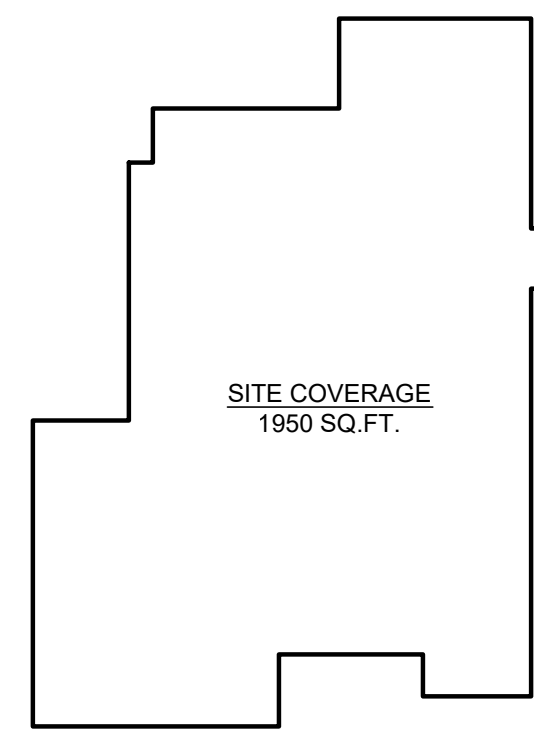
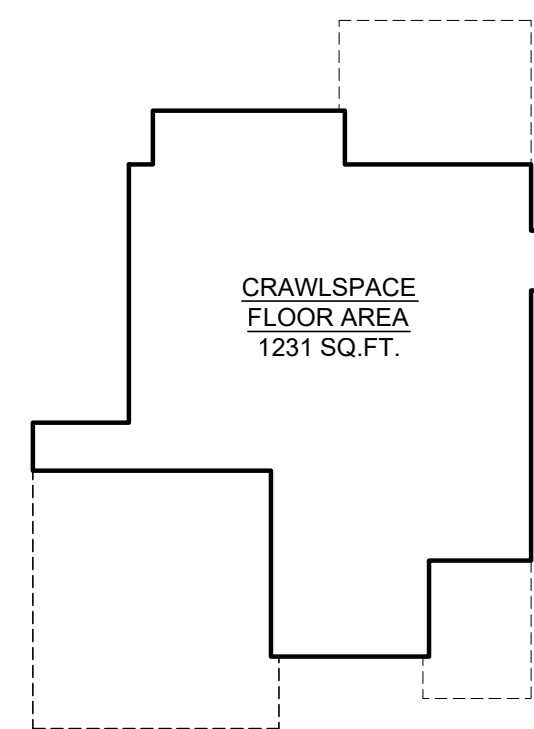
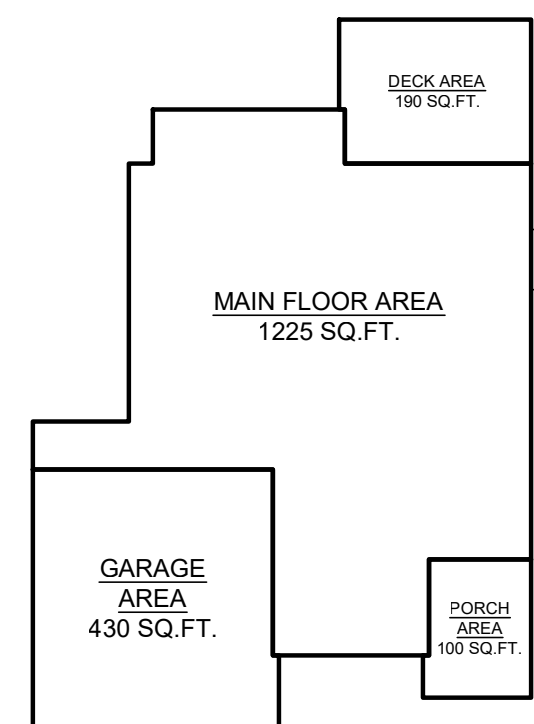
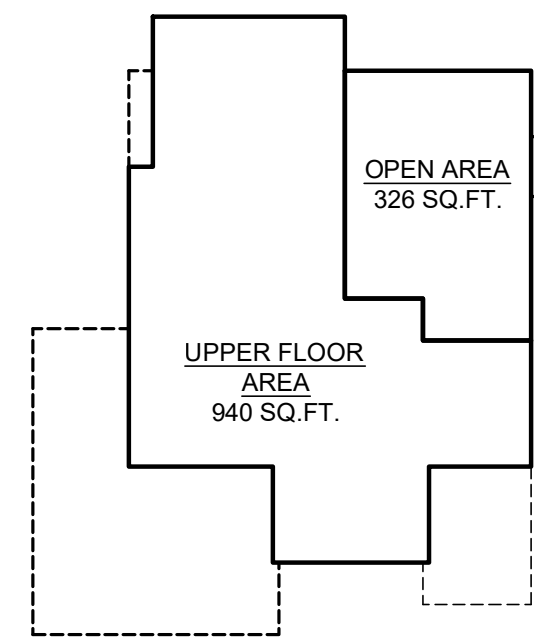
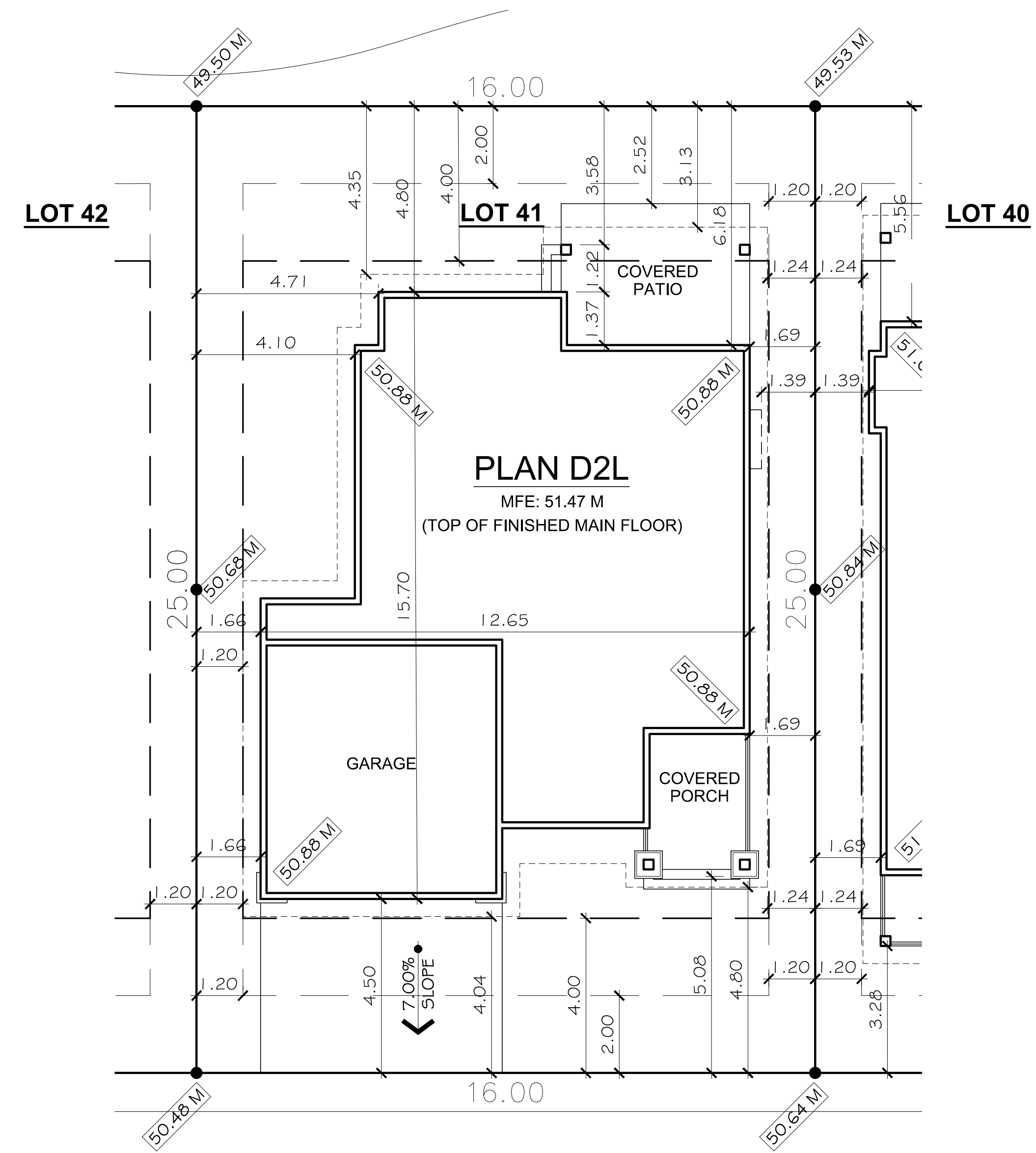


