

Your Inspection Report



1 Rambert Cres
Toronto, ON M6S 1E5



PREPARED FOR:
THEODORE BABIAK

INSPECTION DATE:
Tuesday, August 18, 2026

PREPARED BY:
Jonathan Dube



Carson, Dunlop & Associates Ltd.
1243 Islington Ave, Suite 900
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Excellence in home inspection



August 19, 2026

Dear Theodore Babiak,

RE: Report No. 98895
1 Rambert Cres
Toronto, ON
M6S 1E5

Thank you for choosing us to perform your home inspection. We hope the experience met your expectations.

The enclosed report includes an Overview tab which summarizes key findings, and the report body. The Good Advice tab provides helpful tips for looking after your home; and the Appendix tab includes valuable added benefits. You can navigate by clicking the tabs at the top of each page.

TO THE PROSPECTIVE BUYER: Our obligation and liability are limited to the seller.

Thanks again for choosing Carson Dunlop

Sincerely,

Jonathan Dube
on behalf of
Carson, Dunlop & Associates Ltd.

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OVERVIEW

1 Rambert Cres, Toronto, ON August 18, 2026

Report No. 98895

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This Overview lists some of the significant report items if any were identified. Please read the entire report before making any decisions about the home; do not rely solely on the Overview.

FOR THE BUYER

There are two elements to a home inspection - the inspection itself and the report. This report is helpful, but the inspection is equally important. You need both elements to make an informed decision.

When you move into the home you may find some issues not identified in the report. That is to be expected for a few reasons, such as furniture and storage that has been removed, changes to the property conditions, etc. Therefore, we suggest you allow roughly 1% of the value of the home annually for maintenance and repair.

Our obligation and liability are limited to the seller.

Cooling & Heat Pump

AIR CONDITIONING \ Life expectancy

Condition: • Air conditioner near the end of typical life expectancy

Although the air conditioning system is close to the end of its life, it was functioning at the time of inspection, continue to use and maintain the unit until it fails. Be prepared to replace at any time.

Task: Replace

Time: When necessary

Cost: \$3,000 - \$6,000

Plumbing

WATER HEATER \ Life expectancy

Condition: • Near end of life expectancy

Task: Replace

Time: When necessary

Cost: \$1,000 - \$3,000 (Depends on several variables)

Here are a few thoughts to help you stay warm, safe and dry in your home.

All homes require regular maintenance and periodic updates. Maintenance programs help keep homes safe, comfortable and efficient. Roofs, furnaces and air conditioners for example, wear out and have to be replaced. Good maintenance extends the life of these house systems. Refer to Our Advice tab for more details regarding maintenance of your home.

Water is the biggest enemy of homes, whether from leaks through the roof, walls or foundation, or from plumbing inside the home. Preventative maintenance and quick response to water problems are important to minimize damage, costs and help prevent mould.

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Environmental consultants can help with issues like mould, indoor air quality and asbestos. If you need help in these areas, we can connect you with professionals.

All recommendations in the report should be addressed by qualified specialists. Our ballpark costs and time frames are provided as a courtesy and should be confirmed with quotes from specialists. Minor costs in the report are typically under \$1,000.

END OF OVERVIEW

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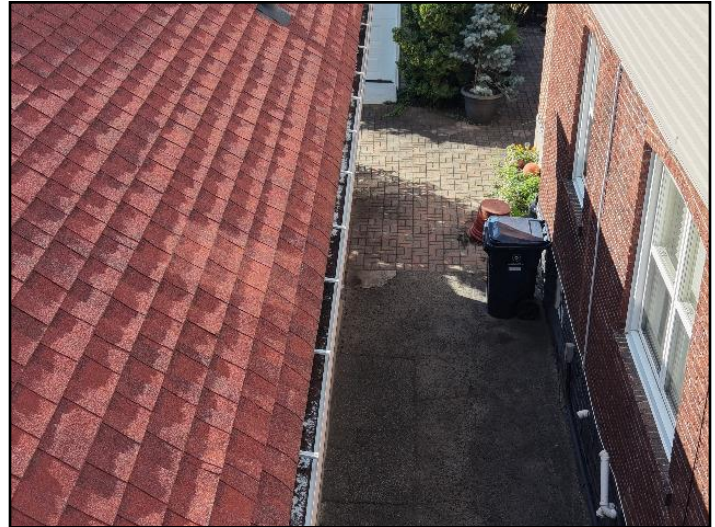
Description

Sloped roofing material:

- Asphalt shingles



Asphalt shingles



Asphalt shingles

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • The roof shingles are in good overall condition.

Annual inspections are recommended (on any roof) to take care of any roof damage and/or regular maintenance items (flashings/caulking).

SLOPED ROOFING \ Asphalt shingles

Condition: • Tree branches touching roof

Location: Various

Task: Trim tree branches

Time: Regular maintenance

Cost: Minor

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Tree branches touching roof

Condition: • Damaged roof vent

Location: Rear

Task: Replace

Time: As soon as possible

Cost: \$150-\$200



Rear pitch

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Inspection Methods and Limitations

Inspection limited/prevented by: • Lack of access (too high/steep)

