



ABBREVIATIONS			
ACT	ACOUSTIC TILE CEILING (SUSPENDED)	MATL	MATERIAL
ALUM	ALUMINUM	MAX	MAXIMUM
ANOD	ANODIZED	MD	METAL DECK
AP	ACOUSTIC PANELS	MFR	MANUFACTURER
		MIN	MINIMUM
		MISC	MISCELLANEOUS
		MTL	METAL
CG	CORNER GUARD	NA	NOT APPLICABLE
CLF	CLEAR FINISH	NAT	NATURAL
CL	CENTRE LINE	NB	NOTICE BOARD
CMU	CONCRETE MASONRY UNIT	NIC	NOT IN CONTRACT
COL	COLUMN	NO. OR #	NUMBER
CONC	CONCRETE	NOI	NOMINAL
CP	CARPET	NRC	NOISE REDUCTION COEFFICIENT
CPT	CARPET TILE	NTS	NOT TO SCALE
CT	CERAMIC TILE		
CW	COMPLETE WITH		
		OD	OUTSIDE DIAMETER
D	DEEP		
DIA	DIAMETER		
DIFFUS	DIFFUSER	P/CON	PRECAST CONCRETE
DIM	DIMENSION	P/CON	POLISHED CONCRETE
DWG	DRAWING	PERP	PERPENDICULAR
		PL	PLATE
EL	ELEVATION	PLAM	PLASTIC LAMINATE
ELEC	ELECTRICAL	PNL	PANEL
ELEV	ELEVATION	POL	POLISHED
EM	EMERGENCY	PRELIM	PRELIMINARY
ENG	ENGINEER	PREP	PREPARE
EQ	EQUAL	PROP	PROPOSED
EQUIP	EQUIPMENT	PS	PRESSED STEEL (FRAME)
EXIST	EXISTING	PTD	PAINTED
EXP	EXPOSED	PTN	PARTITION
EXT	EXTERIOR	PVC	POLYVINYL CHLORIDE
		PWD	PLYWOOD
F	REFRIGERATOR	PWR	POWER
FD	FLOOR DRAIN		
FD	FIRE DAMPER	QTY	QUANTITY
FDN	FOUNDATION		
FE	FIRE EXTINGUISHER	RAD	RADIATOR
FEL	FINISHED FLOOR LEVEL	RAF	RESILIENT ATHLETIC FLOORING
FIN	FINISH	RB	RUBBER BASE
FL	FLOORING	RECT	RECTANGULAR
FLUOR	FLUORESCENT	REF	REFERENCE
FRF	FIREPROOF	REQD	REQUIRED
FRR	FIRE RESISTANCE RATING	REV	REVEAL
FTG	FOOTING	REV	REVISION
FURN	FURNISHING / FURNITURE	RF	RESILIENT FLOORING
FS	FIRE STOP	RM	ROOM
		RO	ROUGH OPENING
GA	GAUZE	RUB	RUBBER
GALV	GALVANIZED		
GL	GLASS / GRIDLINE	SAN	SANITARY
GWB	GYP SUM WALL BOARD	SCHED	SCHEDULE
		SCW	SOLID CORE WOOD (DOOR/PANEL)
H	HYDROCOLLATOR HEATING UNIT	SD	SHOWER DRAIN
HC	HANDICAPPED	SECT	SECTION
HD	HAND / HAIR DRYER	SF	SQUARE FOOTING
HDW	HARDWARE	SFI	SPRAY FOAM INSULATION
HM	HOLLOW METAL (DOOR)	SH	SHOWER
HOR	HORIZONTAL	SHT	SHEET
HSS	HOLLOW STRUCTURAL STEEL	SH	SIMILAR
HT	HEIGHT	SK	SKETCH / SINK
HTR	HEATER	SL	SEALED
HW	HOT WATER	SLD	SOLID
		SLDS	SOLID SURFACE
INCL	INCLUDING	SM	SURFACE MOUNTED
INFO	INFORMATION	SND	SANITARY NAPKIN DISPENSER / DISPOSAL
INSUL	INSULATE / INSULATION	SP	SPANDREL
INT	INTERIOR	SPEC	SPECIFICATION
INV	INVERT	SPG	SPRUNG
		SPR	SPRINKLER
JB	JUNCTION BOX	SS	STAINLESS STEEL
		STW	STORM WATER
KP	KICK PLATE	ST	STEEL
		STC	SOUND TRANSMISSION COEFFICIENT RATING
L	ANGLE	STD	STANDARD
L	LENGTH	STGR	STAGGERED
LAM	LAMINATE	STN	STAINED
LAQ	LAQUER	STOR	STORAGE
LAV	LAVATORY	STRUCT	STRUCTURE / STRUCTURAL
LEV	LEVEL	STT	STONE TILE
UNIO	UNIOLEUM	SUSP	SUSPEND
LT	LIGHT	SW	SWITCH
LTG	LIGHTING		
LWR	LOWER		

SYMBOLS	
	GRIDLINE REFERENCE
	DETAIL / DRAWING REFERENCE
	BUILDING SECTIONS
	WALL SECTION REFERENCE
	INTERIOR ELEVATION OR REFERENCE MARKER
	ELEVATIONS
	DRAWING TITLE
	ELEVATION REFERENCE
	DOOR NUMBER DESIGNATION - SEE DOOR SCHEDULE
	MILLWORK NUMBER
	WALL TYPE
	FLOOR TYPE
	INTERIOR GLAZED PARTITION REFERENCE
	MATERIAL TYPE 2D SYMBOL
	FLOOR DRAIN / AREA DRAIN
	CEILING MARKER ABOVE FINISHED FLOOR

DRAWING LIST	
LANDSCAPE	ARCHITECTURAL
L1 LANDSCAPE AND PLANTING PLANS	A1.0 ABBREVIATIONS, SYMBOLS, DRAWING LIST & RATIONALE
L2 STREETScape AND IMPERMEABLE	A1.2 SITE PLAN
L3 LANDSCAPE DETAILS	A1.3 SITE CONTEXT & ROOF PLAN
	A1.4 STREETScape ANALYSIS
	A2.0 FLOOR PLANS
	A2.1 GARAGE
	A4.0 ELEVATIONS
	A4.1 REFLECTIVE ELEVATIONS
	A5.0 SECTIONS
	A6.0 DETAILS
	A6.1 DETAILS
	A6.2 DETAILS
	A7.0 AREA CALCULATIONS

DESIGN RATIONALE	
The design is a considered response to the site and program that results in a unique, contemporary and energy-efficient house complementing its Kits Point neighbourhood. The building massing is broken up to maintain a neighbourly residential scale. The landscaping is carefully considered in light of its context which includes a mature and large street tree.	
The massing of the building is divided into three main components each with its own material characteristics expressing subtle variations of tone and texture to emphasize the play of light and shadow which is central to the design concept. The forms are simple and sculptural, and the finishes are of good quality and durable. The stair volume, in polished concrete masonry, is set back from the other volumes and the street, and anchors the composition. The upper volume, clad in thermally-modified vertical wood siding, floats over the ground level which is highly glazed at the front and back. The ground level stucco walls on the side elevations are protected by a small overhang, by the volume above and neighbouring structures.	
The main, open plan living space relates intimately to the landscape. Full-height glazed walls open up at the front and back framing views and providing a seamless connection to the gardens. Cut into the lower level volume are a series of slots in the walls and roof organizing and dividing the interior spaces using natural light. The upper floor bedroom level is expressed as a simple, rectangular tube volume punctuated by slots and openings for light penetration.	
The east-west orientation of the site and relatively short lot (100') bring challenges and opportunities with respect to sun shading and parking that affect external relationships and appearance. The overhanging frame of the upper floor shades and protects the ground level and controls light and glare from the south-east and south-west. Glazing to the north elevation is minimized in line with passive energy design principals.	
The site is 33' x 100' long and thus somewhat shorter than a standard Vancouver lot. The building setbacks at the front and sides conform to the requirements of the RT-9 bylaw. The overall length meets the recommendations of the design guidelines.	
Though space if very limited due to the short lot, parking for the house is provided by a separated garage in the rear yard in accordance with the Bylaw and Design Guidelines.	
Given the house's location close to the sea, we have included a roof deck that will provide for some distant views towards the mountains. The roof deck will be screened from neighbours by planters and railings to ensure privacy in both directions.	
The new house will employ current best practices for energy efficiency. While not going for certification, the project applies Passive House principles to achieve efficiencies. These include air tightness, continuous insulation with minimal thermal bridging, quality windows and heat recovery ventilation.	

PROJECT DATA	
ADDRESS: 1329 CYPRESS STREET LEGAL DESCRIPTION: LOT 11 BLOCK 176A DISTRICT LOT 526 PROJECT DESCRIPTION: NEW SINGLE FAMILY HOUSE	
EXISTING ZONING: RT-9 PROPOSED ZONING: RT-9	
SITE DIMENSIONS: 100.525' X 33' (30,556 x 10,058M) SITE AREA: 3317.325 SF (308,190 SM) FSR PERMITTED: 0.6 TO A MAXIMUM OF 0.75 (2488 SF) SITE COVERAGE: Maximum (45%): 1493 SF (138.7 SM) Proposed: (36.3%) 1205.00 SF (111.9 SM)	
HEIGHT PERMITTED: 10.7 M, 2 1/2 STOREYS HEIGHT PROPOSED: 10.1 M, 2 1/2 STOREYS	
SETBACKS REQ'D: SIDE 3'-4" (1016 MM) FRONT 17'-8" (5380 MM) REAR NOT APPLICABLE SIDE 3'-4" (1016 MM) FRONT 17'-8" (5380 MM) REAR NOT APPLICABLE	
SETBACKS PROPOSED: SIDE 3'-4" (1016 MM) FRONT 17'-8" (5380 MM) REAR NOT APPLICABLE	
BUILDING DEPTH REQ'D: 40% OF SITE DEPTH TO A MAXIMUM OF 55% BUILDING DEPTH PROPOSED: 50% OF SITE DEPTH (50'-0") FIRE SUPPRESSION: SPRINKLERED	
OFF-STREET PARKING: REQUIRED: 2 SPACES PROPOSED: 2 SPACES	
FSR CALCULATIONS	
SITE DIMENSIONS: 100.525' X 33' (30,556 x 10,058M) SITE AREA: 3317.325 SF (308,190 SM) FSR PERMITTED: 0.6 TO A MAXIMUM OF 0.75 (2488 SF) FSR PROPOSED: 2468.2 SF (230,121 SM)	
FLOOR AREA PROPOSED: Basement: 159.5 SF Ground Floor: 1135 SF Second Floor: 1114 SF Roof Deck: 135 SF Total: 2543.5 SF	
DEDUCTIONS: 1% for skylights: 25.27 SF 2% for Wall thickness: 50.00 SF Total: 2468.2 SF Garage (Excluded): 400 SF	
CODE ANALYSIS	
APPLICABLE CODE: VANCOUVER BUILDING BYLAW 2019, PART 9 BUILDING HEIGHT: 2 1/2 STOREYS OVERALL BUILDING AREA: 2478 SF (230,213 SM) CONSTRUCTION TYPE: COMBUSTIBLE FIRE ALARM: REQUIRED SPRINKLERS: REQUIRED STANDPIPE: NOT REQUIRED EMERGENCY LIGHTING: NOT REQUIRED EMERGENCY POWER: NOT REQUIRED	

2	16 APR 2020	RE-ISSUED FOR DEV. PERMIT
1	10 JULY 2019	ISSUED FOR DEV. PERMIT

No.	Date	Issue / Revision
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PROJECT

Genovese Residence

1329 Cypress Street,
Vancouver, BC

DRAWING

Abbreviations, Symbols,
Drawing List & Design
Rationale

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DRAWN	REVIEWED
PP	AAL

SCALE	DATE
NA	JUN 2019

PROJECT NO.	
17705	

NOTES:

1. TREE PROTECTION PLAN BASED ON ARBOURIST REPORT BY DAVEY RESOURCE GROUP & TREE SERVICES DATED JUNE 18, 2019 (updated March 25, 2020) SUBMITTED AS PART OF THIS APPLICATION.