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AREA SCHEMATICS
SCALE: 1/16" = 1'-0"

PROJECT INFORMATION			
CIVIC ADDRESS			
LOT NUMBER 41			
LEGAL DESCRIPTION			
ZONING DISTRICT			
SETBACKS (CLEAR TO SKY)			
FRONT (TO BUILDING):	4.00 M.	13.12 FT.	
REAR (TO BUILDING):	4.00 M.	13.12 FT.	
FRONT (TO DECK):	2.00 M.	6.56 FT.	
REAR (TO DECK):	2.00 M.	6.56 FT.	
SIDE (INTERIOR):	1.20 M.	3.94 FT.	
SIDE (FLANKING):	2.00 M.	6.56 FT.	
SITE AREA			
	400.00 SQ. M.	4305.56 SQ. FT.	
SITE COVERAGE			
PERMITTED:	220.00 SQ. M.	2368.06 SQ. FT.	55.00 %
PROPOSED:	181.16 SQ. M.	1950.00 SQ. FT.	45.29 %
GROSS FLOOR AREA			
MAIN FLOOR:	113.80 SQ. M.	1225 SQ. FT.	
UPPER FLOOR:	87.33 SQ. M.	940 SQ. FT.	
GARAGE FLOOR:	39.95 SQ. M.	430 SQ. FT.	
PROPOSED:	241.08 SQ. M.	2595 SQ. FT.	



ROAD B
SITE PLAN
SCALE: 1/8" = 1'-0"

THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2012 EDITION OF THE B.C. BUILDING CODE

Key Plan

Project North



Revisions

#	Description	Date
8	Issued for Permit	06/16/17
7	Foundation Added Under Porch	06/16/17
6	House Raised 18" Wood Decks Added	03/20/17
5	Second Elevation Applied	02/27/17
4	Roof Added over Rear Patio	02/24/17
3	Plan Mirrored	02/10/17
2	Fireplace Projection and Overhang Reduced 6"	02/10/17
1	Issued for Review	01/30/17

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Client

Genica Developments

Project

**Aquadel Crossing
Plan D2L
Lot 41**

Drawing Title

Site Plan

Drawn By:

4723 Hastings Street Tel: 604.662.8008
Burnaby, B.C. Fax: 604.662.8078
V5C 2K8 www.i3design.ca

i3 design

Designed/Drawn By
GW/NP

Checked
GM

Date
January 30, 2017

Scale
1/4"=1'-0"

Sheet Number

A1.0

Revisions

#	Description	Date
8	Issued for Permit	06/16/17
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1	Issued for Review	01/30/17

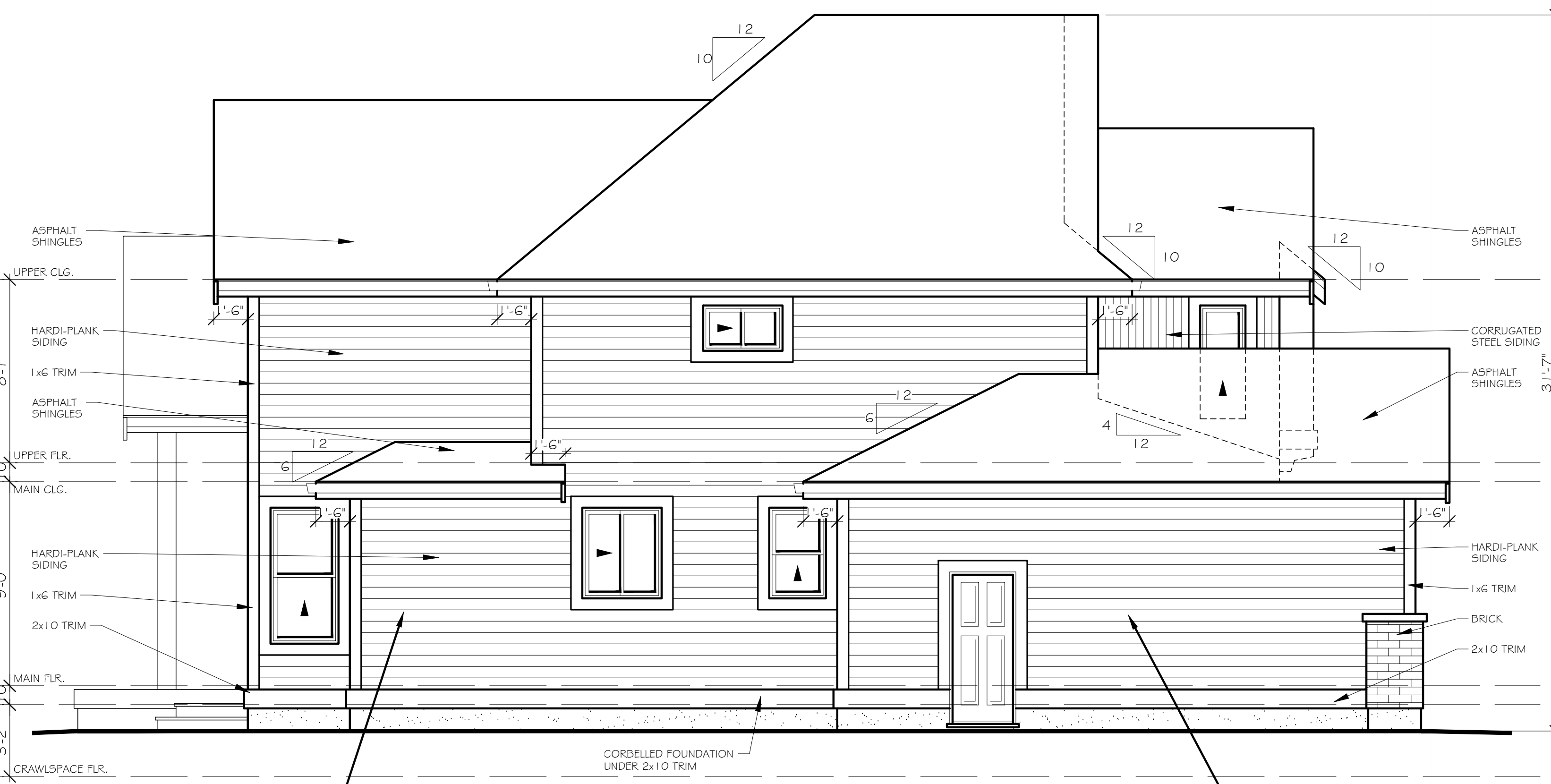
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LEFT ELEVATION

