## CARPENTRY \ Countertops

**Condition:** • Worn

**Location:** Second floor kitchen

**Task:** Replace

**Time:** As desired

**Cost:** \$2,000 and up



*Missing Caulking*

## **BASEMENT \ Leakage**

**Condition:** • Almost every basement (and crawlspace) leaks under the right conditions. Based on a one-time visit, it's impossible to know how often or severe leaks may be. While we look for evidence of past leakage during our consultation, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house often cause basement leakage problems. Please read Section 10.0 in the Interior section of the Home Reference Book before taking any action. You can find this in the Reference tab at the end of the report.

To summarize, wet basement issues can be addressed in 4 steps:

1. First, ensure gutters and downspouts carry roof run-off away from the home. (relatively low cost)
2. If problems persist, slope the ground (including walks, patios and driveways) to direct water away from the home. (Low cost if done by homeowner. Higher cost if done by contractor or if driveways, patios and expensive landscaping are disturbed.)
3. If the problem is not resolved and the foundation is poured concrete, seal any leaking cracks and form-tie holes from the inside. (A typical cost is \$300 to \$600 per crack or hole.)
4. As a last resort, dampproof the exterior of the foundation, provide a drainage membrane and add/repair perimeter drainage tile. (High cost)

## **BASEMENT \ Wet basement - evidence**

**Condition:** • Evidence of moisture noted

Elevated moisture and related damage was observed in the wall paneling in the rear room and the drywall under the stairs is installed too close to the foundation wall, which may be wicking moisture from the wall and accumulated efflorescence and debris behind the paneling. Overflowing gutters and unsealed gap on the left side between the

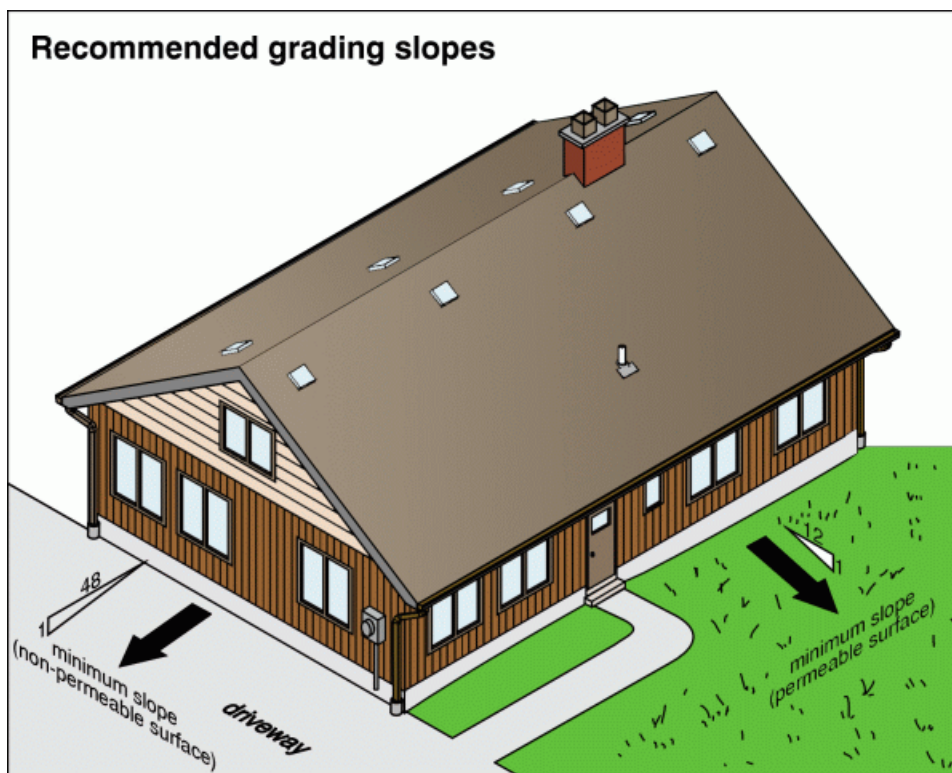
walkway and house may be contributing to the condition by increasing moisture levels at the foundation.