OTHER:

1. TREE PROTECTION MEASURES ARE BASED ON ARBOURIST REPORT BY MOUNTAIN MAPLE GARDEN AND TREE SERVICE LTD. REFER TO REPORT FOR MORE DETAILED INFORMATION.
2. ABSOLUTELY NO ACCESS TO BE ALLOWED WITHIN TREE PROTECTION BARRIERS.
3. ABSOLUTELY NO MATERIALS TO BE STORED WITHIN TREE PROTECTION BARRIERS.
4. ABSOLUTELY NO PORTABLE TOILETS TO BE LOCATED WITH TREE PROTECTION BARRIERS.
5. BARRIERS ARE NOT TO BE REMOVED OR ALTERED UNTIL DEMOLITION AND CONSTRUCTION HAVE BEEN COMPLETED.
6. GENERAL CONTRACTOR TO ENSURE NO SERVICES TO BE LOCATED IN TREE PROTECTION ZONE.
7. GENERAL CONTRACTOR TO ENSURE ALL TRADES AND SUBTRADES ARE AWARE AND FOLLOW TREE PROTECTION MEASURES.
8. THE INVERT ELEVATION OF SANITARY/STORM CONNECTIONS AT PROPERTY LINE IS: 6.30 M/20.67'

LEGEND:

BG	BUILDING GRADE
IBG	INTERPOLATED BUILDING GRADE
E/F	EXISTING GRADE
E/P	PROPOSED GRADE
TW	TOE WALL

3	23 JUN 2020	RE-ISSUED FOR ADDITIONAL PRIOR-TO CONDITIONS
2	16 APR 2020	RE-ISSUED FOR DEV. PERMIT
1	10 JULY 2019	ISSUED FOR DEV. PERMIT

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PROJECT

Genovese Residence

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Vancouver, BC

DRAWING

Site Plan

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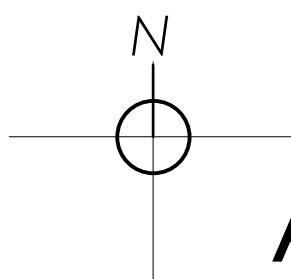
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DRAWN PP	REVIEWED A.A.L.
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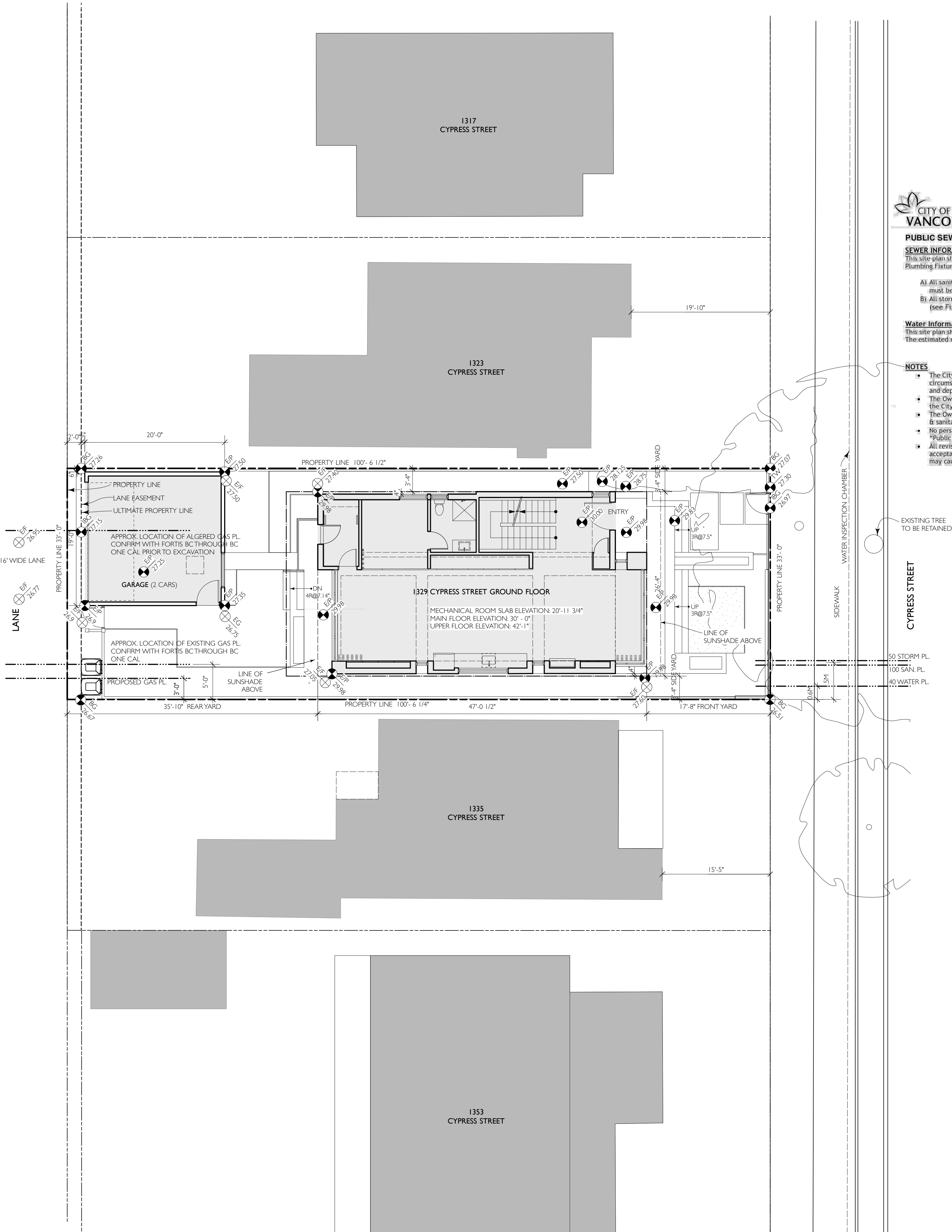
SCALE 1/8" = 1'-0"	DATE JUN 2019
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PROJECT NO. 17705



AI.2

Rev. 3



PROJECT DATA

ADDRESS: 1329 CYPRESS STREET
LEGAL DESCRIPTION: LOT 11 BLOCK 176A DISTRICT LOT 526
NEW WESTMINSTER DISTRICT PLAN 2301
PROJECT DESCRIPTION: NEW SINGLE FAMILY HOUSE
EXISTING ZONING: RT-9
PROPOSED ZONING: RT-9
SITE DIMENSIONS: 100.525' X 33' (30.556 x 10.058M)
SITE AREA: 3317.325 SF (308,190 SM²)



ENGINEERING DEPARTMENT
Water, Sewer, & Green Infrastructure
Sewer & Drainage Design Branch

PUBLIC SEWER AND WATER CONNECTION INFORMATION

SEWER INFORMATION

This site plan shows the locations, sizes and invert elevations of the public storm and sanitary sewer connections. Plumbing fixtures are restricted as follows:

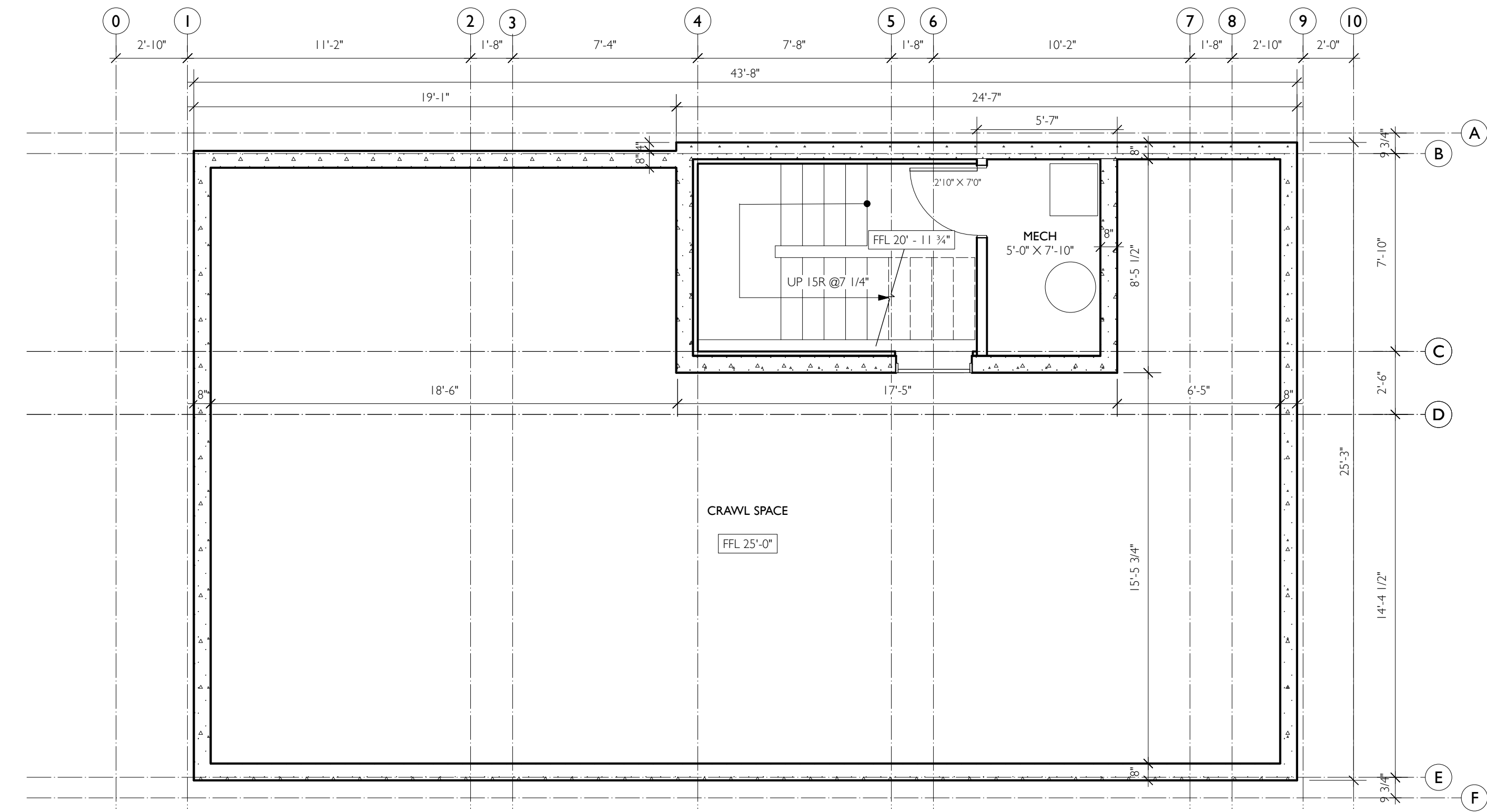
- A) All sanitary fixtures (including floor drains) with rim elevations below 8.05 m (geodetic) or 26.411 ft (geodetic) must be protected (see Fixture Restriction Guidelines Update attached).
- B) All storm fixtures with rim elevations below 8.05 m (geodetic) or 26.411 ft (geodetic) must be protected (see Fixture Restriction Guidelines Update attached).