Inspection performed: • With a drone

Age determined by: • Visual inspection • Visual inspection from ground

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Description

Wall surfaces and trim: • Brick • Metal siding • Vinyl siding

Observations and Recommendations

ROOF DRAINAGE \ Gutters

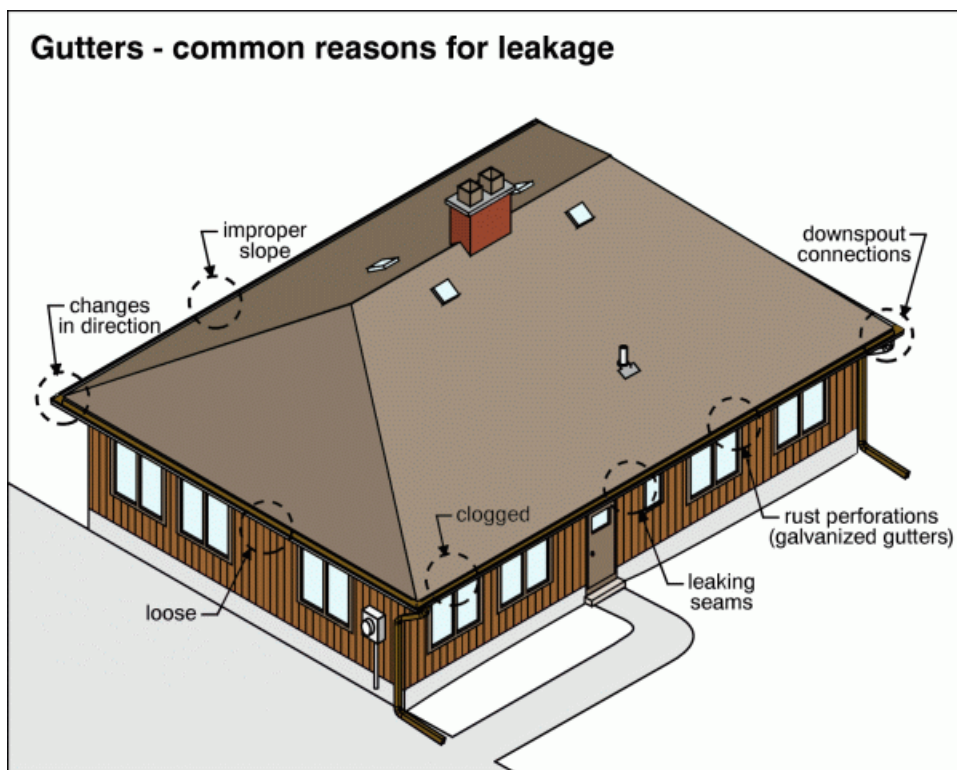
Condition: • Clogged

Location: Throughout

Task: Clean

Time: Regular maintenance

Cost: Minor



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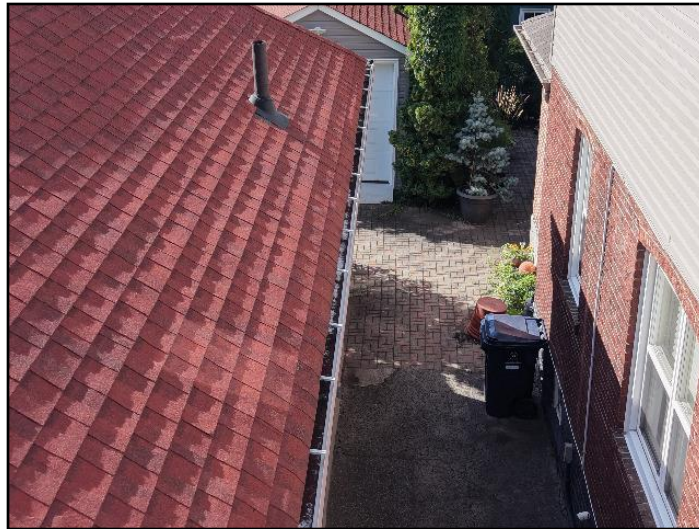
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Clogged

ROOF DRAINAGE \ Downspouts

Condition: • Discharge too close to building

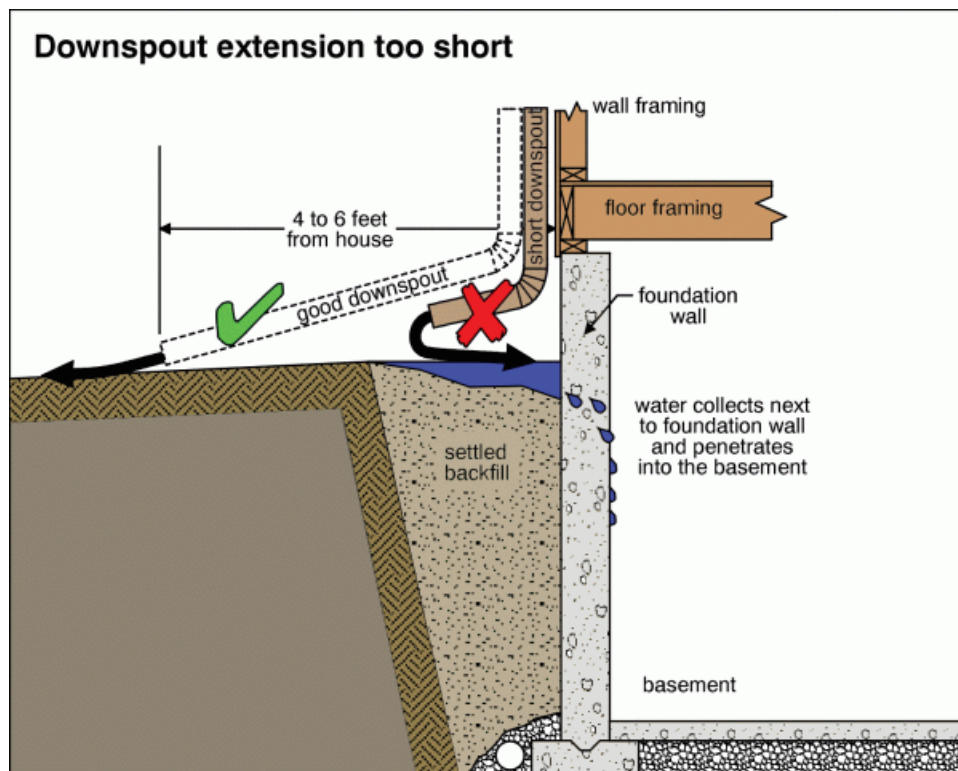
Always transfer water as far away from the house as practical. However attention to erosion, tripping hazard, or creating a slippery ice surface should also be considered.

Location: Various

Task: Improve

Time: Less than 1 year

Cost: Minor



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Discharge too close to building

WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

Condition: • Damage

Location: Rear sunroom

Task: Repair/seal

Time: As soon as possible

Cost: Minor



Damage



Damage

WALLS \ Masonry (brick, stone) and concrete

Condition: • Parging damaged or missing

Location: Left side

Task: Repair

Time: As soon as possible

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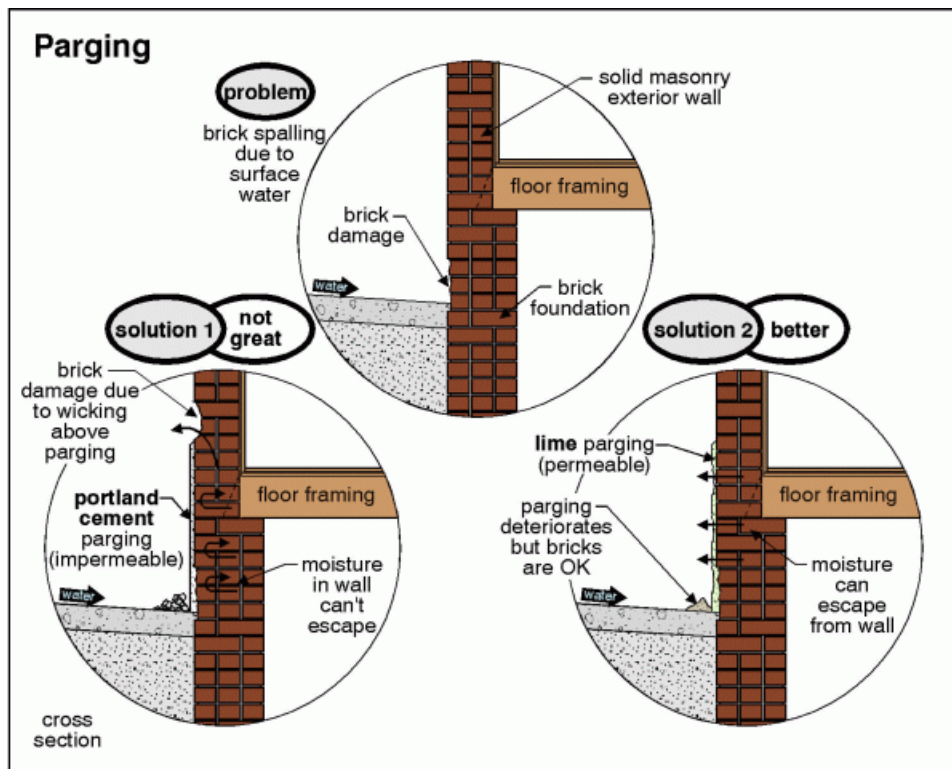
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Cost: \$500-\$1,000



Parging damaged or missing

WINDOWS AND DOORS \ General notes

Condition: • Missing trim/insect damage.

Seller reports the insects(bees) have been treated by a exterminator

Location: Rear

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Task: Repair

Time: As soon as possible

Cost: \$250-\$500



Missing trim



Holes in trim

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes

Condition: • Storage/debris. Collected storage and debris under the front porch may attract pests.

Location: Under front porch

Task: Clean

Time: As soon as possible

Cost: \$250-\$1,000



Condition: • Insulation missing. The insulation appears to have been pulled from the joists below the covered porch.

Location: Below covered porch

Task: Replace

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Time: As needed/ desired

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

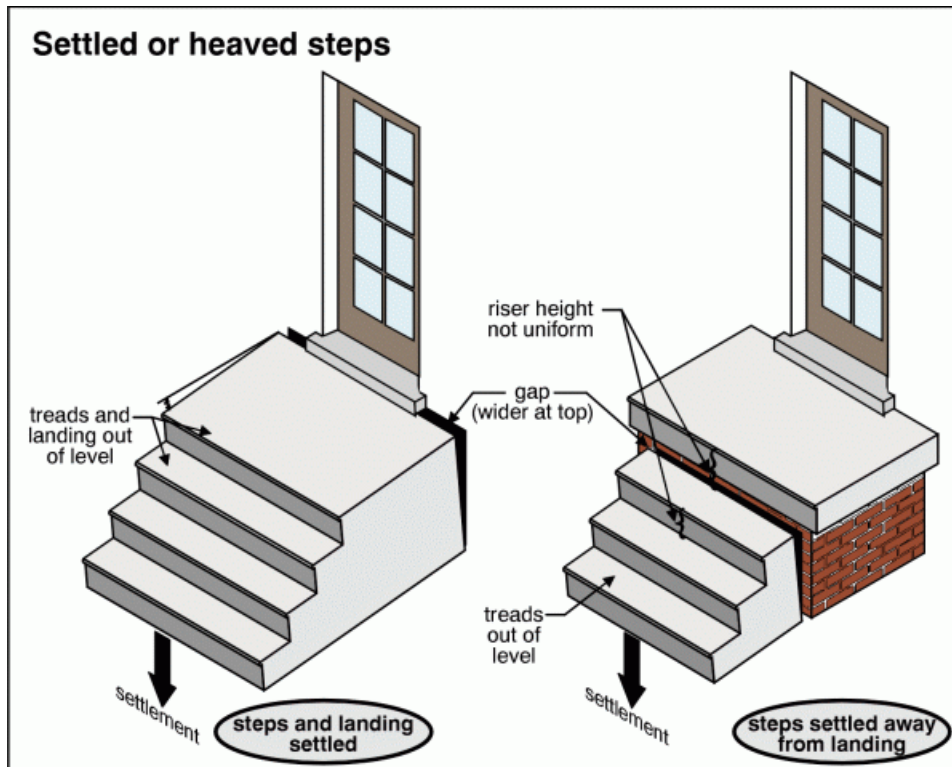
Condition: • Steps or landings settling or heaving

Location: Front

Task: Repair/improve

Time: Less than two years/as needed

Cost: \$1,500-\$3,000



Steps or landings settling or heaving



Steps or landings settling or heaving

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LANDSCAPING \ General notes

Condition: • Vines may damage the home over time. If vines are to remain, and we understand the aesthetic reasons for leaving them, we recommend controlling the growth so vines do not attach to wood surfaces or roofs, and do not clog gutters and downspouts.

Location: Various

Task: Trim/remove vegetation

Time: As soon as possible/regular maintenance

Cost: Minor



Vines may damage the home -



Vines may damage the home -

LANDSCAPING \ Lot grading

Condition: • The ground around some parts of the home does not slope to drain water away from the foundation.

*Stored bricks creating low spot

Location: Front

Task: Improve grading so the ground slopes down at least 1 inch per foot for the first 6 feet away from the home. Note: Less slope is needed on hard surfaces like driveways

Time: As necessary

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Lot grading

LANDSCAPING \ Walkway

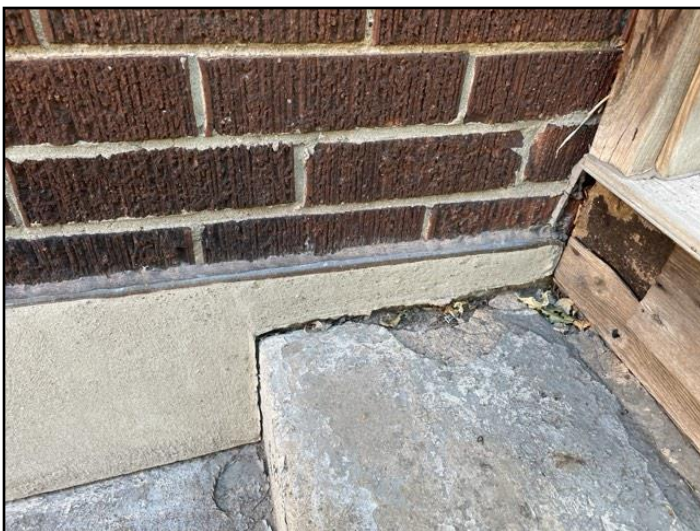
Condition: • Unsealed gap at building

Location: Various

Task: Seal

Time: As soon as possible

Cost: \$250-\$500



Unsealed gap at building



Unsealed gap at building

Condition: • Settlement

Location: Rear

Task: Adjust

Time: As soon as

Cost: Minor

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Settlement

Inspection Methods and Limitations

Inspection limited/prevented by: • Storage • Poor access under steps, deck, porch • Vines/shrubs/trees against wall • Inaccessible wall

Exterior inspected from: • Ground level

Not included as part of a building inspection: • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Fences and boundary walls • Outbuildings other than garages and carports

Description

General: • The structure has performed well, with no evidence of significant movement.

Configuration: • Basement

Foundation material: • Masonry block

Floor construction: • Joists • Subfloor - plank • Not visible in some areas

Exterior wall construction: • Wood frame • Masonry

Roof and ceiling framing: • Rafters/ceiling joists • Plank sheathing

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • Most foundation walls and masonry walls have small cracks due to minor shrinkage, settlement or shifting. These will not be individually noted, unless leakage or building movement is noted.

FOUNDATIONS \ General notes

Condition: • Cracked

Crack was noted. it appears to follow the mortar line of the masonry block. It is not possible from a one-time visit to determine whether movement is ongoing, and if so at what rate.

Location: Rear left side basement

Task: Repair/Monitor

Time: As needed

Cost: Minor



Cracked

FLOORS \ Concrete slabs

Condition: • Concrete basement, crawlspace and garage floors are not typically part of the structure. Almost all basement, crawlspace and garage concrete floors have minor shrinkage and settlement cracks.

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Inspection Methods and Limitations

Attic/roof space: • Inspected from access hatch

Description

General: • The electrical system has been substantially updated.

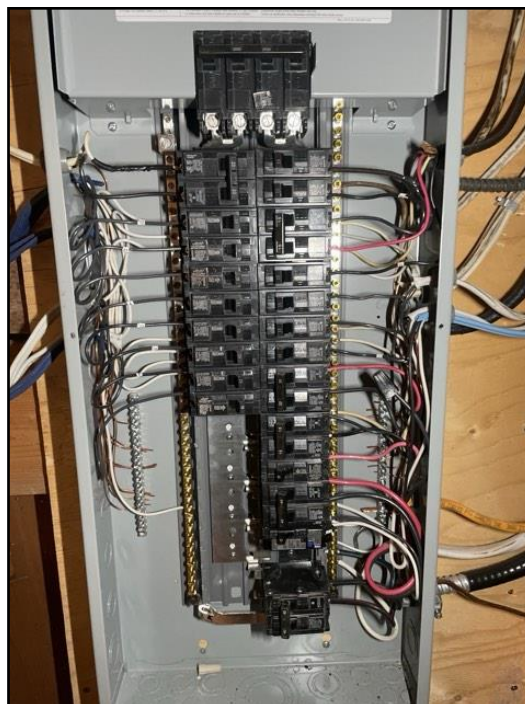
Service size: • 200 Amps (240 Volts)

Main disconnect/service box type and location:

- Breakers - basement



Breakers - basement



Breakers - basement

Distribution wire (conductor) material and type: • Aluminum to sub-panel

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • GFCIs present • AFCIs present

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • All electrical recommendations are safety issues. Treat them as high priority items, and consider the Time frame as Immediate, unless otherwise noted.

DISTRIBUTION SYSTEM \ Knob-and-tube wiring (wires)

Condition: • Some remnants of knob-and-tube wiring found but appeared to be inactive. There is a possibility that there is active knob-and-tube in the home which maybe discovered in the future and/or during a renovation.

Task: Replace (if found active) when remodeling. In the short term, ground fault circuit interrupters (GFCIs) are an inexpensive way to help protect against electric shocks. Further evaluation.

Cost: Typically \$1,000 to \$2,000 per room to replace. Note: Additional costs may be incurred for other electrical improvements and cosmetic repairs. In the short term, GFCI protection typically costs \$100-\$200 per circuit.

DISTRIBUTION SYSTEM \ Outlets (receptacles)**Condition:** • Ungrounded

Although many of the circuits and the service panel have been upgraded some ungrounded outlets remain.

Location: Various**Task:** Improve**Time:** When renovating**Cost:** \$1,500-\$3,000*Ungrounded**Ungrounded***Inspection Methods and Limitations****Inspection limited/prevented by:** • AFCIs (Arc Fault Circuit Interrupters) are not tested in a home that is occupied or where testing may cause damage. These should be tested monthly by the homeowner.**Inspection limited/prevented by:** • Main disconnect cover not removed - unsafe to do so.**Not included as part of a building inspection:** • Low voltage wiring systems and components • Testing of smoke and/or carbon monoxide alarms

HEATING

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Description

General: • The high-efficiency furnace should have several years of life remaining.

Heating system type:

- Furnace



Furnace



Furnace

Fuel/energy source: • Gas

Approximate capacity: • 60,000 BTU/hr

Efficiency: • High-efficiency

Approximate age: • 12 years

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Exhaust/Chimney/vent: • Masonry • Sidewall venting

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • It is common to feel the airflow stronger at some registers, depending on the length of the ductwork and the number of turns required to get there. Different preferences and seasons often necessitate different setups (balancing). A service agreement that covers parts and labour (for heating and cooling equipment) is typically advised.

Location: Throughout

Task: Monitor / improve

CHIMNEY AND VENT \ Masonry chimney cap (crown)

Condition: • Cracked

Condition: • Rain cap missing or damaged

Task: Provide / replace

Time: As soon as practical

HEATING

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Cost: Minor



Rain cap missing or damaged

Inspection Methods and Limitations

General: • The inspection does not include gas leak detection, carbon monoxide testing, combustion analysis, or evaluation of internal furnace components.

Warm weather: • Prevented testing in heating mode

COOLING & HEAT PUMP

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Description

Air conditioning type:

- Air cooled



Air cooled

Cooling capacity: • 24,000 BTU/hr

Compressor approximate age: • 12 years

Typical life expectancy: • 10 to 15 years

Observations and Recommendations

RECOMMENDATIONS \ Overview

Condition: • An annual maintenance program is recommended for heating and cooling systems to optimize safety, efficiency, comfort and durability.

AIR CONDITIONING \ Life expectancy

Condition: • Air conditioner near the end of typical life expectancy

Although the air conditioning system is close to the end of its life, it was functioning at the time of inspection, continue to use and maintain the unit until it fails. Be prepared to replace at any time.

Task: Replace

Time: When necessary

Cost: \$3,000 - \$6,000

Description

Attic/roof insulation material: • Fiberglass

Attic/roof insulation amount/value: • R-24 • R-30

Observations and Recommendations

ATTIC/ROOF \ Insulation

Condition: • Amount less than current standards

Insulation levels are below modern standards (R50-R60) and, in many cases, it is not practical (or cost effective) to improve it unless the opportunity presents itself (e.g. during renovations). Improvements may lead to lower heating/air conditioning costs and improved comfort.

Location: Attic

Task: Improve

Time: Discretionary

Cost: \$1,500 - and up

ATTIC/ROOF \ Hatch/Door

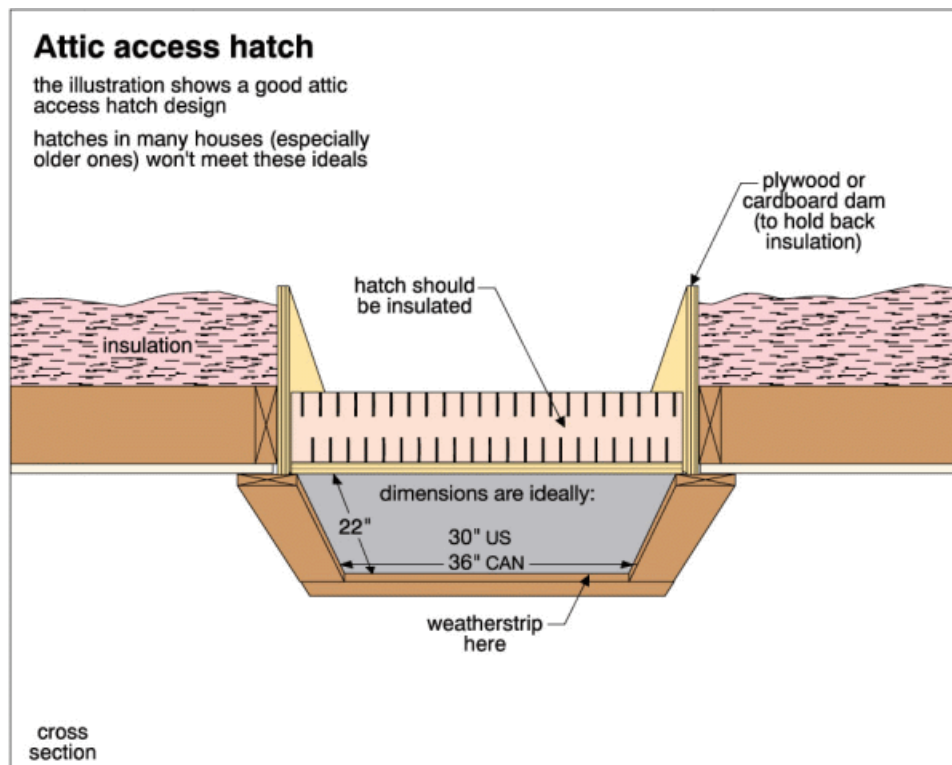
Condition: • Not insulated and not weatherstripped

When improving the hatch, consider increasing the size and/or location of the hatch to make access and inspection/maintenance easier.

Task: Improve

Time: As soon as practical

Cost: Minor



ATTIC/ROOF \ Roof vents

Condition: • Ventilation suspect

Ventilation is a key component in the effort to keep mould/mildew from forming in an attic.

It is hard to have too much ventilation; it doesn't matter how cold the attic space is (assuming there is lots of insulation keeping the house warm). Good ventilation will also help keep the heat down in the summer (especially with dark shingles).

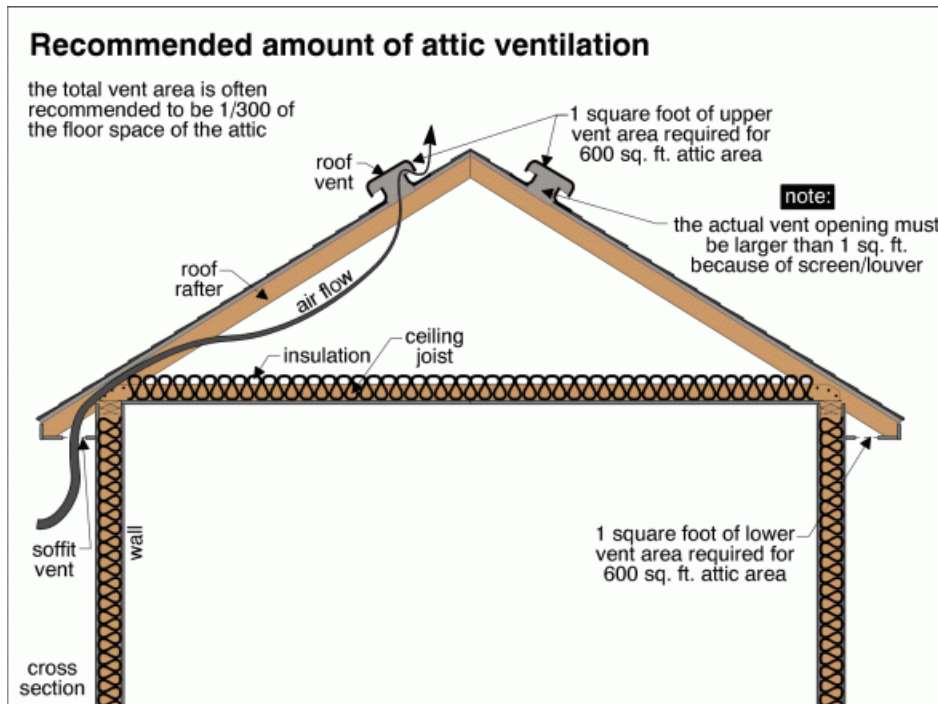
A clear path for any soffit venting should be ensured (add baffles if necessary) and the roof vents should be checked for obstruction (sometimes the holes in the sheathing are not fully cut out).

Any exhaust fan should have a dedicated, insulated duct that goes to a separate roof vent.

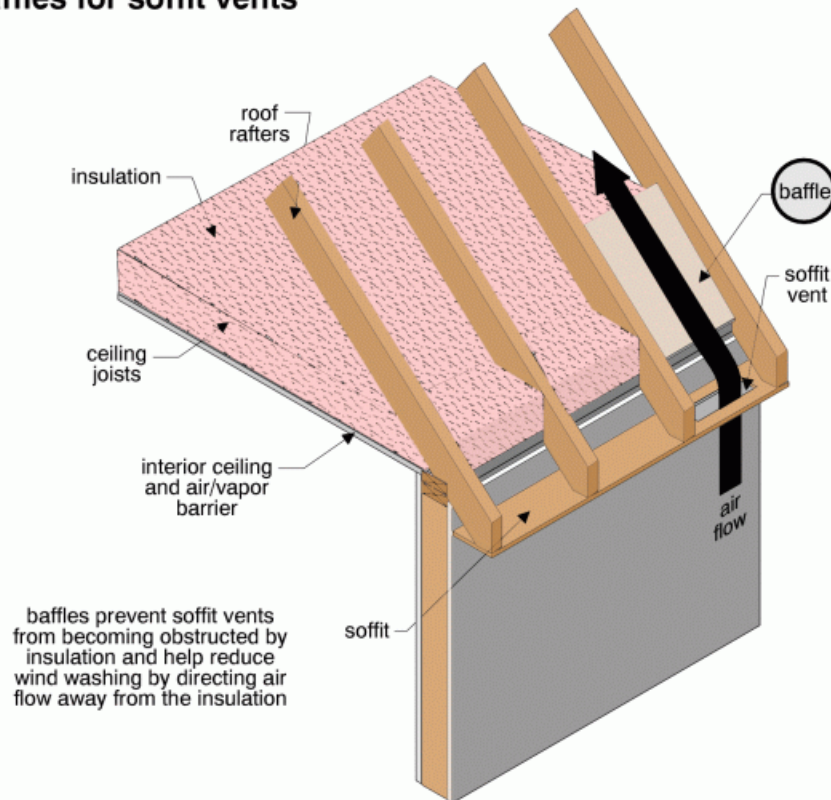
A good time to check for excessive humidity in the attic is in the winter; it will appear as frost on the roof sheathing.

Task: Engage roofing specialist to inspect and advise.

Time: As soon as practical



Baffles for soffit vents



Inspection Methods and Limitations

Inspection limited/prevented by lack of access to: • Wall space - access not gained

Attic inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Description

Service piping into building: • Copper

Supply piping in building: • Copper • PEX (cross-linked Polyethylene)

Main water shut off valve at the: • Front of the basement

Water heater type:

• Tank



Tank

Water heater fuel/energy source: • Gas

Water heater approximate age: • 14 years

Water heater typical life expectancy: • 10 to 15 years

Waste and vent piping in building: • ABS plastic • Copper • Cast iron

Floor drain location: • Near laundry area

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • Many plumbing fixtures may be expected to last 15 years or more, although faucets are often replaced every 10 years.

WATER HEATER \ Life expectancy

Condition: • Near end of life expectancy

Task: Replace

Time: When necessary

Cost: \$1,000 - \$3,000 (Depends on several variables)

WASTE PLUMBING \ Drain piping - performance

Condition: • The main sewer line to the street cannot be inspected during a home inspection. A video scan dramatically reduces the risk of expensive and unhealthy sewer back-ups.

Task: Provide after possession of the home.

Cost: \$300 and up

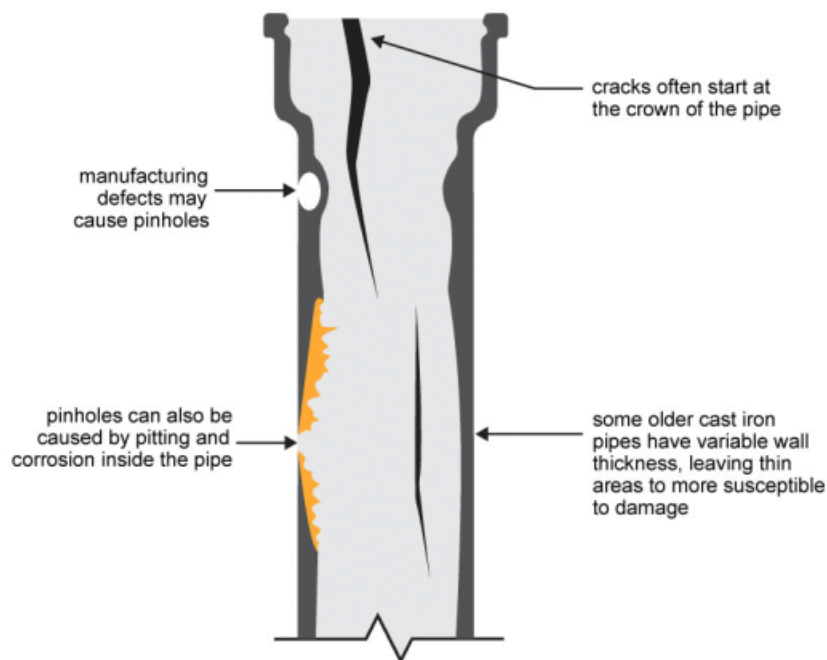
Condition: • The cast iron waste piping is near the end of its normal life expectancy and is prone to rusting through or splitting. Replacement may be required in the near future.

Task: Replace waste stacks

Time: When renovating

Cost: \$1,500-\$3,000

Pinholing and cracks in cast iron stacks





Cast iron old -

FIXTURES AND FAUCETS \ Faucet

Condition: • Loose faucet

Location: kitchen - Basement bathroom

Task: Secure/Replace

Time: As needed

Cost: Minor

FIXTURES AND FAUCETS \ Basin, sink and laundry tub

Condition: • Concrete laundry tub is showing signs of cracks and deterioration.

Task: Replace

Time: As needed

FIXTURES AND FAUCETS \ Shower stall

Condition: • Grout loose, missing or deteriorated

Bathrooms are older, and the grout and caulking are deteriorating and loose.

Location: Throughout- Bathroom shower stalls

Task: Repair grout - Re-caulk

Time: As soon as possible



Grout loose, missing or deteriorated

Inspection Methods and Limitations

Items excluded from a building inspection: • Tub/sink overflows

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • Mechanical systems including garage door operators, exhaust fans, and appliances have life expectancies in the 10 to 15 year range, although there is considerable variation based on a number of factors.

CEILINGS AND WALLS \ General notes

Condition: • Typical minor flaws

FLOORS \ General notes

Condition: • Typical flaws

These cosmetic issues reflect normal wear and tear.

Location: Throughout

WINDOWS \ General notes

Condition: • Older windows

Windows are older wood framed units, with storm windows covering. The wood windows need periodic maintenance which may include cleaning and repainting, replacing the glazing putty and replacing cracked panes.

Task: Refurbish or replace

Time: As desired

Cost: \$500-\$1,000 per window to replace.



Older window - Cracked pane

BASEMENT \ Leakage

Condition: • Almost every basement (and crawlspace) leaks under the right conditions. Based on a one-time visit, it's impossible to know how often or severe leaks may be. While we look for evidence of past leakage during our consultation, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house often cause basement leakage problems. Please read Section 10.0 in the Interior section of the Home Reference Book before taking any action. You can find this in the Reference tab at the end of the report.

To summarize, wet basement issues can be addressed in 4 steps:

1. First, ensure gutters and downspouts carry roof run-off away from the home. (relatively low cost)
2. If problems persist, slope the ground (including walks, patios and driveways) to direct water away from the home. (Low cost if done by homeowner. Higher cost if done by contractor or if driveways, patios and expensive landscaping are disturbed.)
3. If the problem is not resolved and the foundation is poured concrete, seal any leaking cracks and form-tie holes from the inside. (A typical cost is \$300 to \$600 per crack or hole.)
4. As a last resort, dampproof the exterior of the foundation, provide a drainage membrane and add/repair perimeter drainage tile. (High cost)

COMMENTS \ Additional

Condition: • Homes built before the early 1980s may have some building components that could potentially include asbestos, such as stipple, ceiling tiles, drywall mud, flooring, etc. Professional laboratory testing of materials could be considered prior to any future renovations.

Inspection Methods and Limitations

Inspection limited/prevented by: • Storage/furnishings • Appliances inspections are limited scope, and some issues may not be identified.

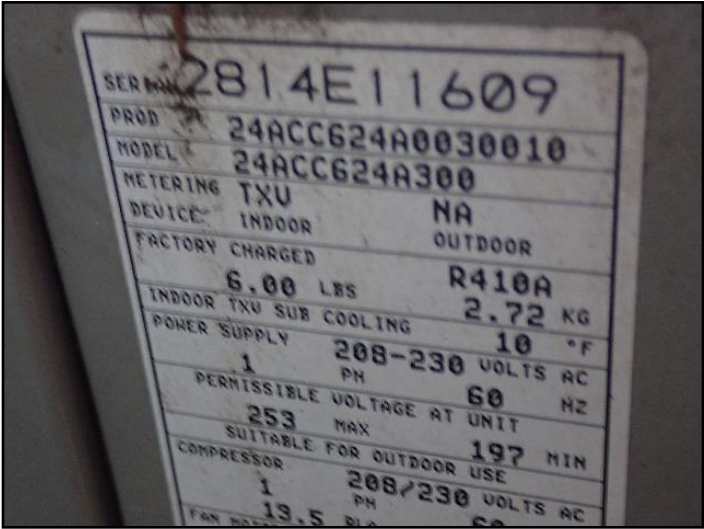
Not included as part of a building inspection: • Carbon monoxide alarms (detectors), smoke detectors, security systems, central vacuum, window coatings and seals between panes of glass.

Percent of interior foundation not visible: • 80 %

Description

Air Conditioner / Heat Pump:

- Carrier



Carrier

Furnace:

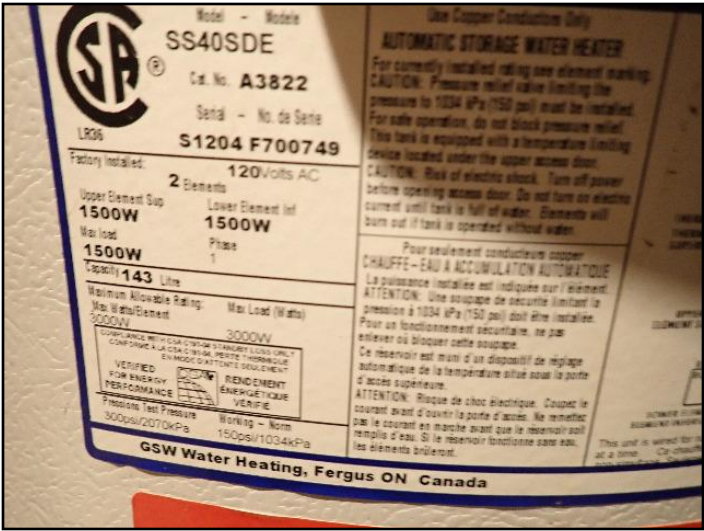
- Carrier



Carrier

Water Heater:

- GSW



GSW

Description

OUR ADVICE FOR LOOKING AFTER YOUR HOME: • Home maintenance is an important responsibility. It protects your investment, extends life expectancy and helps avoid significant expenses. This document is an integral part of the report, and will help you avoid many common problems and reduce costs.

Priority Maintenance and Home Set-Up: • The Home Set-Up and Maintenance chapter in the Home Reference Book provides important information regarding things that are done once when moving in, as well as regular maintenance activities.

Please be sure to follow these maintenance guidelines. The Home Reference Book is included under the REFERENCE tab in this report.

Basement/Crawlspace Leakage: • Basement water leakage is the most common problem with homes. Almost every basement and crawlspace leaks under the right conditions. Good maintenance of exterior grading, gutters and downspouts is critically important.

For more details, please refer to Section 10 of the Interior chapter of the Home Reference Book, which is in the REFERENCE tab in this report.

Roof - Annual Maintenance: • It is important to set up an annual inspection and tune-up program to minimize the risk of leakage and maximize the life of the roof. Roof leaks may occur at any time and are most often at penetrations or changes in material. A leak does not necessarily mean the roof needs to be replaced.

Roof coverings are disposable and have to be replaced from time to time. Asphalt shingles, for example, last roughly 15 years.

Also, in a mature neighborhood with mature trees, gutters and downspouts can readily become clogged with leaves and debris. Seasonal maintenance and cleaning can help promote adequate drainage from the roof structure and help keep water away from the home and foundation.

Exterior - Annual Maintenance: • Annual inspection of the exterior is important to ensure weather-tightness and durability of exterior components. Grading around the home should slope to drain water away from the foundation to help keep the basement dry.

Painting and caulking should be well maintained. Particular attention should be paid to horizontal surfaces where water may collect.

Joints, intersections, penetrations and other places where water may enter the building assembly should be checked and maintained regularly.

The water supply for all hose bibbs should be shut off from the interior shut-off valve(s) provided and the line(s) drained each season before winter; to help prevent potential freezing of the water supply pipe(s) and subsequent possible flooding issues.

Garage Door Operators: • The auto reverse mechanism on your garage door opener should be tested monthly. The door should also reverse when it meets reasonable resistance, or if the 'photo eye' beam is broken.

Electrical System - Label the Panel: • Each circuit in the electrical panel should be labelled to indicate what it controls. This improves both safety and convenience. Where the panel is already labelled, the labelling should be verified as correct. Do not rely on existing labeling.

Ground Fault Circuit Interrupters and Arc Fault Circuit Interrupters: • These should be tested monthly using the test buttons on the receptacles or on the breakers in the electrical panel.

Heating and Cooling System - Annual Maintenance: • Set up an annual maintenance agreement that covers parts and labour for all heating and cooling equipment. This includes gas fireplaces and heaters, as well as furnaces, boilers and air conditioners. Include humidifiers and electronic air cleaners in the service agreement. Arrange the first visit as soon as possible after taking possession.

Check filters for furnaces and air conditioners monthly and change or clean as needed. Duct systems have to be balanced to maximize comfort and efficiency, and to minimize operating costs. Adjust the balancing for heating and cooling seasons, respectively.

For hot water systems, balancing should be done by a specialist due to the risk of leakage at radiator valves. These valves are not operated during a home inspection.

Bathtub and Shower Maintenance: • Caulking and grout in bathtubs and showers should be checked every 6 months, and improved as necessary to prevent leakage and water damage behind walls and below floors.

Water Heaters: • All water heaters should be flushed by a specialist every year to maximize performance and life expectancy. This is even more critical on tankless water heaters.

Washing Machine Hoses: • We suggest braided steel hoses rather than rubber hoses for connecting washing machines to supply piping in the home. A ruptured hose can result in serious water damage in a short time, especially if the laundry area is in or above a finished part of the home.

Clothes Dryer Vents: • We recommend that vents for clothes dryers discharge outside the home. The vent material should be smooth walled (not corrugated) metal, and the run should be as short and straight as practical. This reduces energy consumption and cost, as well as drying time for clothes. It also minimizes the risk of a lint fire inside the vent.

Lint filters in the dryer should be cleaned every time the dryer is used. There is a secondary lint trap in many condominiums. These should be cleaned regularly. There may also be a duct fan controlled by a wall switch. The fan should be ON whenever the dryer is used.

Dryer ducts should be inspected annually and cleaned as necessary to help reduce the risk of a fire, improve energy efficiency and reduce drying times.

Fireplace and Wood Stove Maintenance: • Wood burning appliances and chimneys should be inspected and cleaned before you use them, and annually thereafter. We recommend that specialists with a WETT (Wood Energy Technology Transfer, Inc.) designation perform this work. Many insurance companies require a WETT inspection for a property with a wood burning device.

Smoke and Carbon Monoxide (CO) Detectors/Alarms: • Smoke detectors are required at every floor level of every home, including basements and crawlspaces. Even if these are present when you move into the home, we recommend replacing the detectors. We strongly recommend photoelectric smoke detectors rather than ionization type detectors. Carbon monoxide detectors should be provided adjacent to all sleeping areas.

These devices are not tested during a home inspection. Detectors should be tested every 6 months, and replaced every 10 years. Batteries for smoke and carbon monoxide detectors should be replaced annually. If unsure of the age of a smoke detector, it should be replaced.

Backwater Valve: • A backwater valve protects your home from a backup of the municipal sewer system. The valve may be equipped with an alarm to notify you of a backup. Please note: if the valve is closed due to a municipal sewer backup, you cannot use the plumbing fixtures in the home. The waste water is unable to leave the building and will back up through floor drains and the lowest plumbing fixtures. • The valve should be inspected and cleaned as necessary at least twice a year.

Sump Pump: • A sump pump collects storm water below the basement floor and discharges it safely to the exterior to prevent flooding. The discharge point should be at least 6 feet (2 m) away from the home. Best installations include backup power for the sump pump, so it will work in the event of a power outage. A high water alarm in the sump pump will notify you if the pump fails. Some installations include a backup pump.

The sump and pump should be inspected and tested four times a year.

For condominium owners: • Condominium owners - Maintenance and Repairs: There are two types of repairs that may be performed in a condo - repairs to an individual condo unit and repairs to common elements. Common elements are set out in the Condominium Declaration and will differ from one building to another. If repairs must be made inside your unit, you are responsible for making the repairs at your own expense. You are also responsible for the ongoing maintenance of your unit. The condominium corporation's board of directors is responsible for maintenance and repair of the common elements. Exclusive-use common elements, such as parking spaces or balconies are generally maintained by the condominium board.

Be Ready for Emergencies: Be sure you know where to shut off the water. Some condos have more than one shut off, and others need a special tool (key) to turn off water. Label each circuit on the electrical panel, and make sure you should know how to turn off the power. Keep a fire extinguisher suitable for grease fires near the kitchen.

Property Manager and Concierge/Security: Keep the contact information for these folks handy (perhaps on your phone) wherever you are. • Lint filters in the dryer should be cleaned every time the dryer is used. There is a secondary lint trap in many condominiums. These should be cleaned regularly. There may also a duct fan controlled by a wall switch. The fan should be ON whenever the dryer is used.

END OF REPORT

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