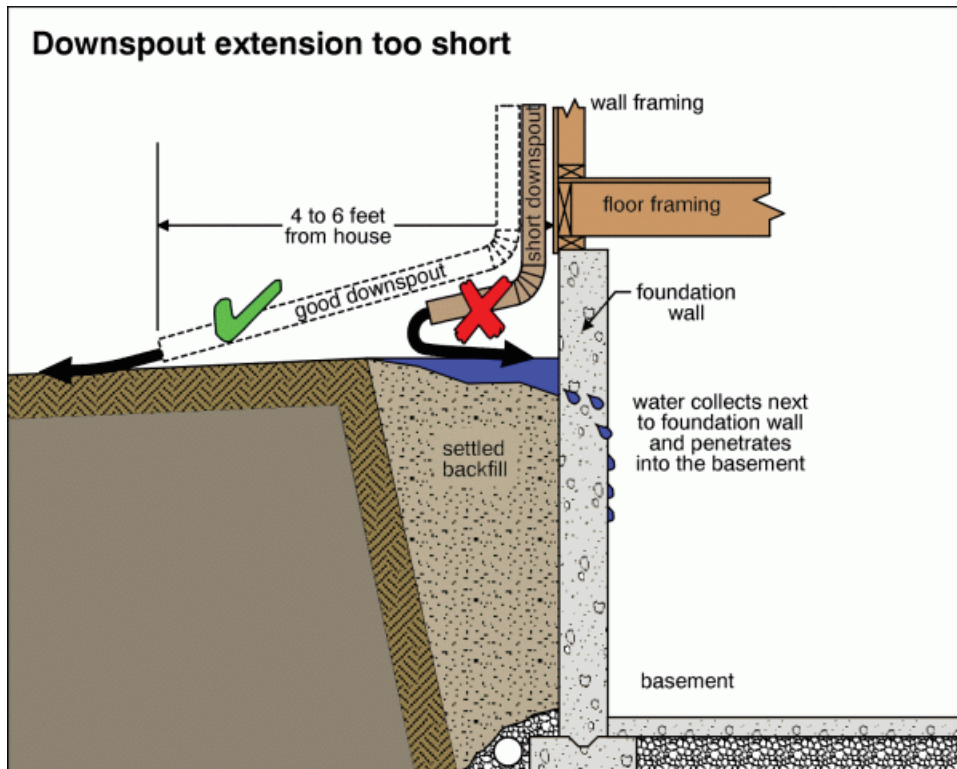
Recommend removing the affected paneling to permit cleaning and further evaluation of the foundation wall. Where basement walls are refinished, moisture-tolerant materials should be considered, as masonry foundation walls are generally more resistant to minor moisture infiltration than conventional wall finishes such as particle board or drywall. Correction of the gutter overflow and improvement of the seal between the building and the adjacent walkway or driveway are also recommended to help reduce moisture intrusion at the foundation.

**Task:** Remove Paneling and drywall.

**Time:** Immediate and ongoing

**Cost:** Not determined





Elevated moisture readings (High)



Evidence of moisture lower wall



Rear addition basement



Below basement stairs - Left side

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Storage/furnishings • Appliances inspections are limited scope, and some issues may not be identified.

**Not included as part of a building inspection:** • Carbon monoxide alarms (detectors), smoke detectors, security systems, central vacuum, window coatings and seals between panes of glass.

**Percent of interior foundation not visible:** • 99 %

|           |            |          |           |            |         |         |            |          |          |
|-----------|------------|----------|-----------|------------|---------|---------|------------|----------|----------|
| OVERVIEW  | ROOFING    | EXTERIOR | STRUCTURE | ELECTRICAL | HEATING | COOLING | INSULATION | PLUMBING | INTERIOR |
| RECALCHEK | OUR ADVICE | APPENDIX | REFERENCE |            |         |         |            |          |          |

Description

**General:** • We include a check for product recalls on major appliances at no extra cost. You will receive a separate report from RecallChek with any notices of product recalls and who to contact to get parts replaced, often free of charge. If there are recalls down the road, you will be notified. If you replace the equipment, just let RecallChek know and you will receive recall notices on these too.