Water Information

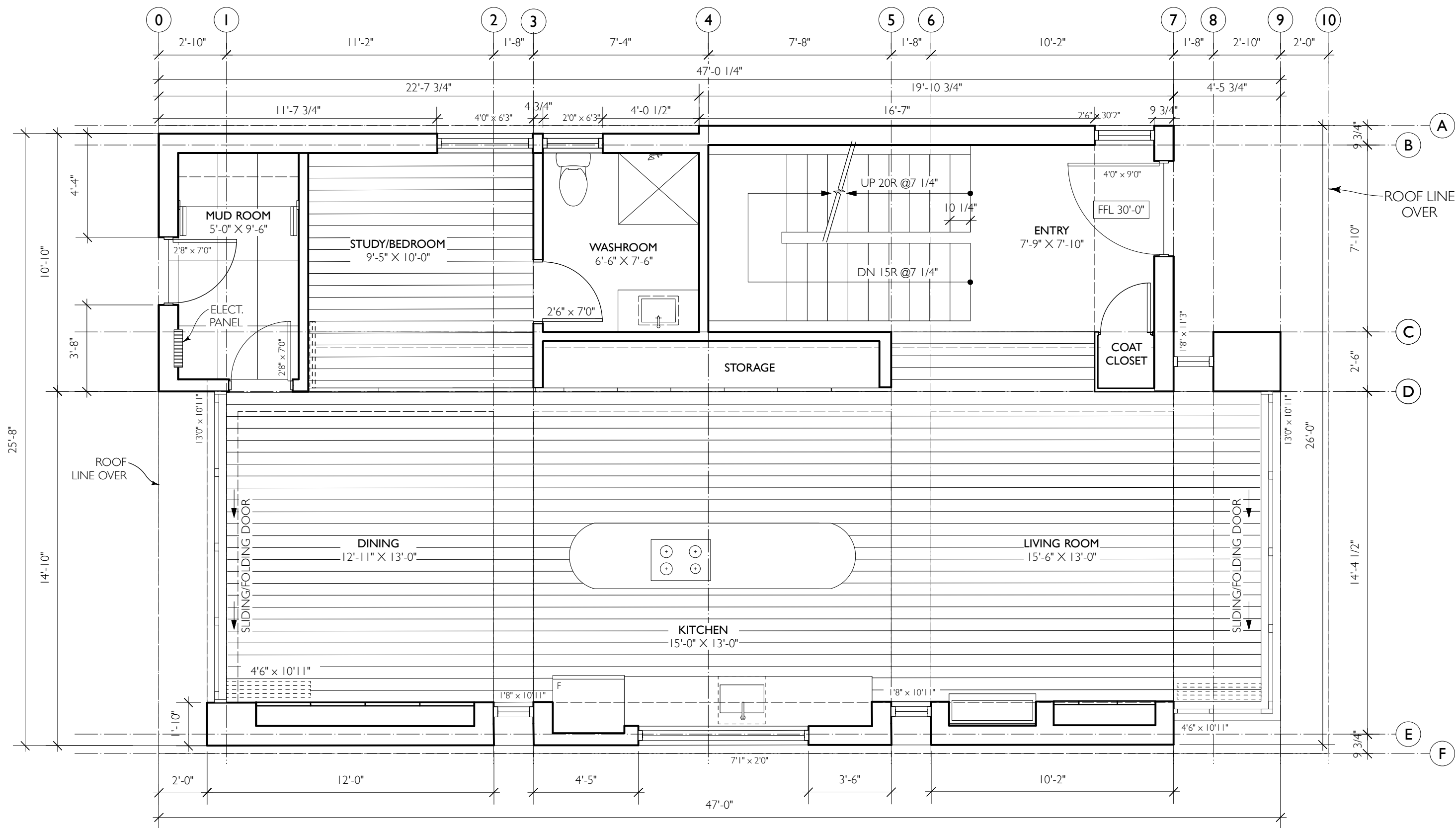
This site plan shows the location and size of the public water connection.
The estimated minimum water main pressure is: 110.7 (psi)

NOTES

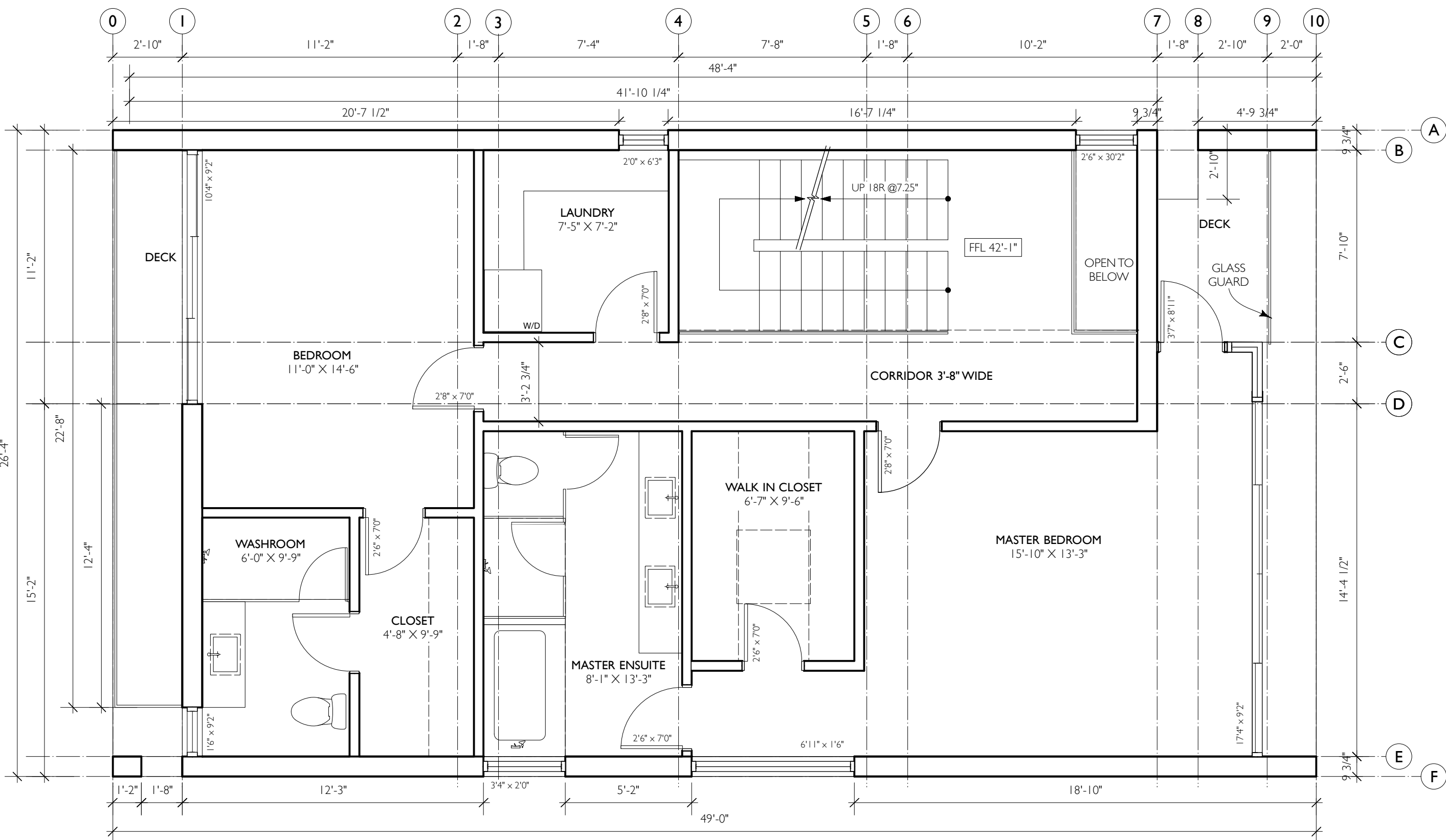
- The City of Vancouver does not guarantee the accuracy of the information provided on this Plan and circumstances may prevent the City from installing the public sewer and/or water connections at the locations and depths shown on this Plan.
- The Owner is responsible for locating and connecting to the public sewer and water connections installed by the City regardless of their actual installed locations and depths.
- The Owner is responsible for ensuring that the sizing of the private plumbing system is adequate for the storm & sanitary sewer discharges and the domestic & fire water flows.
- No person shall connect a building sewer or water system to a public connection without first obtaining a "Public Sewer & Water Connection Permit".
- All revisions related to the sewer and water information on this site plan must have Engineering review and acceptance prior to making the change(s). Any requests for changes after a City crew has arrived at the site may cause installation delays and additional costs.



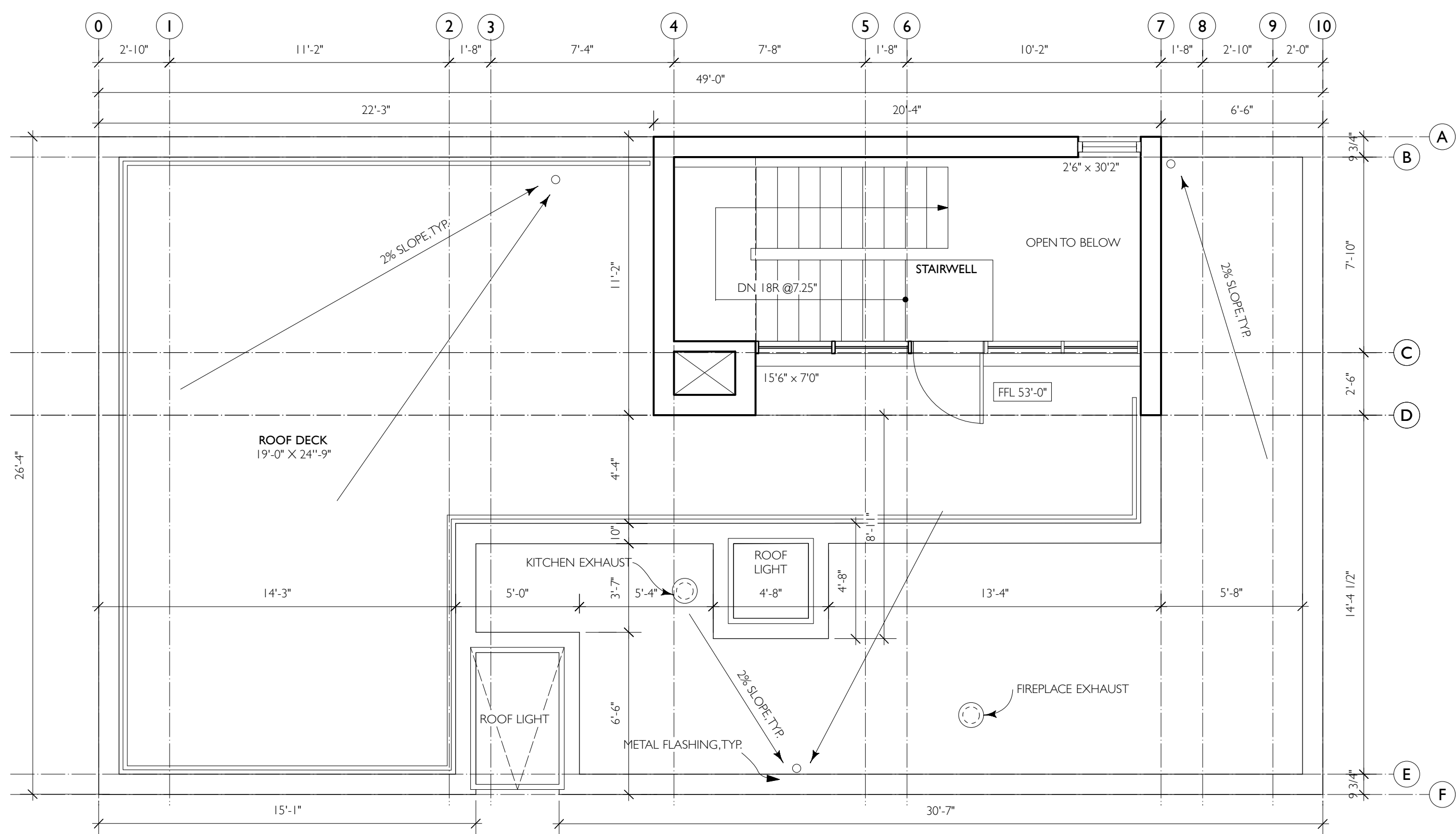
1 BASEMENT PLAN
Scale: 1/4" = 1'-0"



