

9.4 COUNTRY RESIDENTIAL (CR-1) ZONE

9.4.1 PURPOSE

- .1 The purpose of this zone is to identify lands which, by reason of adequate drainage, sufficient supply of potable water, availability of adequate sewage disposal, proximity to urban services and freedom from hazardous conditions, are suited for rural *residential use* and *hobby farms*.

9.4.2 PERMITTED USES

- .1 The following *principal uses* and no others shall be permitted:
 - a) *Hobby farm*;
 - b) *Nursery*;
 - c) *One family residence* or *mobile home*.
- .2 The following shall be permitted as *accessory uses*:
 - a) *Accessory buildings or structures*;
 - b) *Accessory produce sales*;
 - c) *Bed and breakfast*;
 - d) *Home based business*;
 - e) *Secondary dwelling*, employee residence or mobile home. (AM#1352)

9.4.3 CONDITIONS OF USE

- .1 On a *parcel* there shall be no more than:
 - a) 1 *one family residence* or *mobile home*; and
 - b) 1 *secondary dwelling*, employee residence or mobile home as an accessory use. (AM#1352)
- .2 A *hobby farm* shall be limited to *parcels* with a minimum *lot area* of 0.8 hectares (2 acres) or larger;
- .3 On a *hobby farm* the keeping of horses, sheep, goats, cattle or other animals of like kind is permitted in concentrations of three (3) animals or less per 2 acres;
- .4 On a *hobby farm* the keeping of poultry is permitted in concentrations of six (6) birds or less per 0.1 hectares (0.25 acres);
- .5 *Buildings or structures* for housing animals associated with a *hobby farm* shall be subject to the *accessory building or structure setback* conditions as stated in this zone.
- .6 All *mobile homes* shall be subject to the Mobile Home Use Regulations of this Bylaw.
- .7 All *accessory buildings or structures* shall be subject to the Accessory Buildings and Structures General Regulations of this Bylaw.
- .8 The retail area of *accessory produce sales* including *buildings* and outdoor areas shall not exceed 300 square metres (~3,227 square feet).
- .9 All *animal shelters* shall be subject to the Animal Shelter Use Regulations of this Bylaw.
- .10 A *bed and breakfast* shall be limited to 3 *sleeping units*.
- .11 All *home based businesses* shall be subject to the Home Based Business Use Regulations of this Bylaw.
- .12 A *secondary dwelling* shall be subject to the Secondary Dwelling Use Regulations of this Bylaw.
- .13 A *mobile home*, employee residence or secondary dwelling as an *accessory use* shall only be permitted where a *one family residence* exists. (AM#1352)

9.4.4 REQUIREMENTS FOR SUBDIVISION

- .1 The minimum *lot area* for a *parcel* created by *subdivision* shall be:
 - a) 0.4 hectares (~1 acre) where there is either a *community water system* or a *community sanitary sewer system* or BOTH available to service the *parcel*;
 - b) 1 hectare (~2.5 acres) where there is neither a *community water system* nor a *community sanitary sewer system* available to service the *parcel*.

9.4.5 SITE COVERAGE, BUILDING HEIGHT AND SETBACKS

- .1 *Site coverage, building height and setbacks* shall be provided in accordance with following table:

Site Coverage, Building Height and Setbacks for Country Residential (CR-1) Zone

	Principal Building or Structure	Accessory Building, Dwelling or Structure (AM#1352)
Maximum Site Coverage	No Maximum (AM#1352)	
Maximum Building Height	10 metres (~33 feet)	10 metres (~33 feet)
Setback Required from:		
Front Lot Line	7.5 metres (~25 feet)	7.5 metres (~25 feet)
Rear Lot Line	7.5 metres (~25 feet)	7.5 metres (~25 feet)
Interior Side Lot Line	5 metres (~16.5 feet)	5 metres (~16.5 feet)
Exterior Side Lot Line	5 metres (~16.5 feet)	5 metres (~16.5 feet)




9.4.6 OTHER REQUIREMENTS

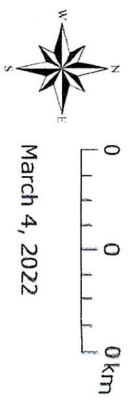
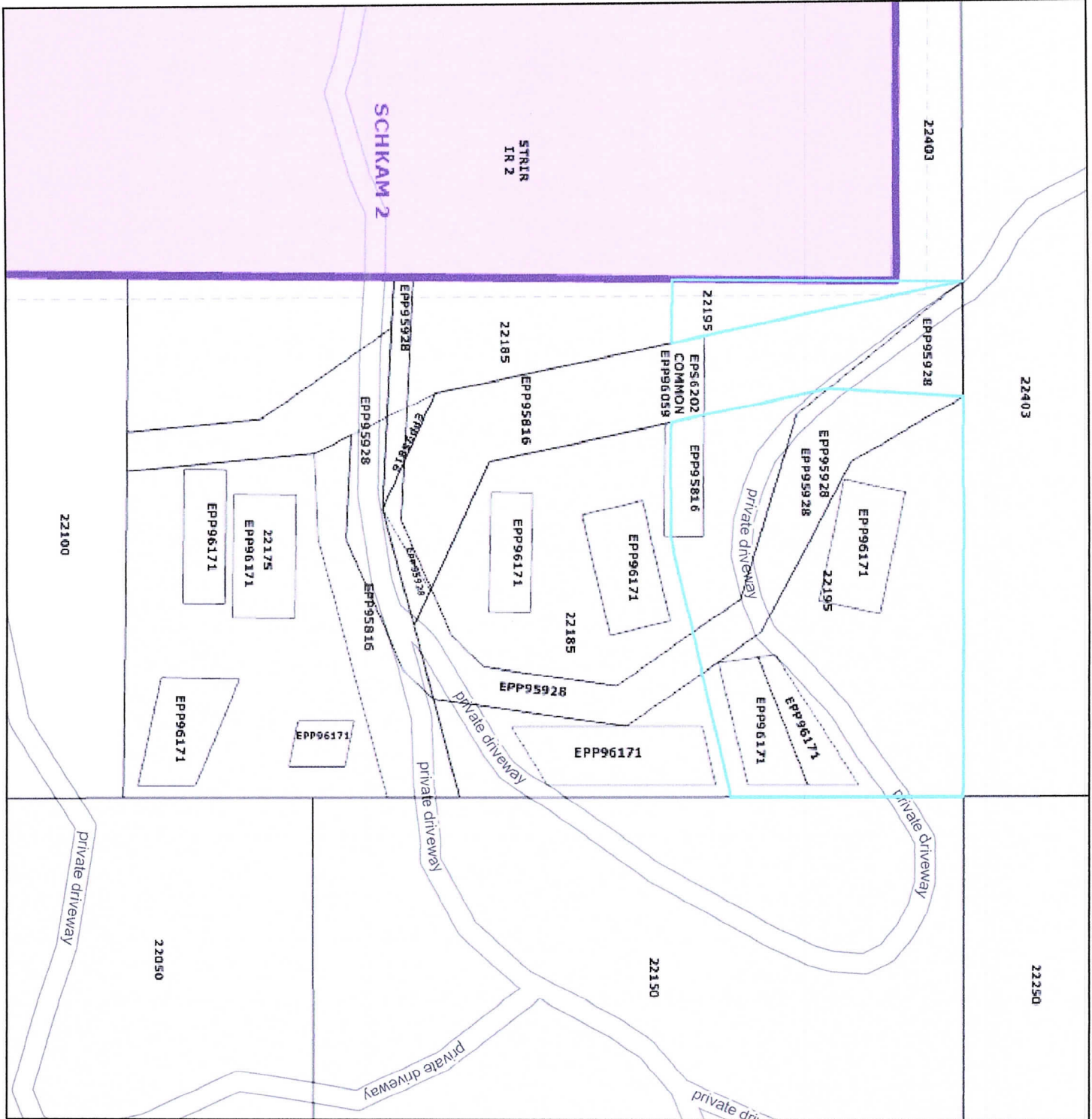
- .1 All *off-street parking areas* and *off-street loading spaces* shall be provided in accordance with the Off-Street Parking and Loading Regulations of this Bylaw.
- .2 All *landscaping, screening and fences* shall be provided in accordance with the Landscaping, Screening and Fencing Regulations of this Bylaw.

9.4.7 SPECIAL REGULATIONS

- .1 N/A

Ross Rd Lots

-  Jurisdictions
-  First Nations
-  Properties



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