UNPROTECTED OPENINGS:

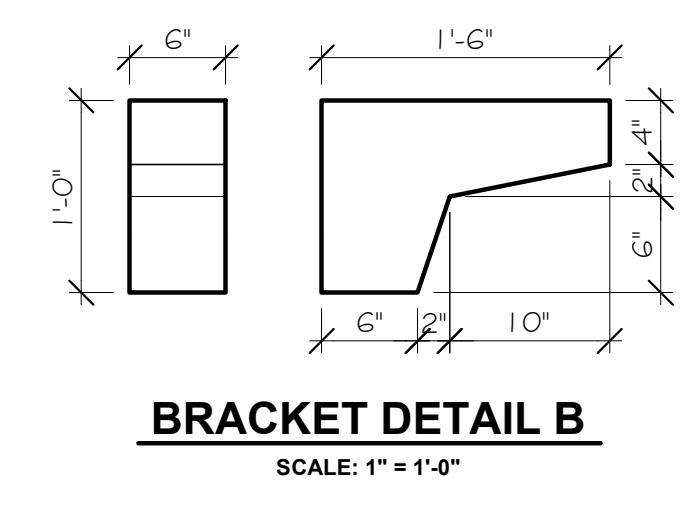
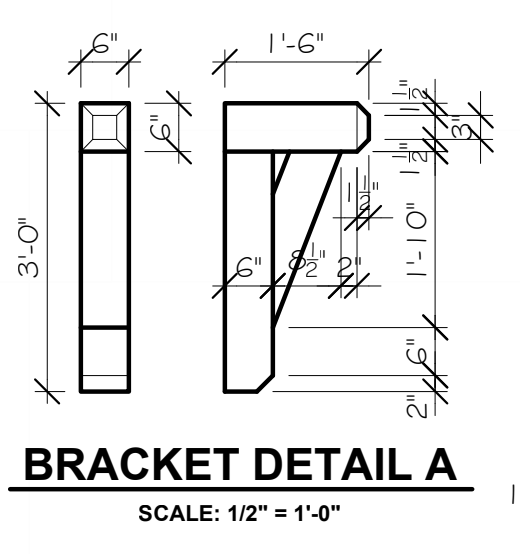
WALL AREA:	621 SQ. FT.
LIMITING DISTANCE:	4.0 m
PERMITTED OPENINGS:	111.79 SQ. FT. 18.00%
PROPOSED OPENINGS:	59.00 SQ. FT. 9.50%

UNPROTECTED OPENINGS:

WALL AREA:	281 SQ. FT.
LIMITING DISTANCE:	1.5 m
PERMITTED OPENINGS:	22.44 SQ. FT. 8.00%
PROPOSED OPENINGS:	17.56 SQ. FT. 6.26%



FRONT ELEVATION



RIGHT ELEVATION

UNPROTECTED OPENINGS:

WALL AREA:	823 SQ. FT.
LIMITING DISTANCE:	1.5 m
PERMITTED OPENINGS:	65.80 SQ. FT. 8.00%
PROPOSED OPENINGS:	47 SQ. FT. 5.71%

UNPROTECTED OPENINGS:

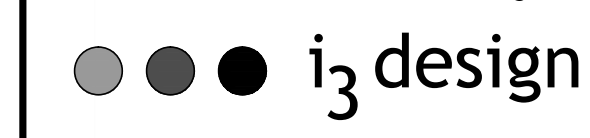
WALL AREA:	88 SQ. FT.
LIMITING DISTANCE:	6.0 m
PERMITTED OPENINGS:	29.88 SQ. FT. 34.00%
PROPOSED OPENINGS:	20 SQ. FT. 22.76%



REAR ELEVATION

Project
**Aquadel Crossing
Plan D2L
Lot 41**
Drawing Title
Elevations

Drawn By:
4723 Hastings Street
Burnaby, B.C.
V5C 2K8
Tel: 604.662.8008
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www.i3design.ca



Designed/Drawn By
GW/MP
Checked
GM

Date
January 30, 2017
Scale
1/4" = 1'-0"

Sheet Number

A2.0

#	Description	Date
8	Issued for Permit	06/16/17
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3	Plan Mirrored	02/10/17
2	Fireplace Projection and Overhang Reduced 6"	02/10/17
1	Issued for Review	01/30/17

Client
Genica Developments

QTY	DESCRIPTION
SWITCHES	
1	SWITCH
3	3 WAY SWITCH
4	4 WAY SWITCH
1	DIMMER SWITCH
LIGHTS	
1	PULL CHAIN LIGHT
1	POT LIGHT
1	TRACK LIGHT
1	FLOURESCENT
RECEPTACLES	
1	DUPLEX SWITCHED
1	SPLIT
1	GROUND FAULT
1	WATERPROOF
1	220
1	CEILING
1	FLOOR
MISCELLANEOUS	
1	PHONE JACK
1	TV CABLE
1	DATA/TEL./CABLE
1	SMOKE ALARM
1	CEILING FAN
1	CEILING FAN/LIGHT
1	EXHAUST FAN
MECHANICAL	
1	FORCED AIR FLOOR
1	FORCED AIR CEILING
1	THERMOSTAT
1	SOLAR HW CONDUIT
1	HOSE BIBB
1	4" DRAIN

Project
**Aquadel Crossing
Plan D2L
Lot 41**

Drawing Title
**Main Floor Plan
Upper Floor Plan**

Drawn By:
4723 Hastings Street Tel: 604.662.8008
Burnaby, B.C. Fax: 604.662.8078
V5C 2K8 www.i3design.ca

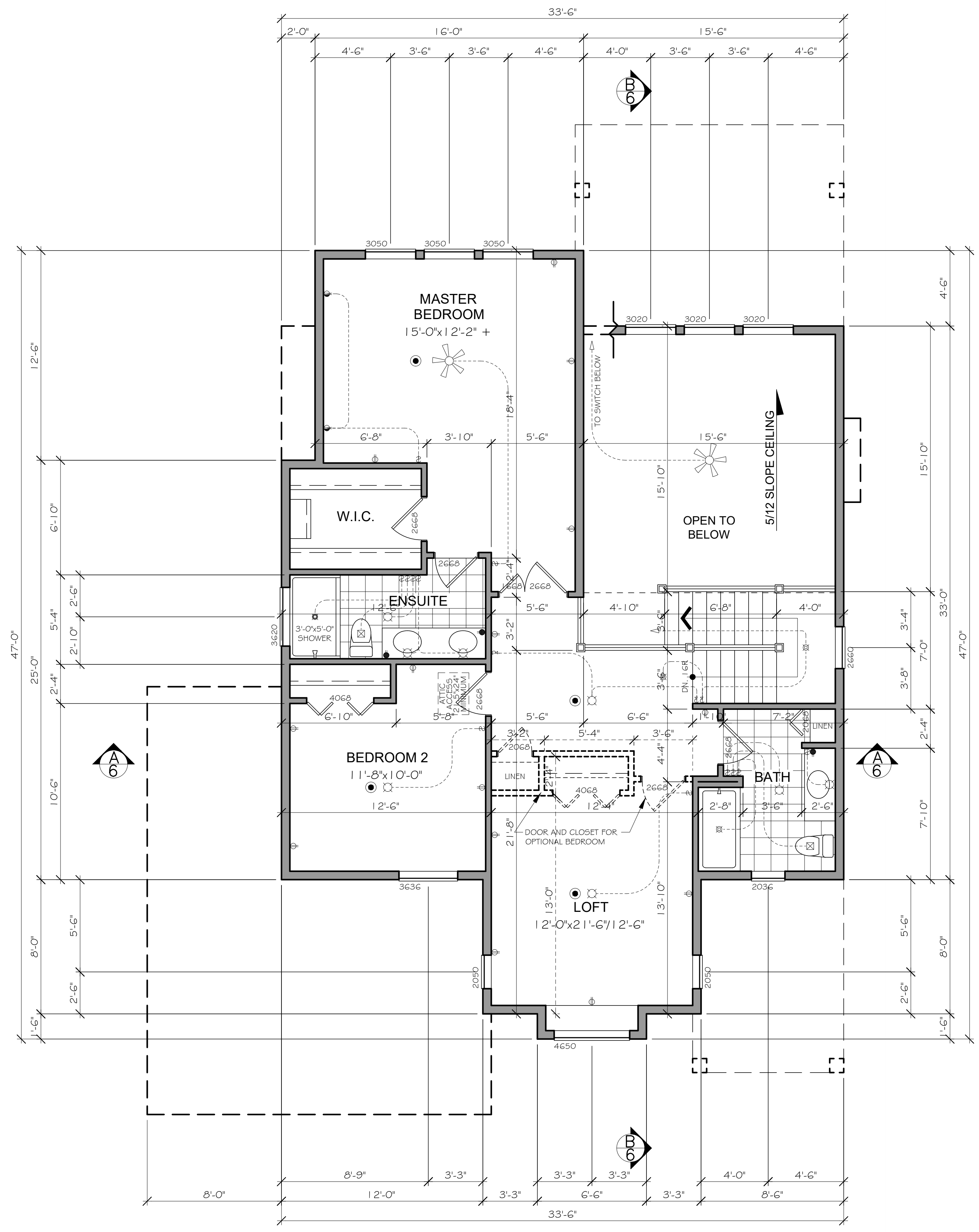
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Checked
GM

Date
January 30, 2017

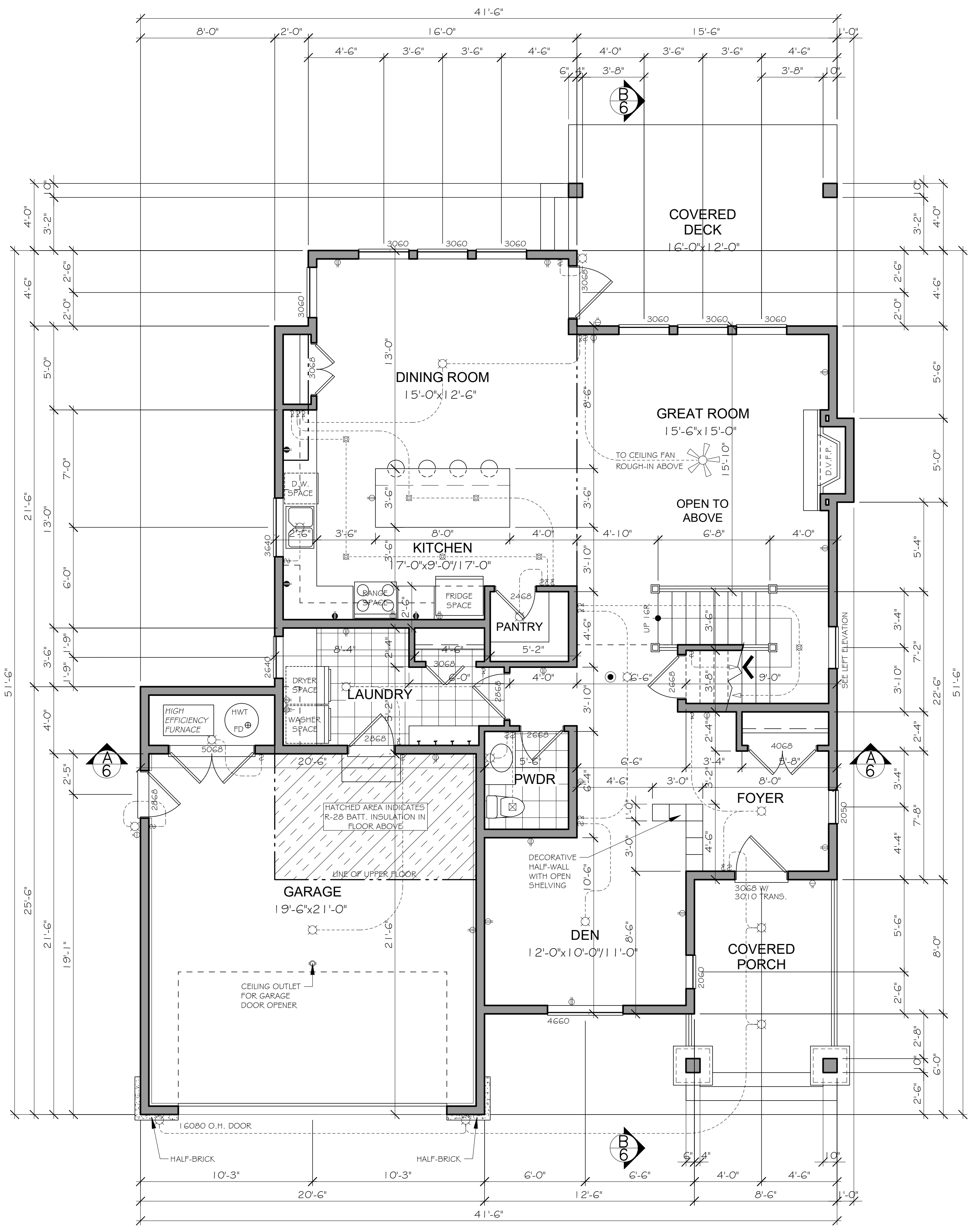
Scale
1/4"=1'-0"

Sheet Number
A3.0



UPPER FLOOR PLAN

FLOOR AREA = 940 SQ.FT.



MAIN FLOOR PLAN

FLOOR AREA = 1225 SQ.FT.
TOTAL FLOOR AREA = 2165 SQ.FT.

NOTE: ELECTRICAL LAYOUT FOR REFERENCE ONLY. ALL ELECTRICAL PANEL AND ELECTRIC BASEBOARD HEATER LOCATIONS TO BE DETERMINED BY ELECTRICAL ENGINEER.

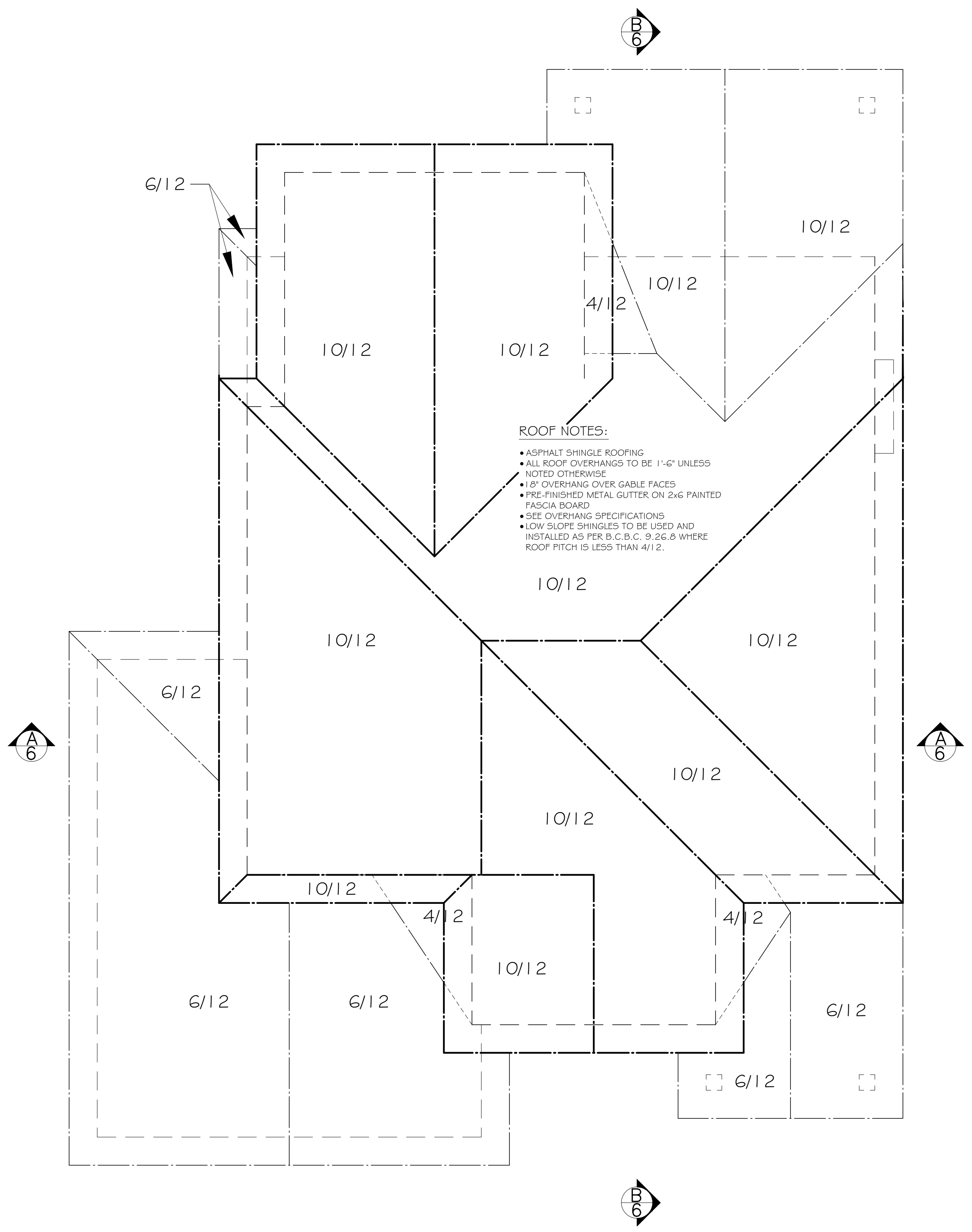
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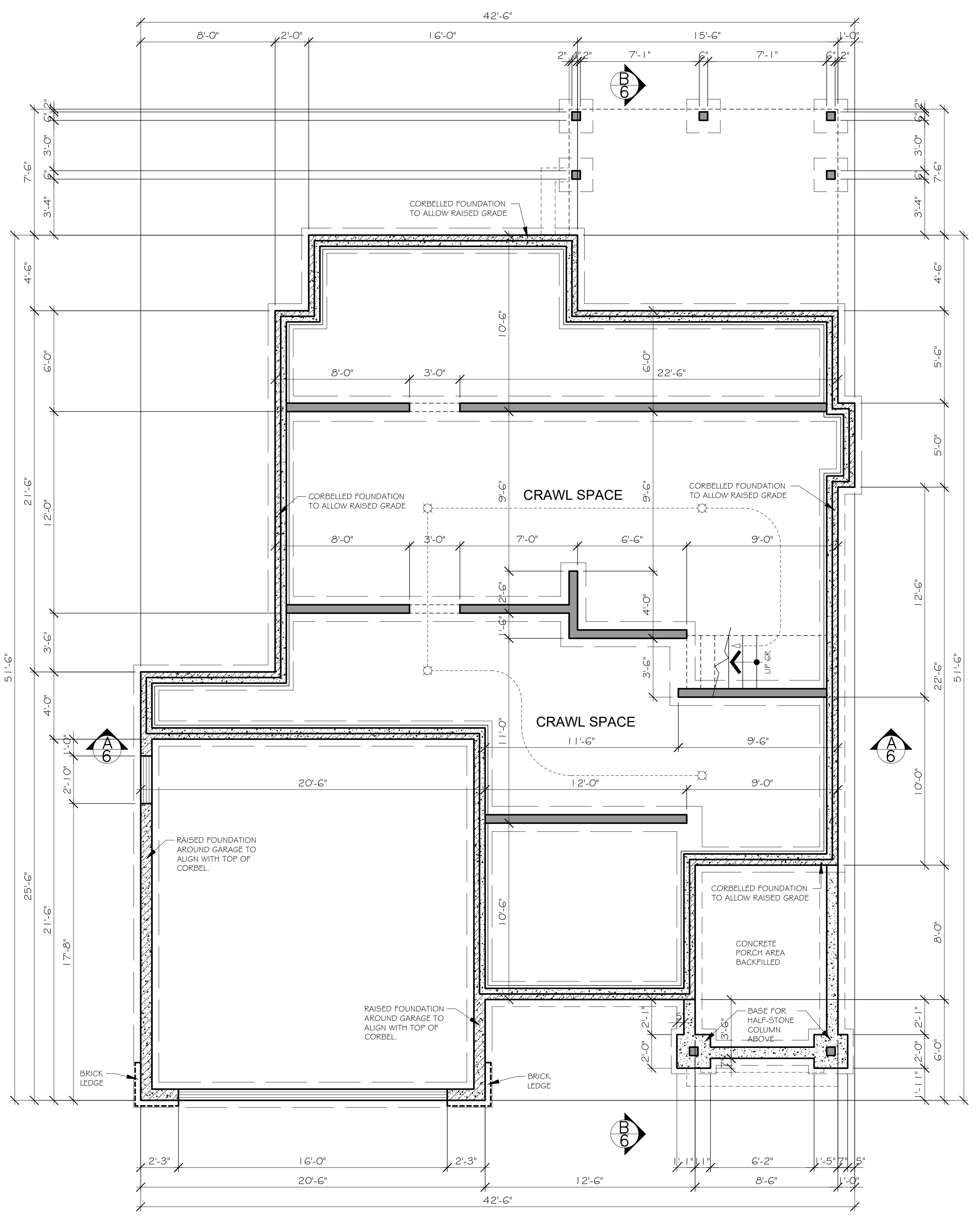
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ROOF PLAN



FOUNDATION PLAN

FLOOR AREA = 1231 SQ.FT.

Key Plan

Project North

Revisions

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Client
Genica Developments

ELECTRICAL SCHEDULE

QTY	DESCRIPTION
SWITCHES	
SW	SWITCH
3S	3 WAY SWITCH
4S	4 WAY SWITCH
DS	DIMMER SWITCH
LIGHTS	
PL	PULL CHAIN LIGHT
PL	POT LIGHT
TL	TRACK LIGHT
FL	FLOUORESCENT
RECEPTACLES	
D	DUPLEX
S	SWITCHED
SP	SPLIT
GF	GROUND FAULT
W	WATERPROOF
220	220
C	CEILING
F	FLOOR
MISCELLANEOUS	
PJ	PHONE JACK
TV	TV CABLE
DT	DATA/TEL./CABLE
SA	SMOKE ALARM
CF	CEILING FAN
CF/L	CEILING FAN/LIGHT
EF	EXHAUST FAN
MECHANICAL	
FAF	FORCED AIR FLOOR
FAFC	FORCED AIR CEILING
T	THERMOSTAT
SHW	SOLAR HW CONDUIT
HB	HOSE BIBB
D	4" DRAIN

Project
**Aquadel Crossing
Plan D2L
Lot 41**

Drawing Title
**Basement Plan
Roof Plan**

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Client
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Project
**Aquadel Crossing
Plan D2L
Lot 41**

Drawing Title
Structural Plans

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Burnaby, B.C.
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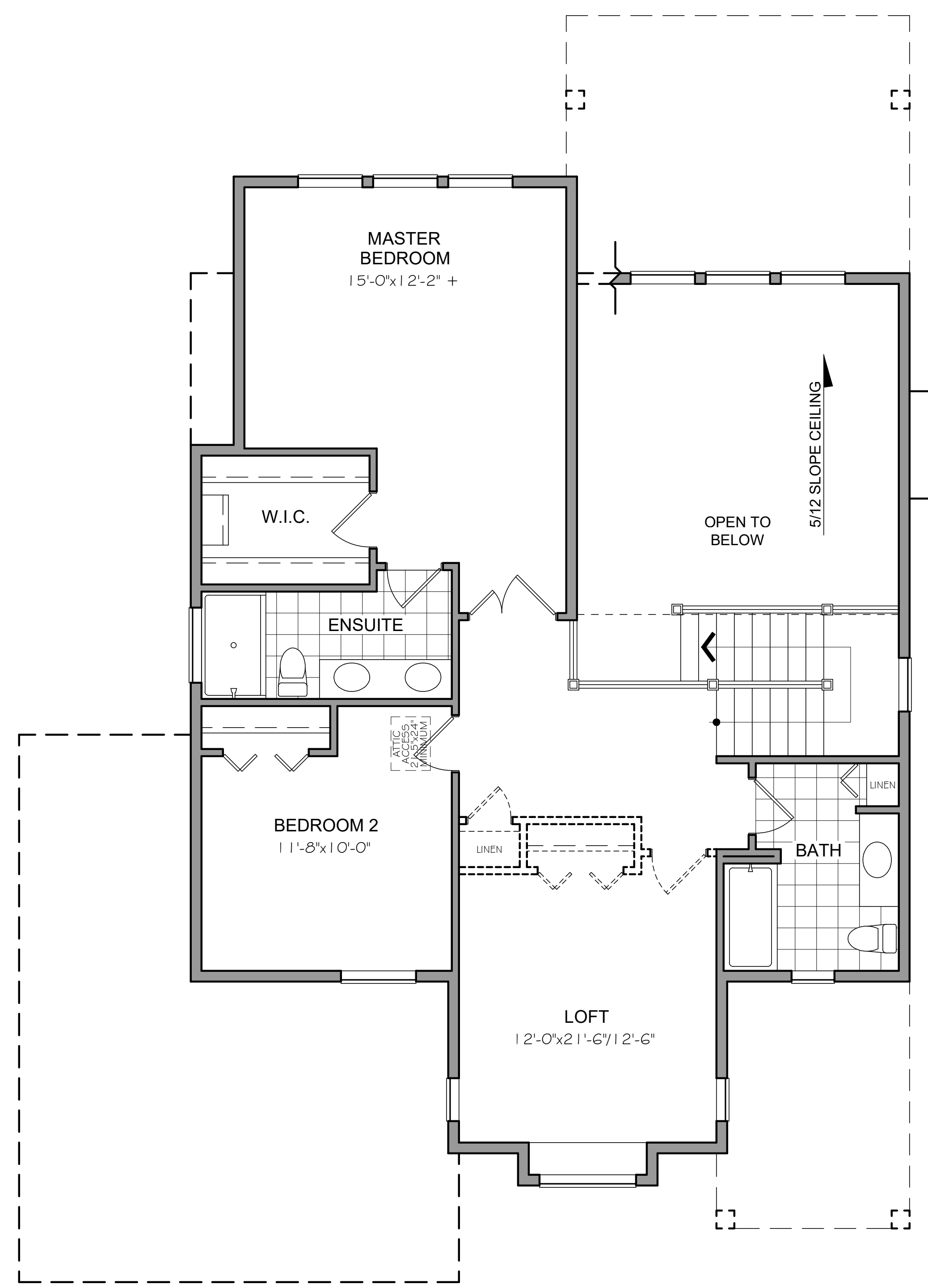
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GM

Date
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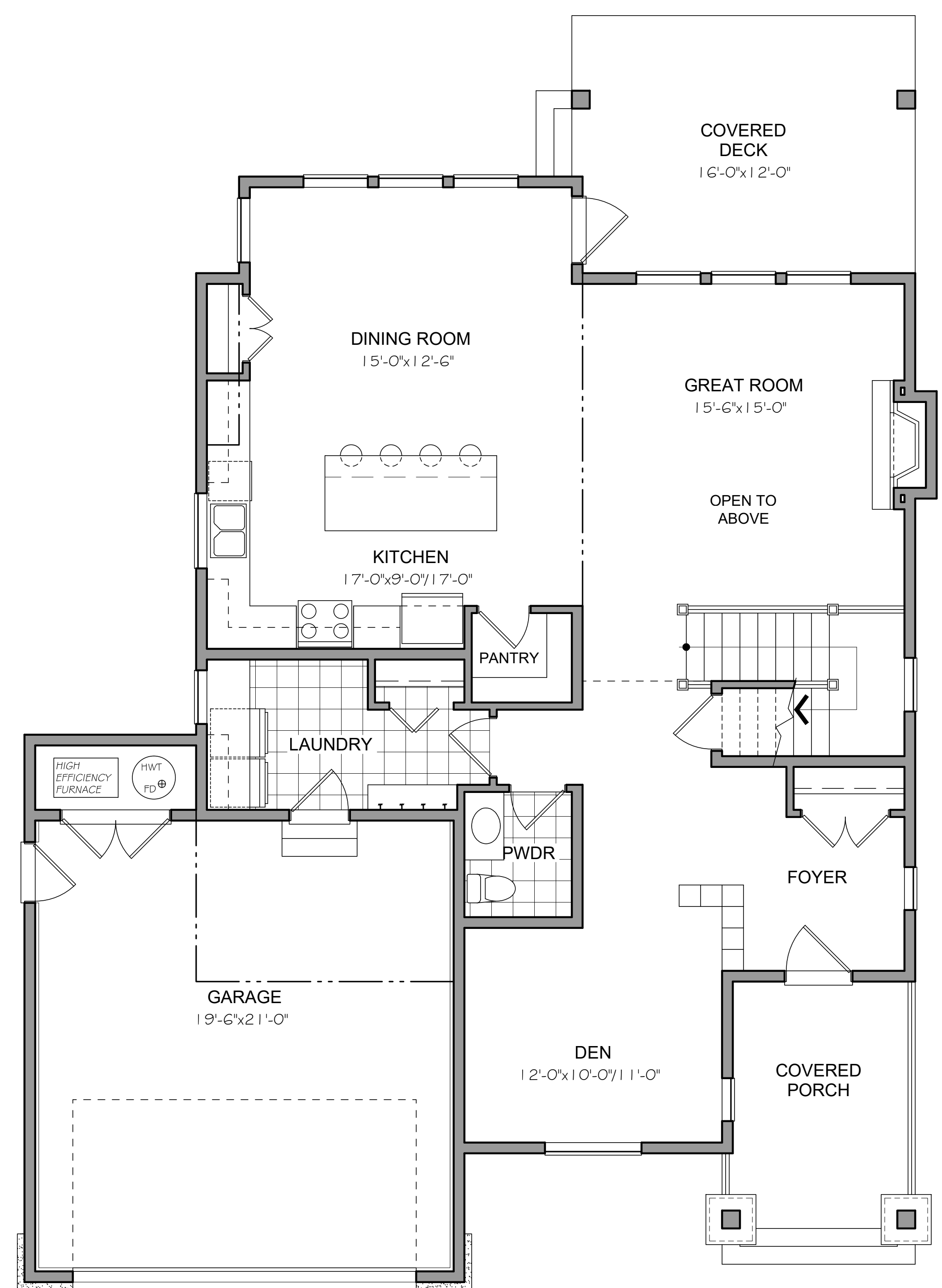
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UPPER STRUCTURAL PLAN



MAIN STRUCTURAL PLAN

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Client
Genica Developments

ASSEMBLY SPECIFICATIONS:

- 1. ROOF ASSEMBLY:**
 - ASPHALT SHINGLES
 - 7/16" PLYWOOD SHEATHING
 - INSULATION STOP
 - 2" CLEARANCE
 - 2x12 ROOF RAFTERS @ 24" O.C. W/ 2x4 CROSS STRAPPING @ 24" O.C. OR ENGINEERED ROOF TRUSSES (SEE PLANS)
 - VINYL SOFFIT
- 2. CEILING ASSEMBLY:**
 - MINIMUM R-40 BATT INSULATION
 - 6 MIL POLY VAPOUR BARRIER
 - 5/8" GYPSUM WALL BOARD
- 3. EXTERIOR RAINSCREEN WALL ASSEMBLY:**
 - EXTERIOR FINISH
 - PRESSURE TREATED STRAPPING OR APPROVED EQUIVALENT
 - BUILDING PAPER
 - 3/8" SHEATHING
 - 2x6 WALL STUDS @ 16" O.C. AS PER PLAN
 - R-20 F.G. BATT INSULATION
 - 6 MIL POLY VAPOUR BARRIER
 - 1/2" GYPSUM WALL BOARD
- 4. INTERIOR WALL ASSEMBLY:**
 - 1/2" GYPSUM WALL BOARD ON EACH FACE OF
 - 2x4 WALL STUDS @ 16" O.C.
- 5. FLOOR ASSEMBLY:**
 - FINISH FLOOR
 - 5/8" 1/4" PLYWOOD (GLUED & NAILED)
 - 2x10 FLOOR JOISTS @ 16" O.C.
 - 2x2 CROSS BRIDGING @ 2'-10" MAXIMUM
- 6. FOUNDATION ASSEMBLY:**

FOUNDATION WALL:

 - 5/8" ANCHOR BOLTS @ 4'-0" O.C.
 - 2 COATS ASPHALT EMULSION (BELOW GRADE)
 - 8" CONCRETE WALL
 - 2" RIGID INSULATION
 - 18x18" CONCRETE FOOTING
 - 2-15M BARS
 - 4" DIAMETER DRAIN TILE
 - 6" MIN. DRAIN GRAVEL COVER

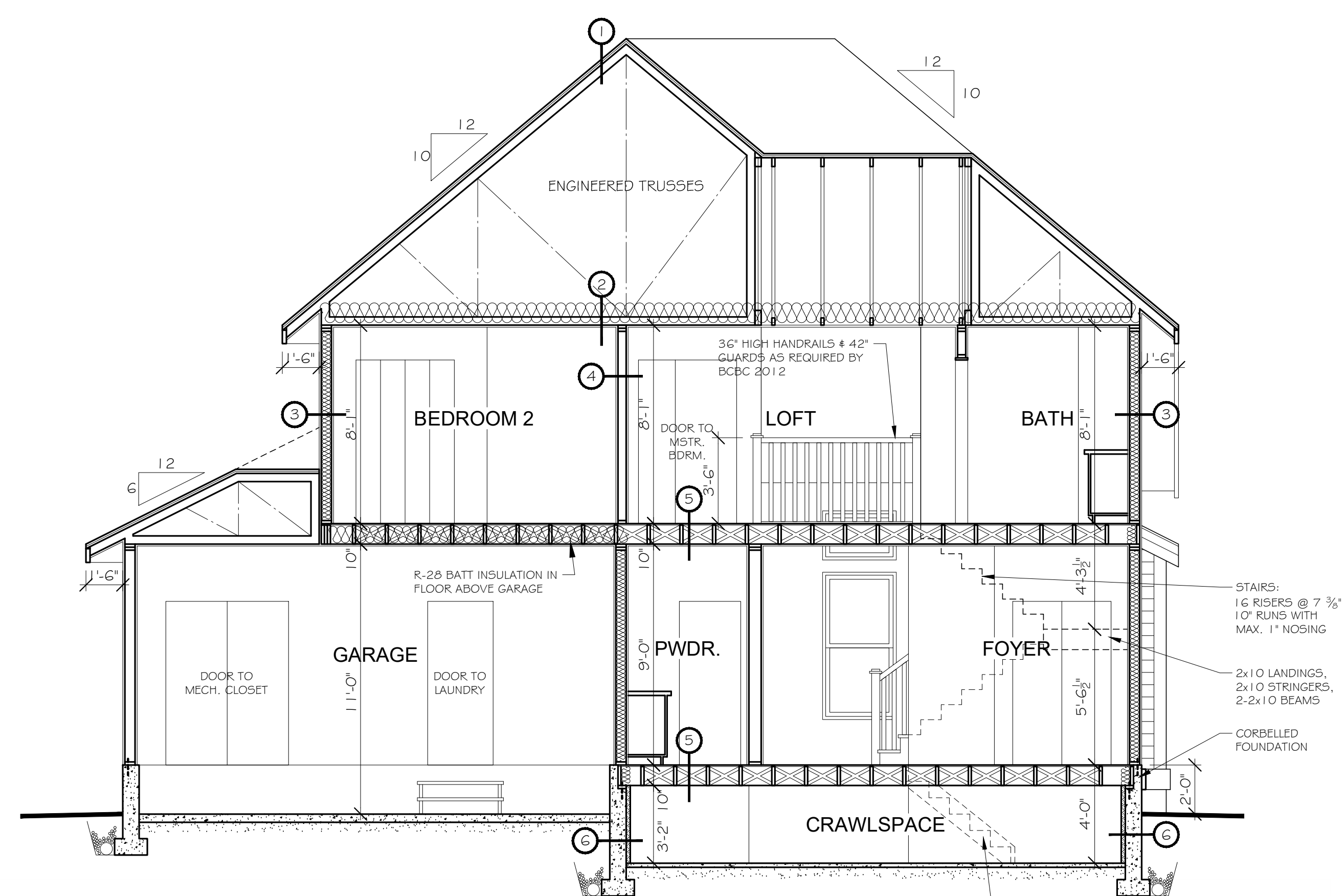
INTERIOR BEARING WALL:

 - 2x6 WALL STUDS @ 16" O.C.
 - 6" CONCRETE CURB
 - 18x18" CONCRETE FOOTING

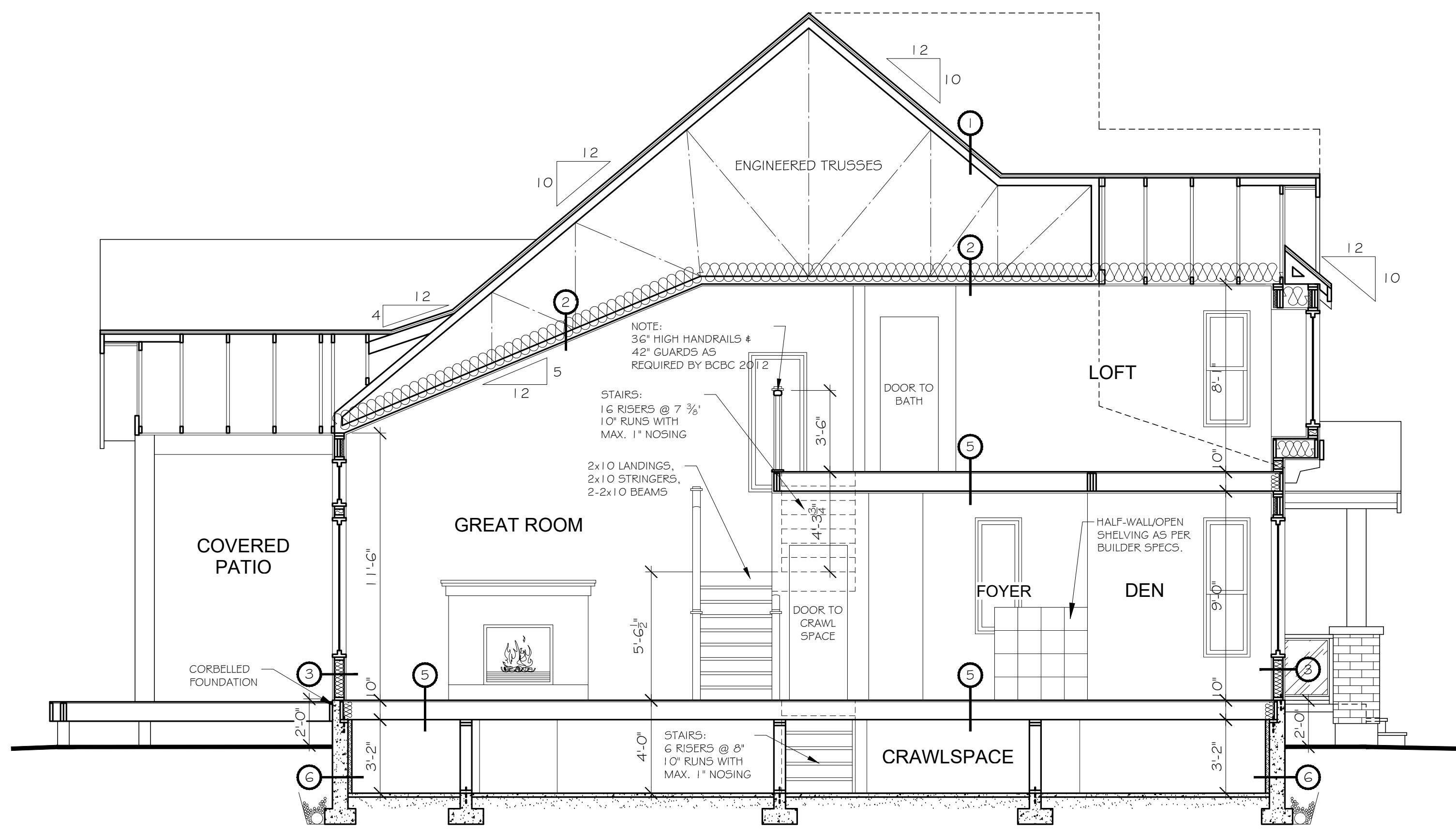
ALL FOOTINGS TO BEAR ON UNDISTURBED NATIVE SOIL BELOW MAXIMUM FROST PENETRATION DEPTH

CRAWL SPACE FLOOR:

 - 2" CONCRETE SKIM COAT
 - 6 MIL POLY VAPOUR BARRIER



SECTION A



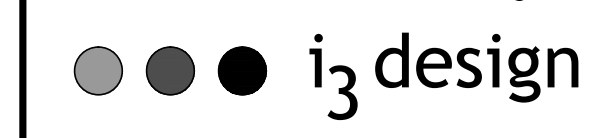
SECTION B

Project
**Aquadel Crossing
Plan D2L
Lot 41**

Drawing Title
**Building Sections
Assembly Specs**

Drawn By:
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Designed/Drawn By
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Checked
GM

Date
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Scale
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