2 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"



3 SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



4 ROOF DECK PLAN
Scale: 1/4" = 1'-0"

2 16 APR 2020 RE-ISSUED FOR DEV. PERMIT
1 10 JULY 2019 ISSUED FOR DEV. PERMIT

No. Date Issue / Revision

PROJECT

Genovese Residence

1329 Cypress Street,
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DRAWING

Floor Plans

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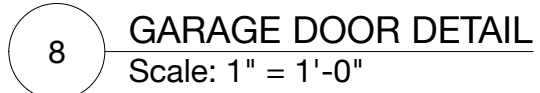
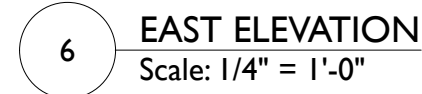
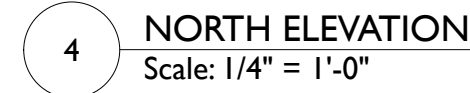
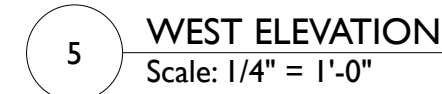
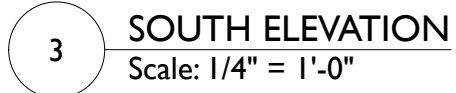
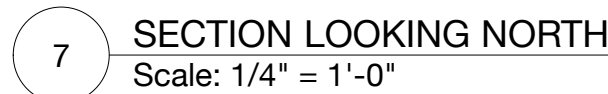
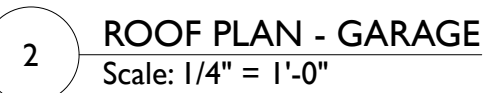
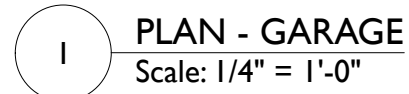
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PP

REVIEWED
A.A.L.

SCALE
1/4" = 1'-0"

DATE
JUN 2019

PROJECT NO.
17705



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PROJECT NO.
17705

LEGEND

- GROUND FACE/ POLISHED MASONRY BLOCK, DARK GREY
- GFR/CERAMIC PANEL, GREY
- STUCCO
- ALUMINIUM FRAME GLAZING, BLACK, TYP.
- METAL FLASHING, GREY
- WOODEN FENCE
- CONCRETE
- GLASS

2	16 APR 2020	RE-ISSUED FOR DEV. PERMIT
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DRAWING

Elevations

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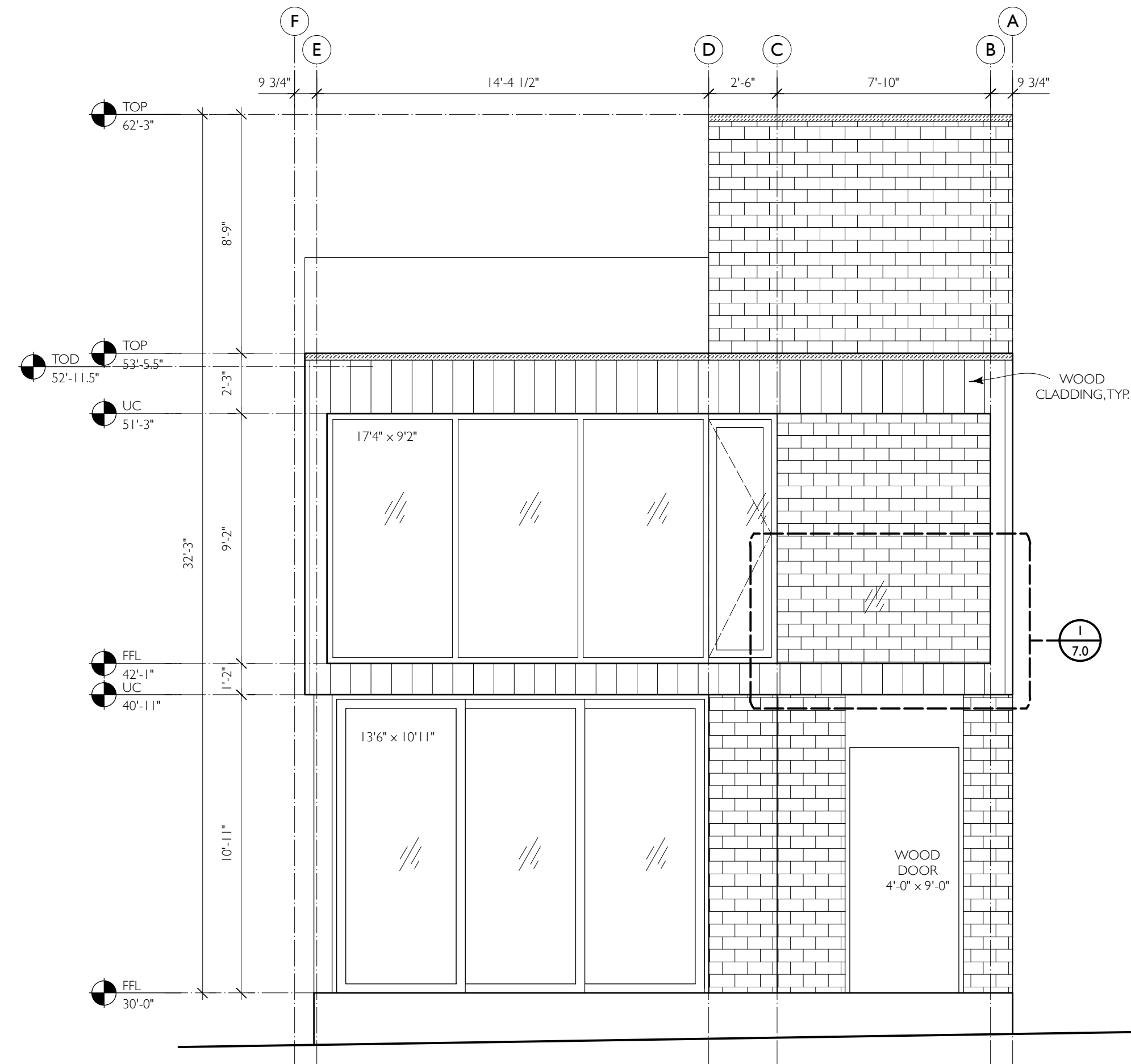
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PP	A.A.L.

SCALE	DATE
1/4" = 1'-0"	JUN 2019

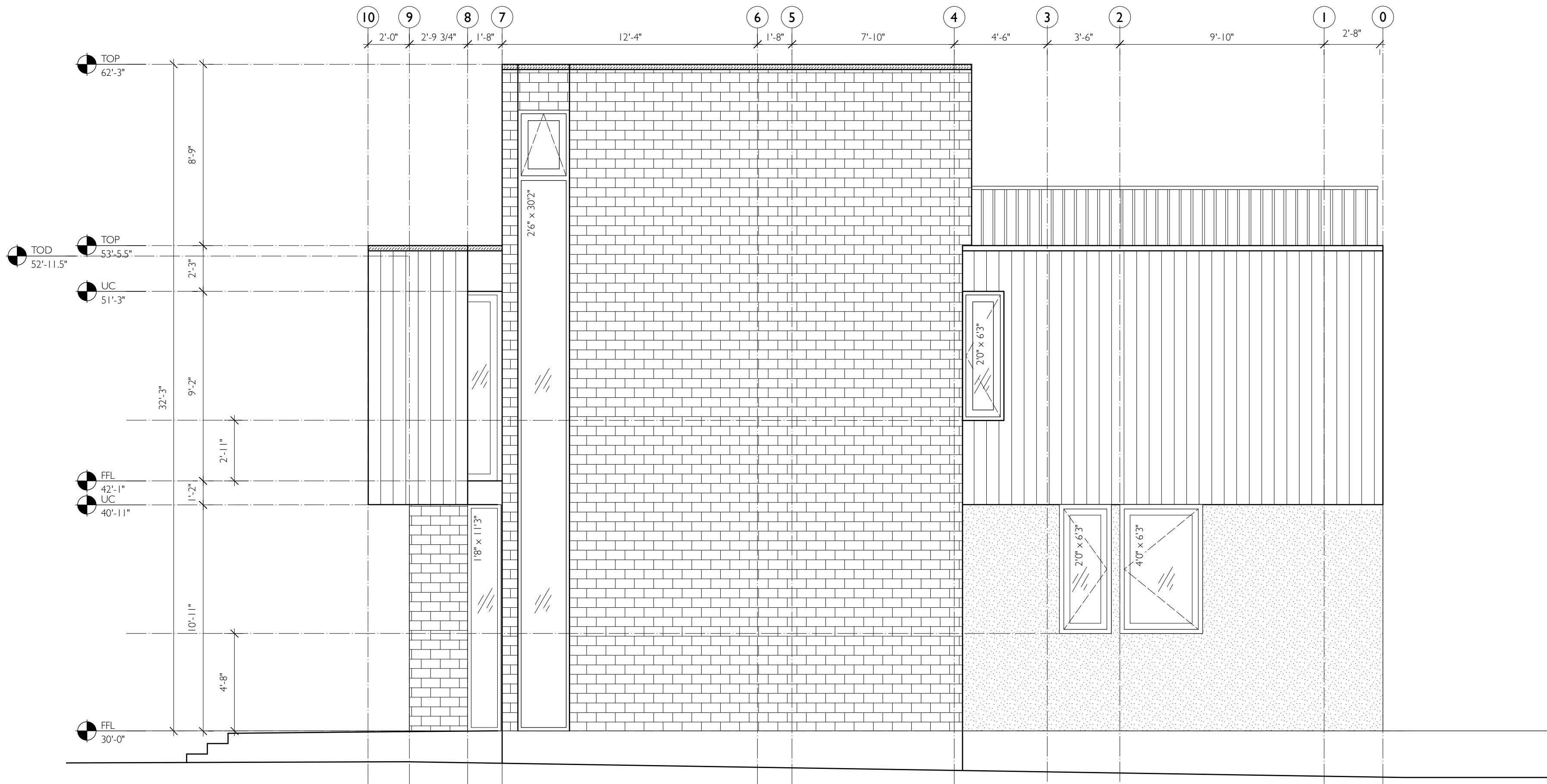
PROJECT NO.
17705

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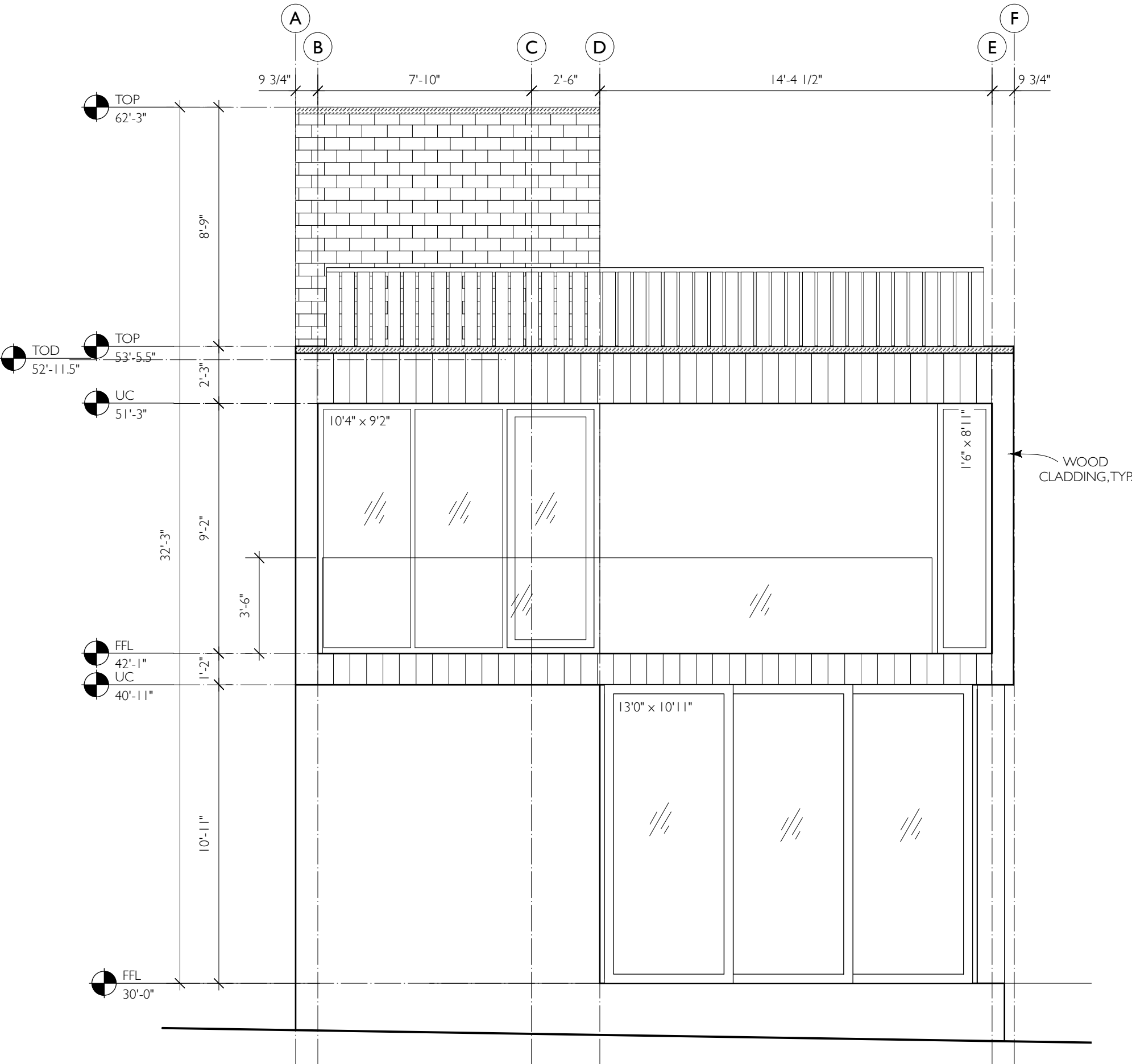
Rev 2



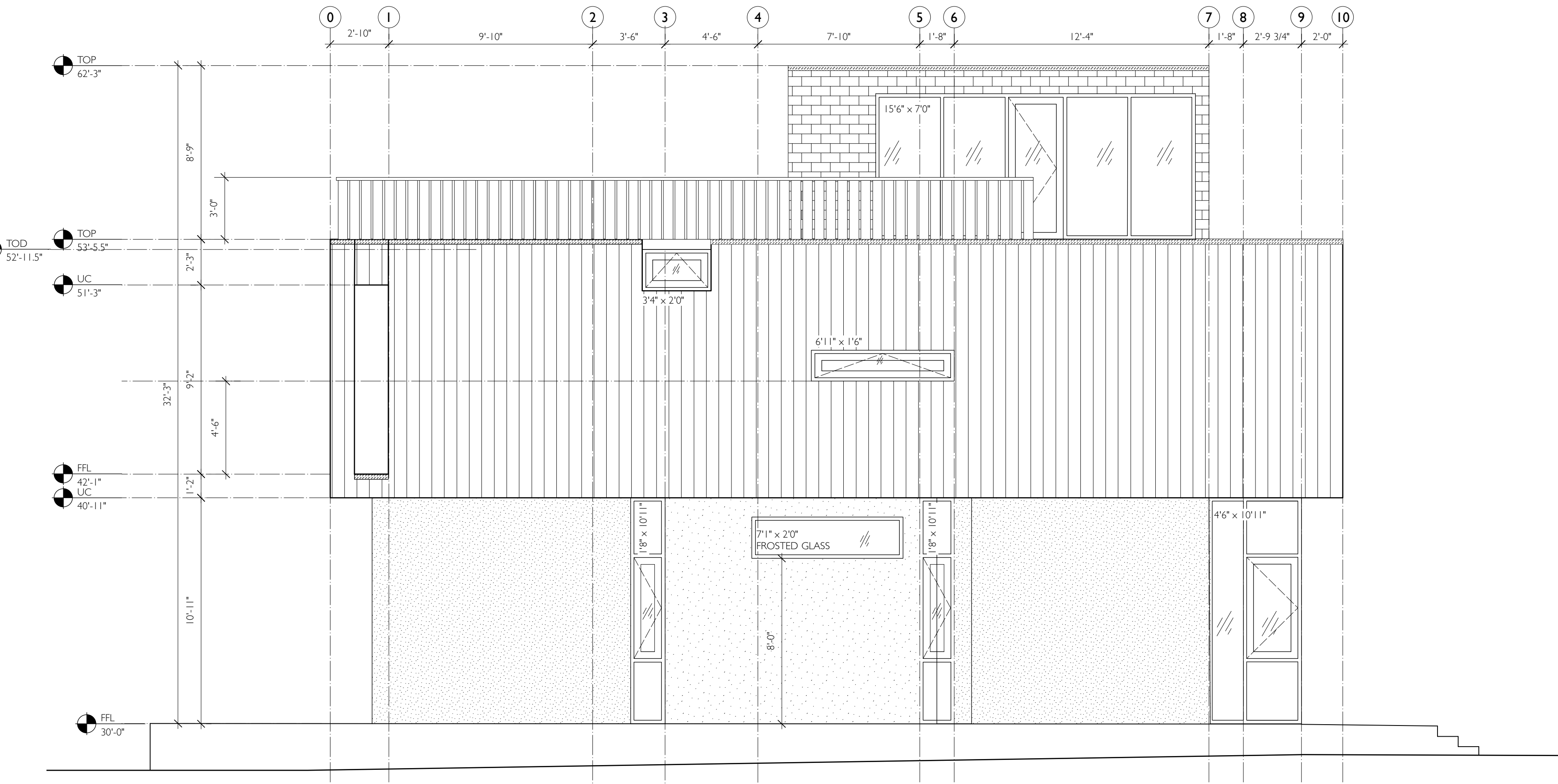
EAST ELEVATION
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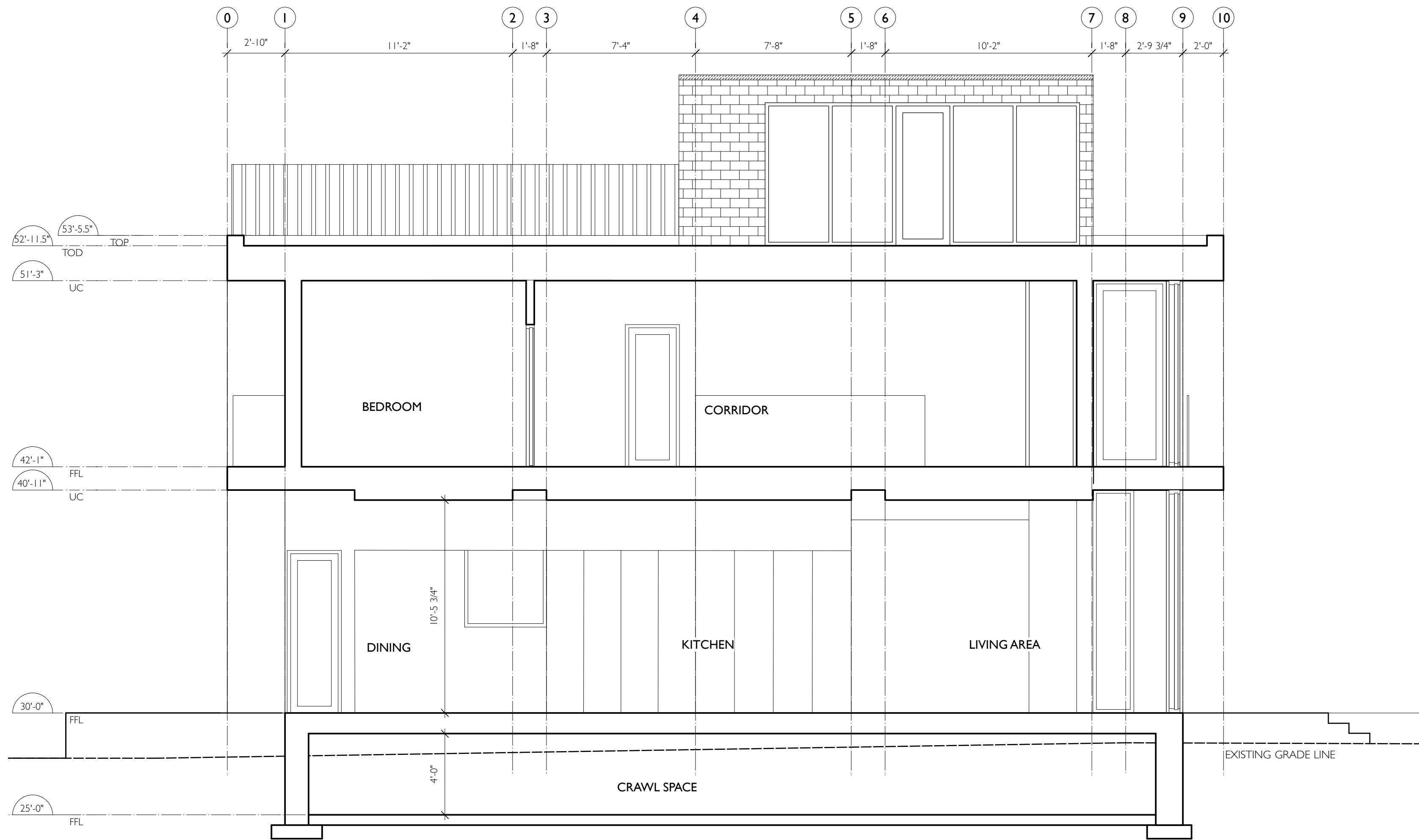
NORTH ELEVATION
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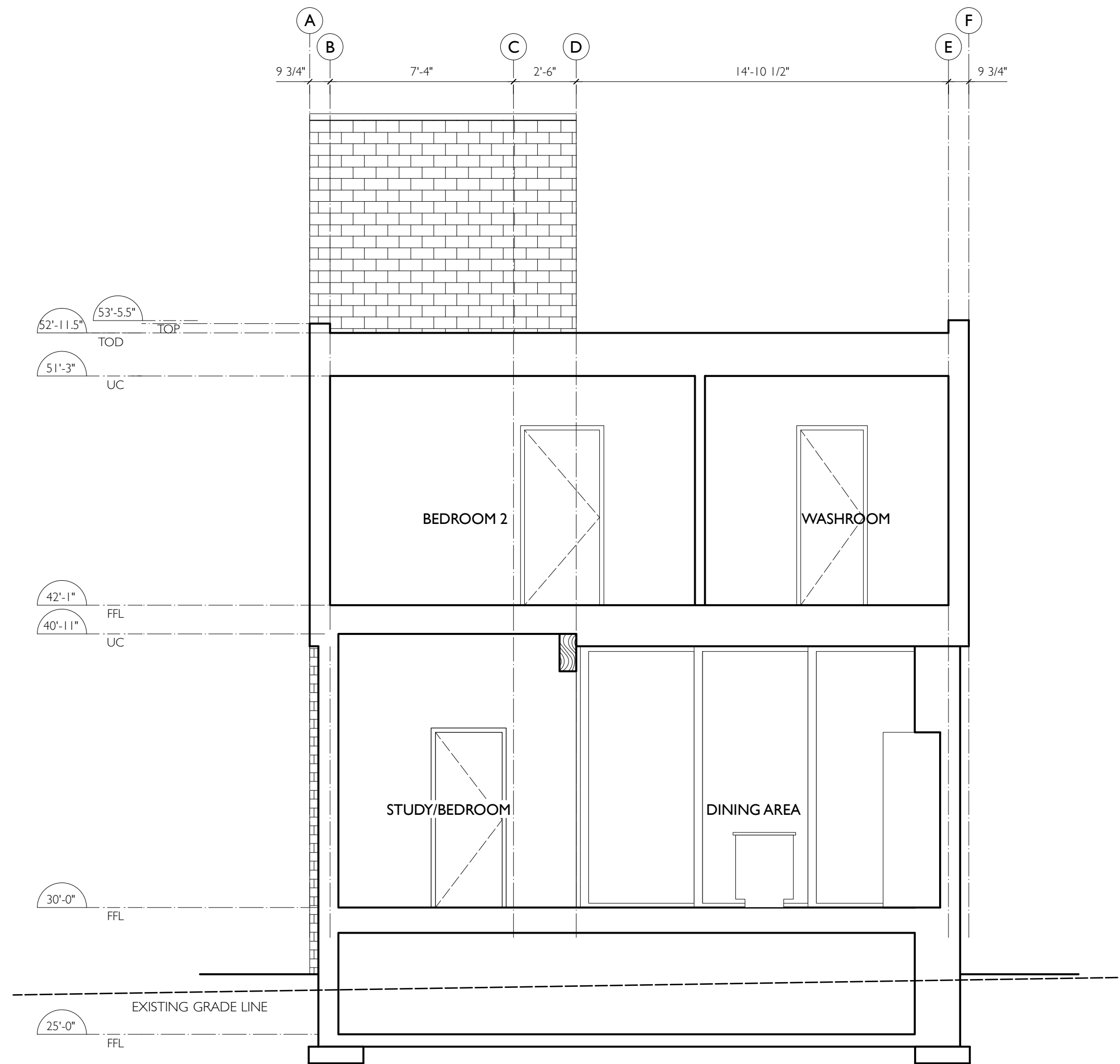
WEST ELEVATION
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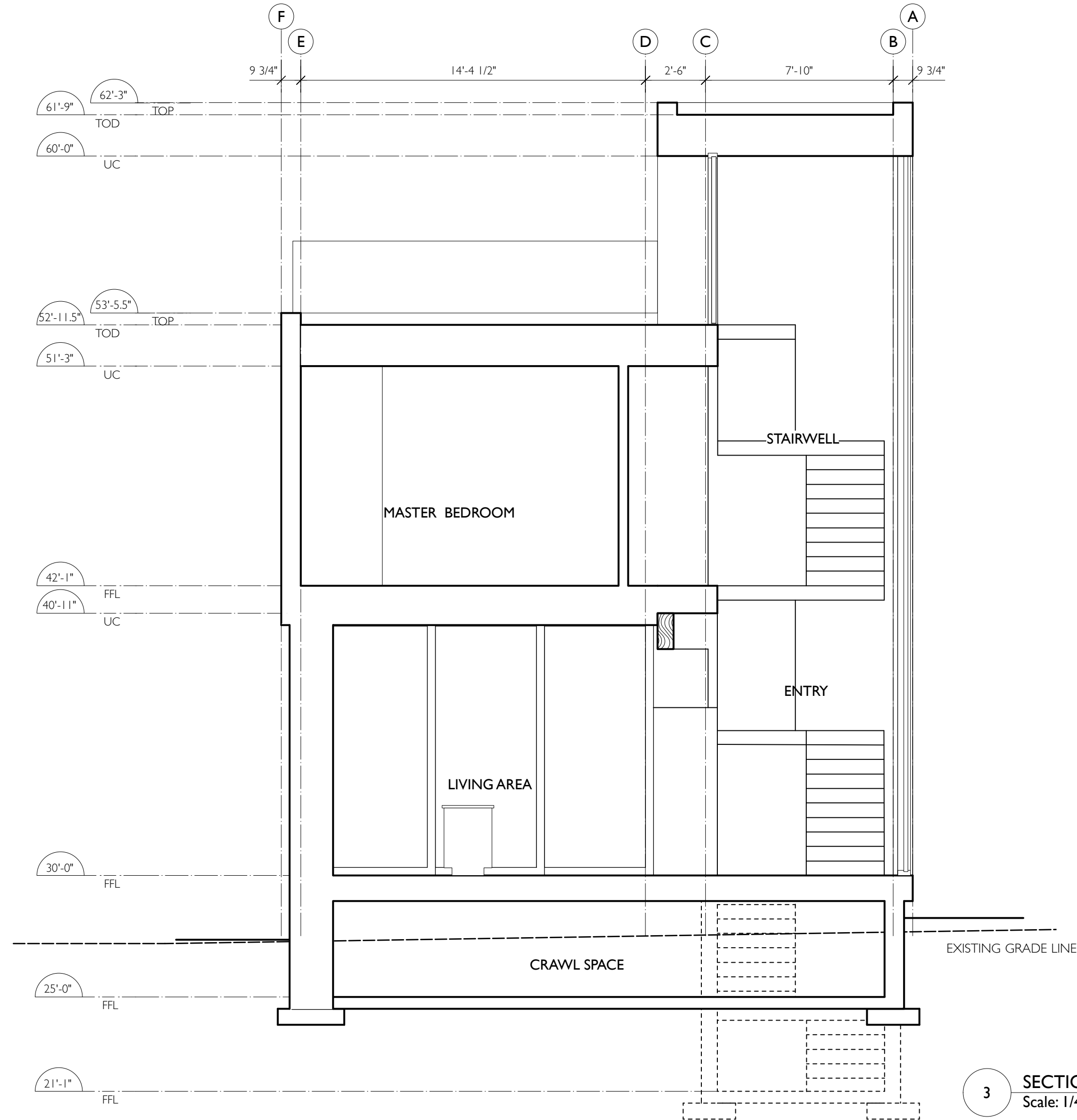
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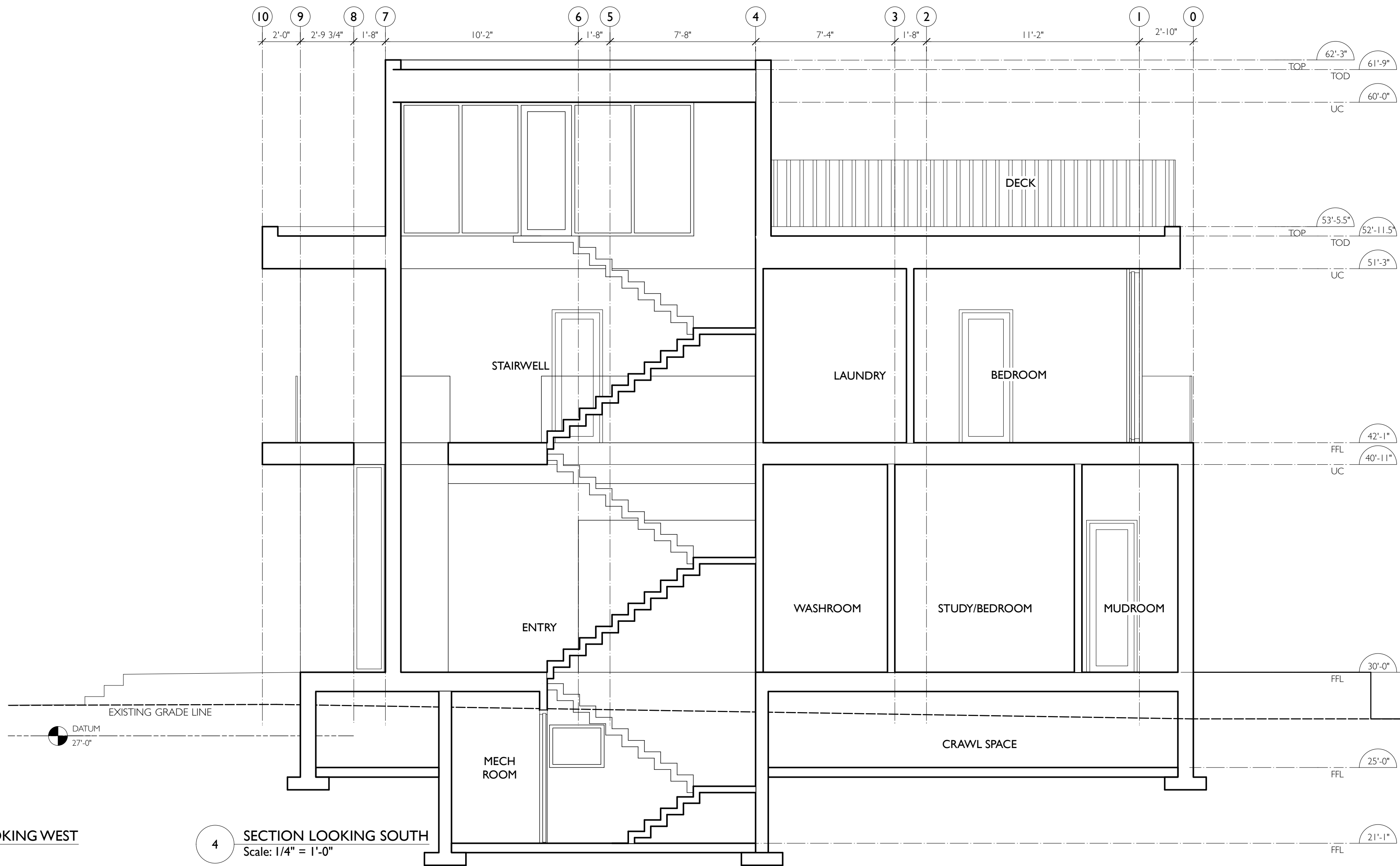
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2 SECTION LOOKING EAST
Scale: 1/4" = 1'-0"



3 SECTION LOOKING WEST
Scale: 1/4" = 1'-0"



4 SECTION LOOKING SOUTH
Scale: 1/4" = 1'-0"

2 16 APR 2020 RE-ISSUED FOR DEV. PERMIT
1 10 JULY 2019 ISSUED FOR DEV. PERMIT

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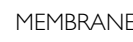
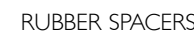
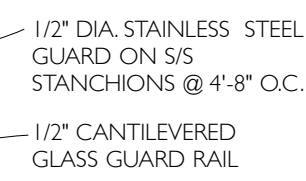
DRAWN	REVIEWED
FP	AAL

SCALE	DATE
1/4" = 1'-0"	JUN 2019

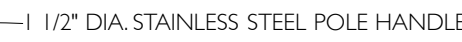
PROJECT NO.
17705

A5.0

Rev. 2



ELEVATION - GUARD RAIL
Scale: 1" = 1'-0"



3 ELEVATION - FRONT DOOR
Scale: 1" = 1'-0"

2 SECTION - GUARD RAIL
Scale: 2" = 1'-0"

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DRAWN
P.

REVIEWED
A.A.L.

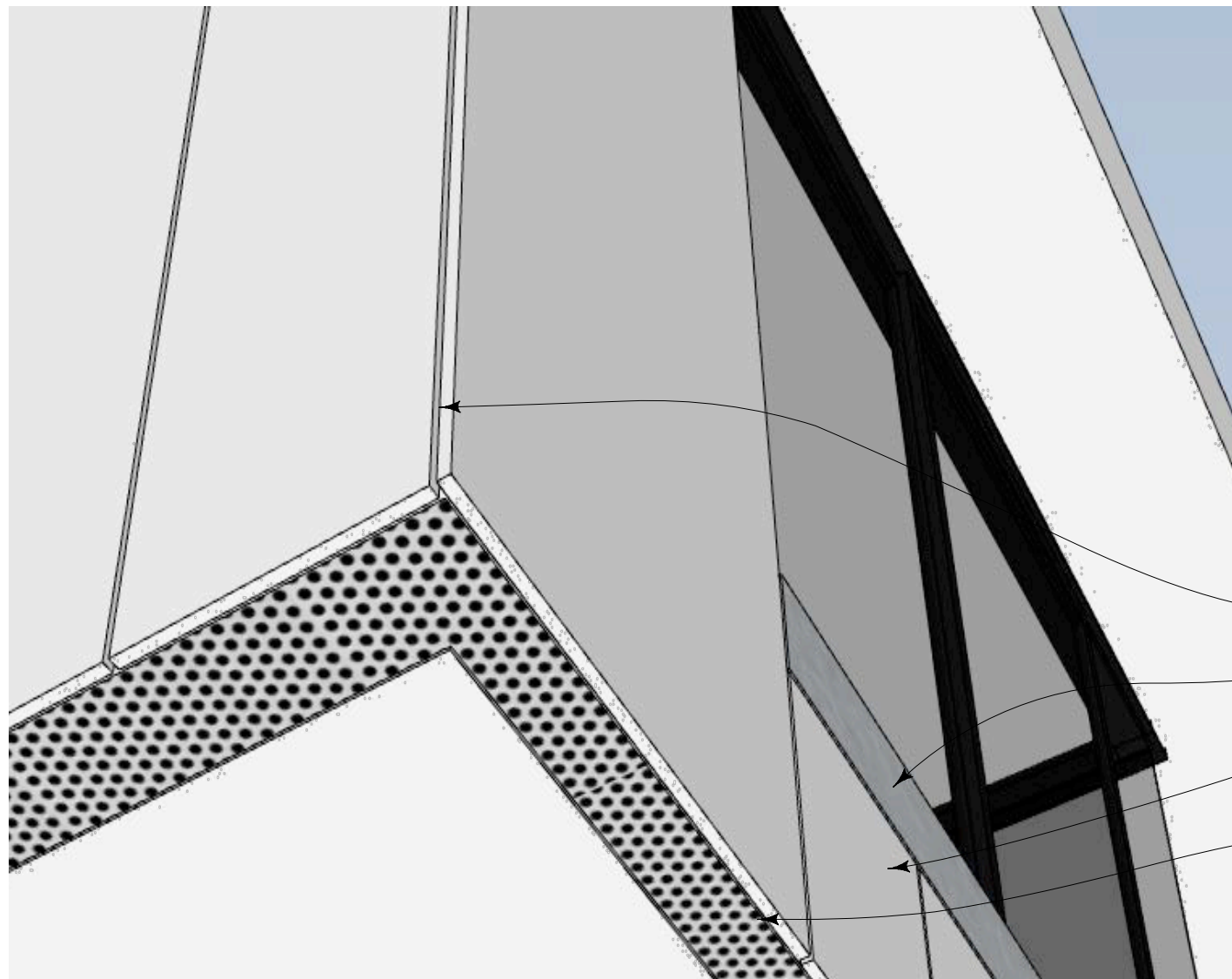
SCALE
1/4" = 1'-0"

DATE
JUN 2019

PROJECT NO. 17705

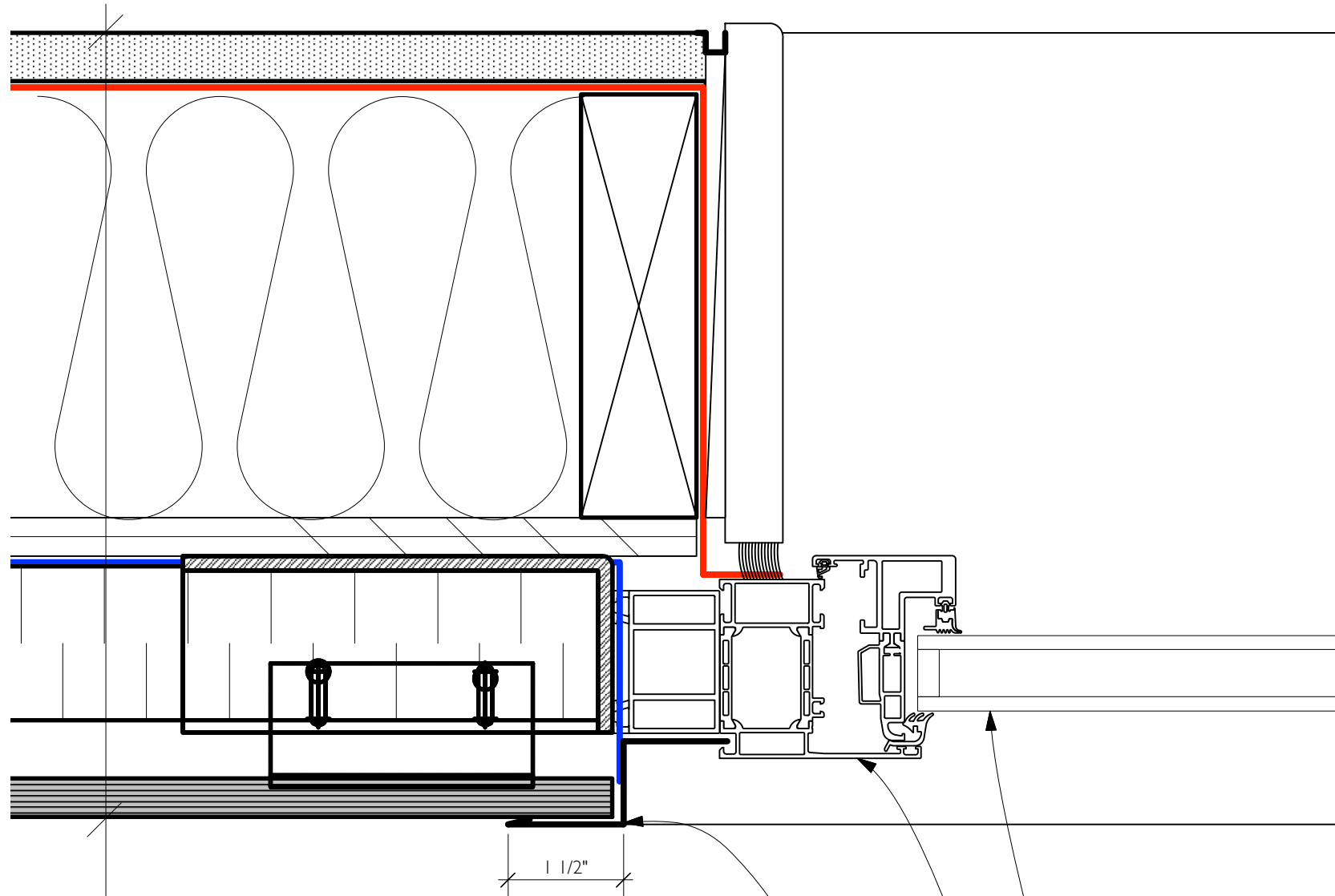
A6.0

ev. 1



CORNER WITH BUTT JOINT
METAL FLASHING
WOOD CLADDING AS PER
MANUFACTURER'S SPECIFICATION
INSECT SCREEN

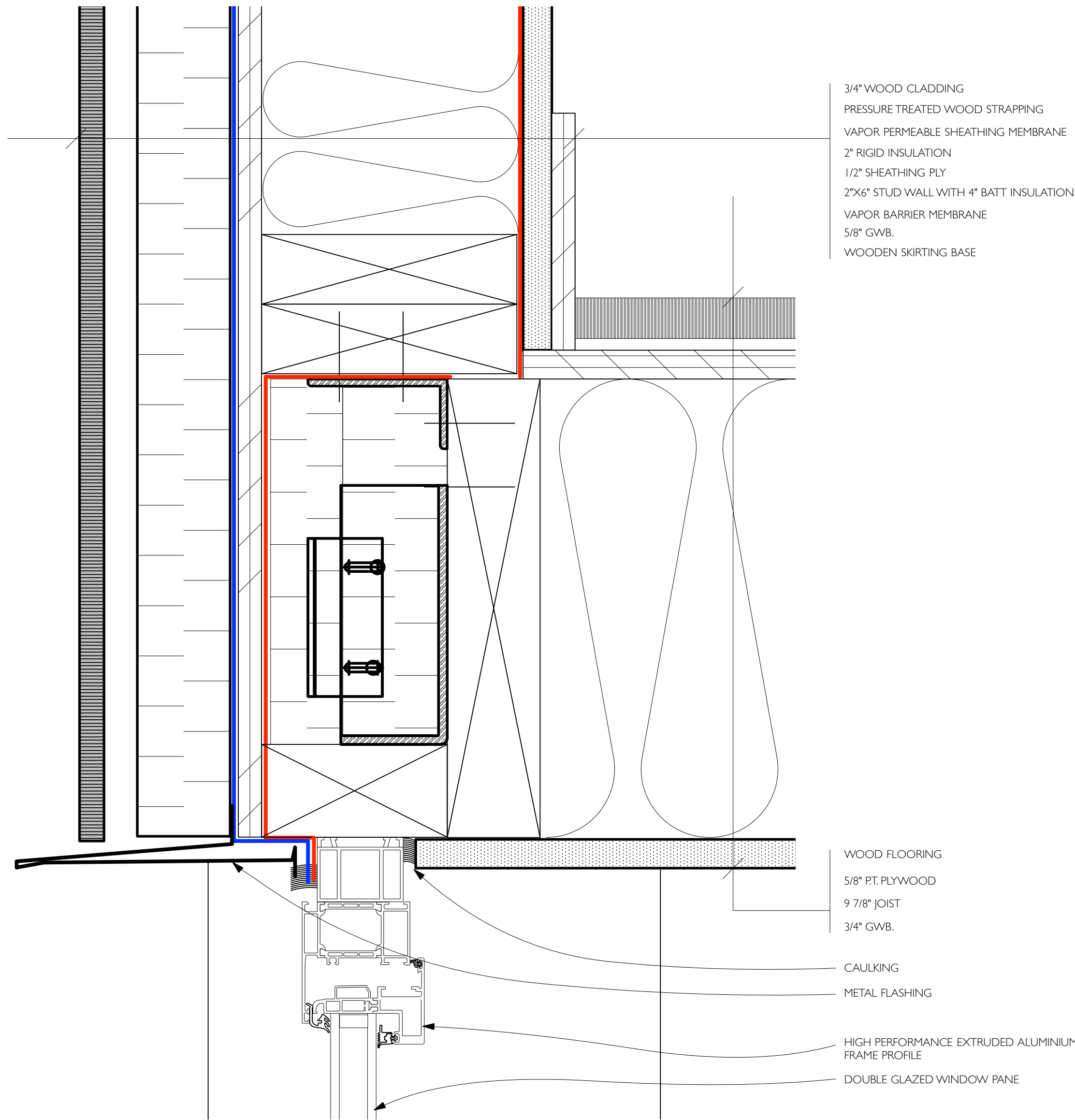
1 CORNER DETAIL FOR THERMALLY MODIFIED WOOD PANELS
Scale: 1" = 1'-0"



5/8" GWB.
VAPOR BARRIER MEMBRANE
2"x6" STUD WALL WITH 4" BATT INSULATION
1/2" SHEATHING PLY
VAPOR PERMEABLE SHEATHING MEMBRANE
2" RIGID INSULATION
PRESSURE TREATED WOOD STRAPPING
3/4" WOOD CLADDING

DOUBLE GLAZED WINDOW PANE
HI PERFORMANCE EXTRUDED ALUMINIUM FRAME PROFILE
METAL FLASHING

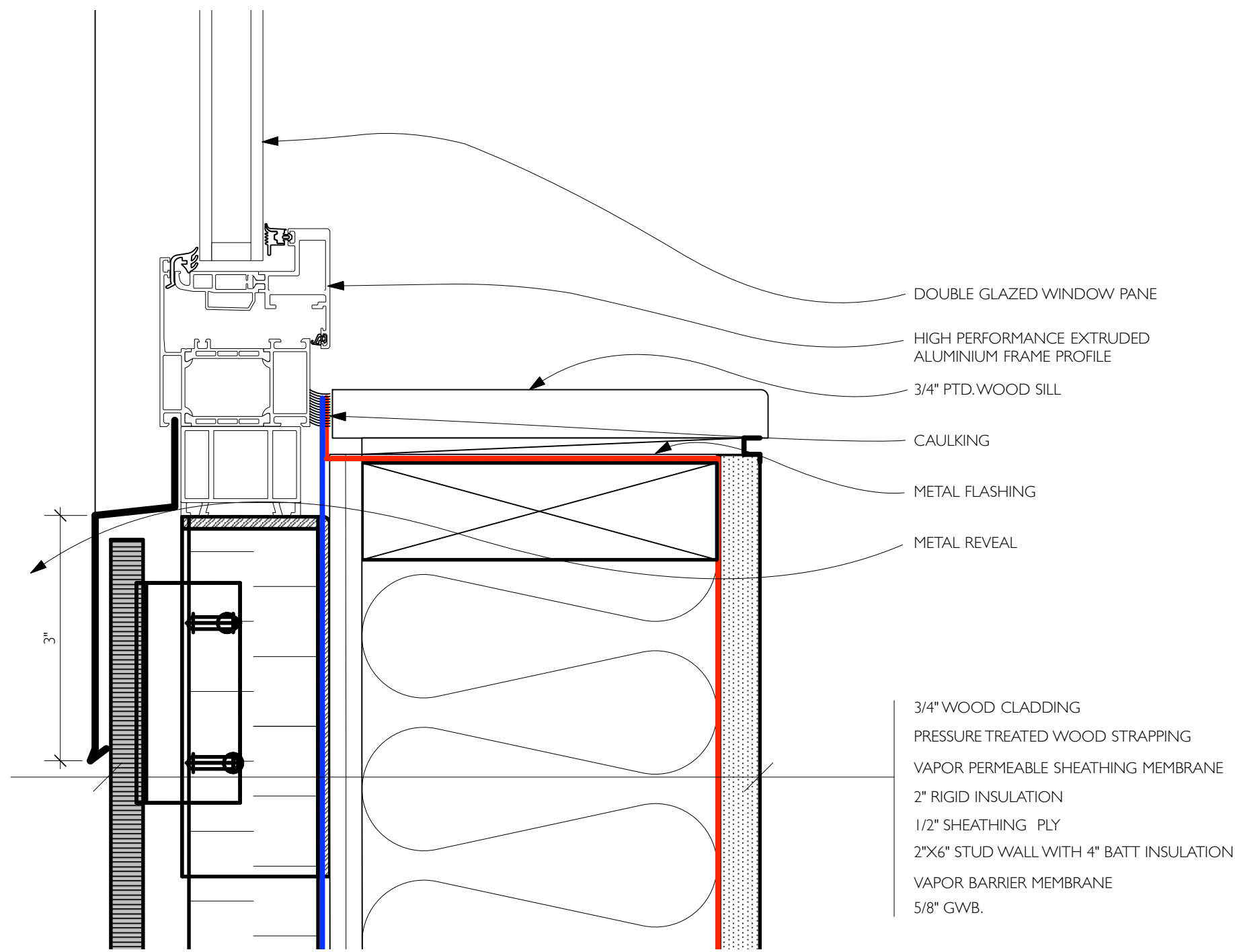
4 WINDOW JAMB DETAIL
Scale: Half Actual Size



3/4" WOOD CLADDING
PRESSURE TREATED WOOD STRAPPING
VAPOR PERMEABLE SHEATHING MEMBRANE
2" RIGID INSULATION
1/2" SHEATHING PLY
2"x6" STUD WALL WITH 4" BATT INSULATION
VAPOR BARRIER MEMBRANE
5/8" GWB.
WOODEN SKIRTING BASE

WOOD FLOORING
5/8" PT. PLYWOOD
9 7/8" JOIST
3/4" GWB.
CAULKING
METAL FLASHING
HIGH PERFORMANCE EXTRUDED ALUMINIUM FRAME PROFILE
DOUBLE GLAZED WINDOW PANE

2 WINDOW HEAD DETAIL (LOWER FLOOR WINDOW)
Scale: Half Actual Size



DOUBLE GLAZED WINDOW PANE
HIGH PERFORMANCE EXTRUDED ALUMINIUM FRAME PROFILE
3/4" PTD. WOOD SILL
CAULKING
METAL FLASHING
METAL REVEAL

3/4" WOOD CLADDING
PRESSURE TREATED WOOD STRAPPING
VAPOR PERMEABLE SHEATHING MEMBRANE
2" RIGID INSULATION
1/2" SHEATHING PLY
2"x6" STUD WALL WITH 4" BATT INSULATION
VAPOR BARRIER MEMBRANE
5/8" GWB.

3 WINDOW SILL DETAIL
Scale: Half Actual Size

1 16 APR 2020 RE-ISSUED FOR DEV. PERMIT

No. Date Issue / Revision

PROJECT

Genovese Residence

1329 Cypress Street,
Vancouver, BC

DRAWING

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dimensions, dates and levels to identify any errors and omissions;
ascertain any discrepancies between this drawing and the full contract
documents; and bring these items to the attention of the Architect for
clarification.

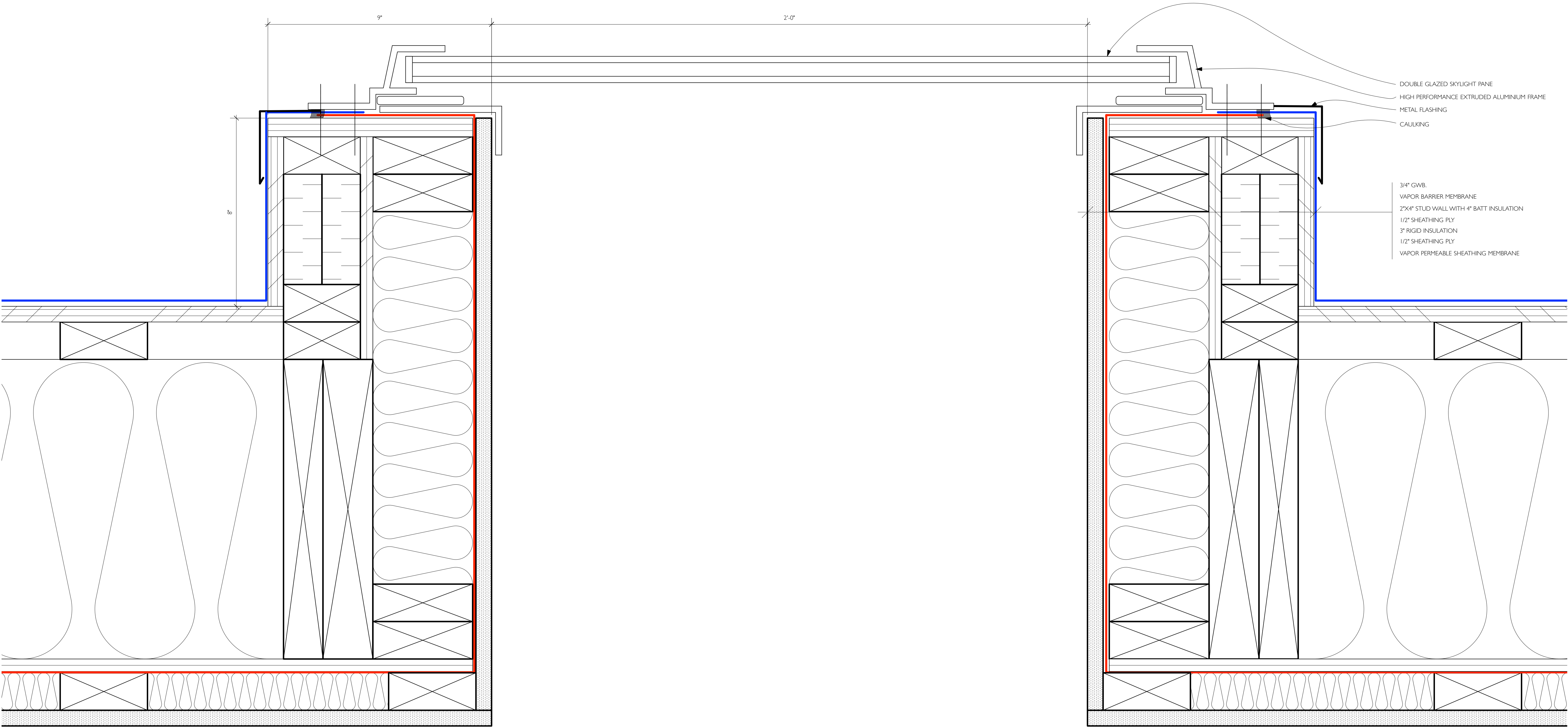
DRAWN REVIEWED
PP. A.A.L.

SCALE DATE
1/4" = 1'-0" JUN 2019

PROJECT NO.
17705

A6.1

Rev 1



SECTION THROUGH ROOF SKYLIGHT
Scale: Half Actual Size

1 16 APR 2020 RE-ISSUED FOR DEV. PERMIT

No.	Date	Issue / Revision
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PROJECT

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DRAWN PP	REVIEWED A.A.L.
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SCALE 1/4" = 1'-0"	DATE JUN 2019
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PROJECT NO.
17705