Air Conditioner / Heat Pump:

- Mitsubishi



Mitsubishi

- Mitsubishi

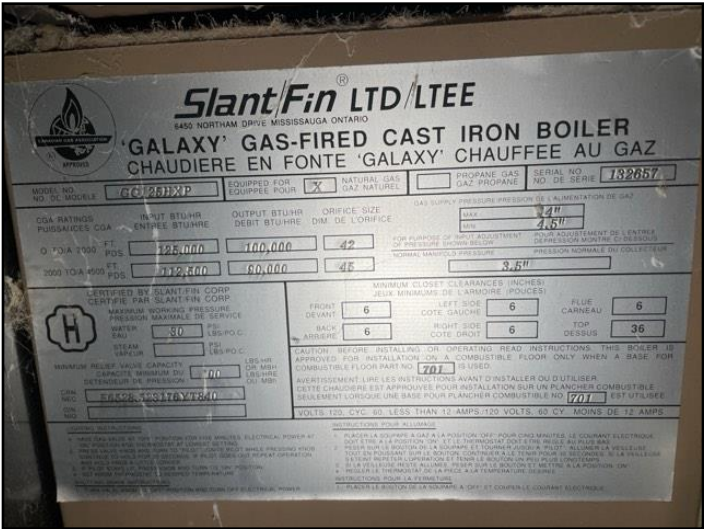


Mitsubishi

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| OVERVIEW  | ROOFING    | EXTERIOR | STRUCTURE | ELECTRICAL | HEATING | COOLING | INSULATION | PLUMBING | INTERIOR |
| RECALCHEK | OUR ADVICE | APPENDIX | REFERENCE |            |         |         |            |          |          |

Boiler:

- Slant/Fin



Slant/Fin

Water Heater:

- GSW

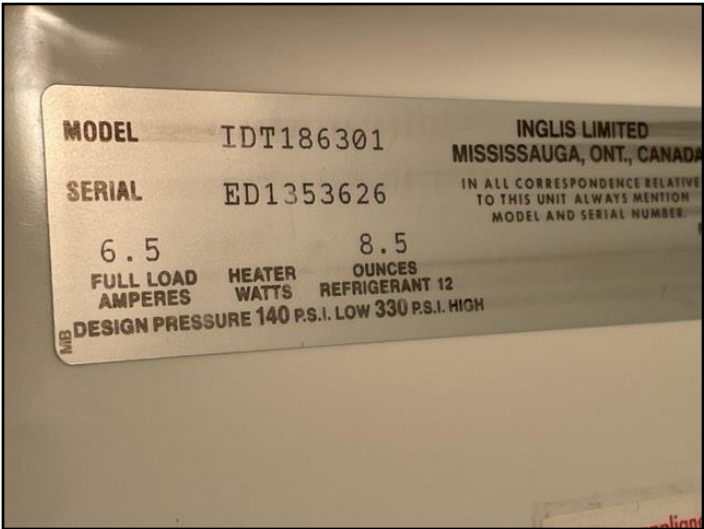


GSW

Refrigerator:

- Inglis

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| OVERVIEW  | ROOFING    | EXTERIOR | STRUCTURE | ELECTRICAL | HEATING | COOLING | INSULATION | PLUMBING | INTERIOR |
| RECALCHEK | OUR ADVICE | APPENDIX | REFERENCE |            |         |         |            |          |          |



Inglis

Range:

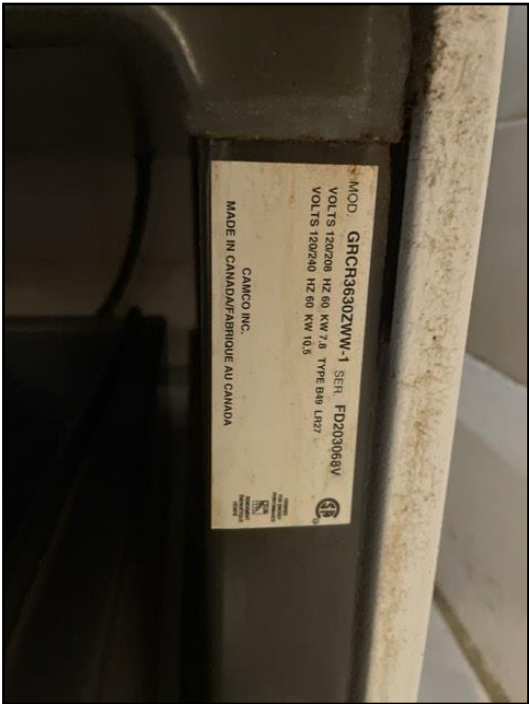
- Frigidaire



Frigidaire

Range: • Camco

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|-----------|------------|----------|-----------|------------|---------|---------|------------|----------|----------|
| OVERVIEW  | ROOFING    | EXTERIOR | STRUCTURE | ELECTRICAL | HEATING | COOLING | INSULATION | PLUMBING | INTERIOR |
| RECALCHEK | OUR ADVICE | APPENDIX | REFERENCE |            |         |         |            |          |          |



## Description

**OUR ADVICE FOR LOOKING AFTER YOUR HOME:** • Home maintenance is an important responsibility. It protects your investment, extends life expectancy and helps avoid significant expenses. This document is an integral part of the report, and will help you avoid many common problems and reduce costs.

**Priority Maintenance and Home Set-Up:** • The Home Set-Up and Maintenance chapter in the Home Reference Book provides important information regarding things that are done once when moving in, as well as regular maintenance activities.

Please be sure to follow these maintenance guidelines. The Home Reference Book is included under the REFERENCE tab in this report.

**Basement/Crawlspace Leakage:** • Basement water leakage is the most common problem with homes. Almost every basement and crawlspace leaks under the right conditions. Good maintenance of exterior grading, gutters and downspouts is critically important.

For more details, please refer to Section 10 of the Interior chapter of the Home Reference Book, which is in the REFERENCE tab in this report.

**Roof - Annual Maintenance:** • It is important to set up an annual inspection and tune-up program to minimize the risk of leakage and maximize the life of the roof. Roof leaks may occur at any time and are most often at penetrations or changes in material. A leak does not necessarily mean the roof needs to be replaced.

Roof coverings are disposable and have to be replaced from time to time. Asphalt shingles, for example, last roughly 15 years.

Also, in a mature neighborhood with mature trees, gutters and downspouts can readily become clogged with leaves and debris. Seasonal maintenance and cleaning can help promote adequate drainage from the roof structure and help keep water away from the home and foundation.

**Exterior - Annual Maintenance:** • Annual inspection of the exterior is important to ensure weather-tightness and durability of exterior components. Grading around the home should slope to drain water away from the foundation to help keep the basement dry.

Painting and caulking should be well maintained. Particular attention should be paid to horizontal surfaces where water may collect.

Joints, intersections, penetrations and other places where water may enter the building assembly should be checked and maintained regularly.

The water supply for all hose bibbs should be shut off from the interior shut-off valve(s) provided and the line(s) drained each season before winter; to help prevent potential freezing of the water supply pipe(s) and subsequent possible flooding issues.

**Garage Door Operators:** • The auto reverse mechanism on your garage door opener should be tested monthly. The door should also reverse when it meets reasonable resistance, or if the 'photo eye' beam is broken.

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| OVERVIEW  | ROOFING    | EXTERIOR | STRUCTURE | ELECTRICAL | HEATING | COOLING | INSULATION | PLUMBING | INTERIOR |
| RECALCHEK | OUR ADVICE | APPENDIX | REFERENCE |            |         |         |            |          |          |

**Electrical System - Label the Panel:** • Each circuit in the electrical panel should be labelled to indicate what it controls. This improves both safety and convenience. Where the panel is already labelled, the labelling should be verified as correct. Do not rely on existing labeling.

**Ground Fault Circuit Interrupters and Arc Fault Circuit Interrupters:** • These should be tested monthly using the test buttons on the receptacles or on the breakers in the electrical panel.

**Heating and Cooling System - Annual Maintenance:** • Set up an annual maintenance agreement that covers parts and labour for all heating and cooling equipment. This includes gas fireplaces and heaters, as well as furnaces, boilers and air conditioners. Include humidifiers and electronic air cleaners in the service agreement. Arrange the first visit as soon as possible after taking possession.

Check filters for furnaces and air conditioners monthly and change or clean as needed. Duct systems have to be balanced to maximize comfort and efficiency, and to minimize operating costs. Adjust the balancing for heating and cooling seasons, respectively.

For hot water systems, balancing should be done by a specialist due to the risk of leakage at radiator valves. These valves are not operated during a home inspection.

**Bathtub and Shower Maintenance:** • Caulking and grout in bathtubs and showers should be checked every 6 months, and improved as necessary to prevent leakage and water damage behind walls and below floors.

**Water Heaters:** • All water heaters should be flushed by a specialist every year to maximize performance and life expectancy. This is even more critical on tankless water heaters.

**Washing Machine Hoses:** • We suggest braided steel hoses rather than rubber hoses for connecting washing machines to supply piping in the home. A ruptured hose can result in serious water damage in a short time, especially if the laundry area is in or above a finished part of the home.

**Clothes Dryer Vents:** • We recommend that vents for clothes dryers discharge outside the home. The vent material should be smooth walled (not corrugated) metal, and the run should be as short and straight as practical. This reduces energy consumption and cost, as well as drying time for clothes. It also minimizes the risk of a lint fire inside the vent.

Lint filters in the dryer should be cleaned every time the dryer is used. There is a secondary lint trap in many condominiums. These should be cleaned regularly. There may also be a duct fan controlled by a wall switch. The fan should be ON whenever the dryer is used.

Dryer ducts should be inspected annually and cleaned as necessary to help reduce the risk of a fire, improve energy efficiency and reduce drying times.

**Fireplace and Wood Stove Maintenance:** • Wood burning appliances and chimneys should be inspected and cleaned before you use them, and annually thereafter. We recommend that specialists with a WETT (Wood Energy Technology Transfer, Inc.) designation perform this work. Many insurance companies require a WETT inspection for a property with a wood burning device.

**Smoke and Carbon Monoxide (CO) Detectors/Alarms:** • Smoke detectors are required at every floor level of every home, including basements and crawlspaces. Even if these are present when you move into the home, we recommend replacing the detectors. We strongly recommend photoelectric smoke detectors rather than ionization type detectors. Carbon monoxide detectors should be provided adjacent to all sleeping areas.

These devices are not tested during a home inspection. Detectors should be tested every 6 months, and replaced every 10 years. Batteries for smoke and carbon monoxide detectors should be replaced annually. If unsure of the age of a smoke detector, it should be replaced.

**Backwater Valve:** • A backwater valve protects your home from a backup of the municipal sewer system. The valve may be equipped with an alarm to notify you of a backup. Please note: if the valve is closed due to a municipal sewer backup, you cannot use the plumbing fixtures in the home. The waste water is unable to leave the building and will back up through floor drains and the lowest plumbing fixtures. • The valve should be inspected and cleaned as necessary at least twice a year.

**Sump Pump:** • A sump pump collects storm water below the basement floor and discharges it safely to the exterior to prevent flooding. The discharge point should be at least 6 feet (2 m) away from the home. Best installations include backup power for the sump pump, so it will work in the event of a power outage. A high water alarm in the sump pump will notify you if the pump fails. Some installations include a backup pump.

The sump and pump should be inspected and tested four times a year.

**For condominium owners:** • Condominium owners - Maintenance and Repairs: There are two types of repairs that may be performed in a condo - repairs to an individual condo unit and repairs to common elements. Common elements are set out in the Condominium Declaration and will differ from one building to another. If repairs must be made inside your unit, you are responsible for making the repairs at your own expense. You are also responsible for the ongoing maintenance of your unit. The condominium corporation's board of directors is responsible for maintenance and repair of the common elements. Exclusive-use common elements, such as parking spaces or balconies are generally maintained by the condominium board.

**Be Ready for Emergencies:** Be sure you know where to shut off the water. Some condos have more than one shut off, and others need a special tool (key) to turn off water. Label each circuit on the electrical panel, and make sure you should know how to turn off the power. Keep a fire extinguisher suitable for grease fires near the kitchen.

**Property Manager and Concierge/Security:** Keep the contact information for these folks handy (perhaps on your phone) wherever you are. • Lint filters in the dryer should be cleaned every time the dryer is used. There is a secondary lint trap in many condominiums. These should be cleaned regularly. There may also a duct fan controlled by a wall switch. The fan should be ON whenever the dryer is used.

**END OF REPORT**

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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS