



# CITY OF LANGFORD OCCUPANCY PERMIT

Under the provisions of the current Bylaw in effect at date of issue of permit, it is contrary to Municipal Bylaws to occupy any portion of this building covered by a Building Permit unless this permit is signed by all inspectors concerned.

Building Permit No. 10-0277

2533 Duncan Lane  
Plan VIS6842 Lot 4

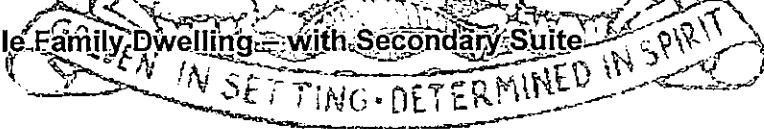
BUILDING 10/29/01  
DATE  
PLUMBING 10/29/01  
DATE

*[Signature]*  
BUILDING INSPECTOR

*[Signature]*  
BUILDING INSPECTOR

This permit confirms inspection pursuant to District of Langford Building Bylaw, but is not a warranty that the building complies with all Municipal or Provincial regulations governing building construction nor that it is without defect.

REMARKS: Single Family Dwelling with Secondary Suite



## Section 6.22 – One- and Two-Family Residential (R2) Zone

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*(Replaced by Bylaw No. 1864)*

*The intent of the One- and Two-Family Residential (R2) Zone is to permit a one-family dwelling on a lot with an area of not less than 1 ha (2.47 ac) in areas not serviced by community sanitary sewer, and to permit a one-family dwelling on a lot with an area not less than 400 m<sup>2</sup> (4,305 ft<sup>2</sup>) and two-family dwellings on a lot with an area not less than 600 m<sup>2</sup> (6,458 ft<sup>2</sup>) in areas that are served by community sewer.*

### 6.22.01 Permitted Uses

The following **uses** and no others are permitted in the R2 Zone:

- (1) **Accessory buildings and structures;**
- (2) **Dwelling, one-family;**
- (3) **Dwelling, two-family**, in accordance with Section 6.22.03; *(Bylaw No. 1945)*
- (4) **Group daycare**, in accordance with Subsection 3.26.02;
- (5) **Home occupation**, in accordance with Section 3.09;
- (6) **Schools** on lands shaded on the map attached as Schedule WL to this Bylaw;
- (7) **Secondary suite** on **lots** with **lot areas** greater than or equal to 400 m<sup>2</sup> (4,305 ft<sup>2</sup>), or a **garden suite** or a **carriage suite** as an accessory use to a one-family dwelling, in accordance with Section 3.08;
- (8) The keeping of horses, cattle, sheep, goats, rabbits and poultry, for domestic purposes, in accordance with Section 3.12;
- (9) The keeping of not more than four **boarders** in a **one-family dwelling**;
- (10) **Townhouses** on those properties legally described as PID No. 009-875-867 (3690 Happy Valley Road), PID No. 002-035-235 (3694 Happy Valley Road), PID No. 001-138-138 (4342 West Shore Parkway), and on lands shown shaded on the map attached as Schedule WL to this Bylaw;
- (11) **Uses accessory to a principal use** permitted in this zone; and
- (12) **Uses** permitted by Section 3.01 of this Bylaw.

### 6.22.02 Subdivision Lot Requirements

- (1) No **lot** having a **lot area** less than 2 ha (5 ac) may be created by subdivision in the R2 Zone, except that a **lot** of 400 m<sup>2</sup> (4,305 ft<sup>2</sup>) may be created by subdivision if:
  - (a) The property is served by community sanitary sewer; **AND**

- (b) Is not within the lands designated as “City Centre” on Map 2 – City of Langford Growth Management and Land Use Strategy, of Bylaw No. 1200, City of Langford’s Official Community Plan; **AND EITHER**
  - (c) The legal description of the property being subdivided is not listed in Column 3 of Table 1 of Schedule AD of this Bylaw; **OR**
  - (d) The legal description of the property being subdivided is listed in Column 3 of Table 1 of Schedule AD of this Bylaw **AND** the owner of the land proposed to be subdivided pays to the City the amount specified in Column 4 of Table 1 of Schedule AD, prior to the time of subdivision.
- (2) No **lot** having a **lot width** less than 12 m (39.3 ft) may be created by subdivision.
  - (3) No **lot** having a **building envelope** with a width or depth less than 6 m (19.6 ft) nor an area less than 93 m<sup>2</sup> (1,000 ft<sup>2</sup>) may be created by subdivision.
  - (4) No **panhandle lot** may be created in the R2 Zone.
  - (5) Despite subsection 6.22.02(1), on that property legally described as Lot 1, Section 26, Goldstreet District, Plan 24172; PID No. 002-981-220 (2955 Irwin Road), the minimum **lot area** for subdivision may be 260 m<sup>2</sup> (2,798.6 ft<sup>2</sup>) if:
    - (a) The owner of the land proposed to be subdivided pays to the City the amount specified in Column 4 of Table 1 of Schedule AD, prior to the time of subdivision; and
    - (b) The maximum density of development does not exceed **18 lots**.
  - (6) Despite subsection 6.22.02(1), on land shown as shaded on the map attached as Schedule WL, the minimum **lot area** for subdivision may be 200 m<sup>2</sup> (2,152.8 ft<sup>2</sup>) if the owner of the land proposed to be subdivided:
    - (a) Pays to the City the amount specified in Column 4 of Table 1 of Schedule AD, prior to the time of subdivision; and
    - (b) Does not create more than **30 lots** by subdivision that have a **lot area** less than 400 m<sup>2</sup> (4,305.6 ft<sup>2</sup>).

### **6.22.03 Regulations for Two-Family Residential Use**

In addition to all other regulations in this section, the following regulations apply to **two-family dwellings** in the R2 Zone:

- (1) **Two-family dwellings** are prohibited on pandhandle lots;
- (2) The **lot area** for a **two-family dwelling** use may not be less than 600 m<sup>2</sup> (6,459 ft<sup>2</sup>);
- (3) Despite subsection 6.22.03(2) on lands designated as “City Centre” on Map 2 – City of Langford Growth Management and Land Use Strategy, of Bylaw No. 1200, City of Langford’s Official Community Pan the **lot area** for a **two-family dwelling** may not be less than 1500 m<sup>2</sup> (0.37 ac);
- (4) The **lot width** may not be less than 15 m (49.2 ft);

- (5) The width of the **building envelope** may not be less than 12 m (39.4 ft);
- (6) Despite subsection 6.22.03(2), on lands legally described as Lot 9, Sections 78 and 84, Esquimalt District, Plan 23129, PID No. 003-047-563 (738 Walfred Road) and Lot D, Sections 78 and 84, Esquimalt District, Plan VIP86630, PID No. 001-471-511 (742 Walfred Road), the **lot area** for a **two-family dwelling** use may be less than 600 m<sup>2</sup> (6,450 ft<sup>2</sup>), provided that the **lot area** is not less than 500 m<sup>2</sup> (5,382 ft<sup>2</sup>) and the **lot width** is not less than 17 m (55.8 ft); (*Bylaw No. 1945*)
- (7) In addition to all other regulations of this Bylaw any building or structure on the **lot** must be dimensioned, sited, and designed in conformance with an approved development permit;
- (8) In addition to all other regulations of this Bylaw, a continuous **landscape and screening area** of at least 1 m (3.3 ft) in width containing a shrub, hedge, or fence screen or a minimum **height** of 1.8 m (5.9 ft) at time of planting, must be provided along any interior side lot line starting from 6 m (19.7 ft) to the rear of the front lot line and extending to the **rear lot line**.

#### **6.22.04 Density of Development**

- (1) There may not be more than one **residential building** on a **lot**, exclusive of any garden suite or carriage suite.
- (2) Despite subsection 6.22.04(1) there may be more than one residential building on a lot, if those residential buildings contain only a townhouse use.
- (3) Under no circumstances may the density of development on those properties legally described as PID No. 009-875-867 (3690 Happy Valley Road) and PID No. 002-035-235 (3694 Happy Valley Road) exceed 125 Single-Family Equivalent (SFE) dwelling units, and for the purpose of this section a Townhouse unit shall be deemed equivalent to 0.66 SFE.
- (4) Under no circumstances may there be more than 80 townhouse units within the area shown as shaded on the map attached as Schedule WL.

#### **6.22.05 Lot Coverage**

**Lot coverage** of all **buildings** and **structures** may not exceed 40%, except that on **lots** less than 550 m<sup>2</sup> (5,920.2 ft<sup>2</sup>) in **lot area**, the **lot coverage** for all **buildings** and **structures** may exceed 40% but not exceed 50%.

#### **6.22.06 Height and Size of Principal Use Buildings**

No **building** or **structure** may exceed a **height** of 9 m (29.5 ft).

#### **6.22.07 Setbacks**

- (1) No principal **building** may be located:
  - (a) Within 3 m (9.8 ft) of any **front lot line** except that no **garage** or **carport** that faces a **front lot line** may be located within 5.5 m (18 ft) of the **front lot line**;
  - (b) Within 5.5 m (18 ft) of any **rear lot line**;

- (c) Within 3 m (9.8 ft) of any **exterior side lot line**, except that no **garage or carport** that faces an **exterior side lot line** may be located within 5.5 m (18 ft) of the **exterior side lot line**; or
  - (d) Within 1.5 m (4.9 ft) of any **interior side lot line**.
- (2) Despite Article (1), the siting of any **building** for the keeping of horses, cattle, sheep, or goats must comply with Section 3.12 of this Bylaw.
  - (3) Despite Article (1) and Article (2) and Section 3.12 of this Bylaw, no building for the keeping of poultry and rabbits may be located within 6 m (20 ft) of any **interior side lot line** nor within 7.6 m (25 ft) of any **exterior side, front, or rear lot line**.

#### **6.22.08 Landscape Screening**

- (1) The relevant regulations of Section 3.21 of this Bylaw must apply.
- (2) In addition to all other regulations of this Bylaw, for a two-family residential use a continuous **landscape and screening area** of at least 1 m (3.3 ft) in width containing a shrub, hedge, or fence screen of a minimum **height** of 1.8 m (5.9 ft), at time of planting, must be provided along any interior lot line starting from 6 m (19.7 ft) to the rear of the **front lot line** and extending to the **rear lot line**.

#### **6.22.09 General**

The relevant regulations of Part 3 of this Bylaw must apply.



# City of Langford

2nd Floor - 877 Goldstream Avenue, Langford, British Columbia, Canada, V9B 2X8 Phone: (250) 474-6692 Fax: (250) 391-3435

## Building Inspection Permit

Civic Address: **2533 DUNCAN LN**      Jurisdiction: **327**      Folio #: **07378.034**

PID: **028-031-326**      District Lot:      Plan: **VIS6842**      Lot: **4**      Section:      Range:      Block:

Owner(s): **KRYSTALKRU DEVELOPMENTS LTD**      **2519 CRYSTALVIEW DR**      **VICTORIA BC**      **V9B6M8**

Building Permit #: **10-0277**      Building Hold #: **10-0277**      Date of Application: **Feb 22, 2010**      Date Issued: **Feb 25, 2010**      Permit Type: **B**      Estimated Cost:

Use or Occupancy of Structure:  
**SFD - with suite**

### Building Value

Desc:	Area (sq ft):	Rate:	
Main floor:	762.00 x	0.00	\$0.00
Other floor:	1,031.00 x	0.00	\$0.00
Basement (finished):	725.00 x	0.00	\$0.00
Basement (unfinished):	x	0.00	\$0.00
Deck:	184.00 x	0.00	\$0.00
Garage:	628.00 x	0.00	\$0.00
Carport:	x	0.00	\$0.00
	x		\$0.00
	x		\$0.00
	3,330.00 sq ft.		\$0.00
		OR:	\$216,930.00
<b>Building Value:</b>			<b>\$216,930.00</b>

### Building Permit Fees

Basic Building Permit:	\$1,976.00
SFBA/Chimney:	
Other Fees:	
5% reduction for engineering =	-\$98.80
Stop Work/Double Fee: <input type="checkbox"/>	

**Building Permit Fee (Subtotal): \$1,877.20**

Plumbing Permit:	
<b>Development Fees</b>	
Sewer Maintenance Fee:	
<b>Other Municipal Charges:</b>	
Development Cost Charges:	\$0.00
Other Cost Charges:	\$216.93

Bonding:	\$0.00
Roadway Damage Deposit (Bylaw 33):	\$750.00

F E E S S U R E T I E S

### Total Fees

\$2,094.13

### Total Sureties

\$750.00

### Total Cost

\$2,844.13

Total Payments: \$2,844.13

Balance Owing: \$0.00



# City of Langford

2nd Floor - 877 Goldstream Avenue, Langford, British Columbia, Canada, V9B 2X8 Phone: (250) 474-6692 Fax: (250) 391-3435

## Plumbing Inspection

Address: **2533 DUNCAN LANE**

Folio #: 327

07378.034

PID: 028-031-326

Owner(s):  
 KRYSTALKRU DEVELOPMENTS LTD | 2519 CRYSTALVIEW DR | VICTORIA BC | V9B6M8

Permit #: **10-0589**

Hold #: **10-0589**

Use: **plumbing**

Date Issued: **May 12 2010**

Plumbing Fixtures	FLOORS								Count	Rate	Cost	
	Site	Bsmt	1	2	3	4	5	6				7
Backflow Prevention Device										0	15	\$0
Bath Tub		1		2						3	15	\$45
Clothes Washer		1		1						2	15	\$30
Dish Washer			1							1	15	\$15
Floor Drains		0	1							1	15	\$15
Hose Bibs	2									2	15	\$30
Hot Water Tank			1							1	15	\$15
Kitchen Sink		1	1							2	15	\$30
Laundry Tub										0	15	\$0
Lavatory		1	1	3						5	15	\$75
Private Storm Drainage System	1									1	25	\$25
Sewer Service Connection	1									1	25	\$25
Shower				1						1	15	\$15
Water Closet (Toilet)		1	1	2						4	15	\$60
Water Service Connection	1									1	25	\$25

Plumbing Permit:

405.00

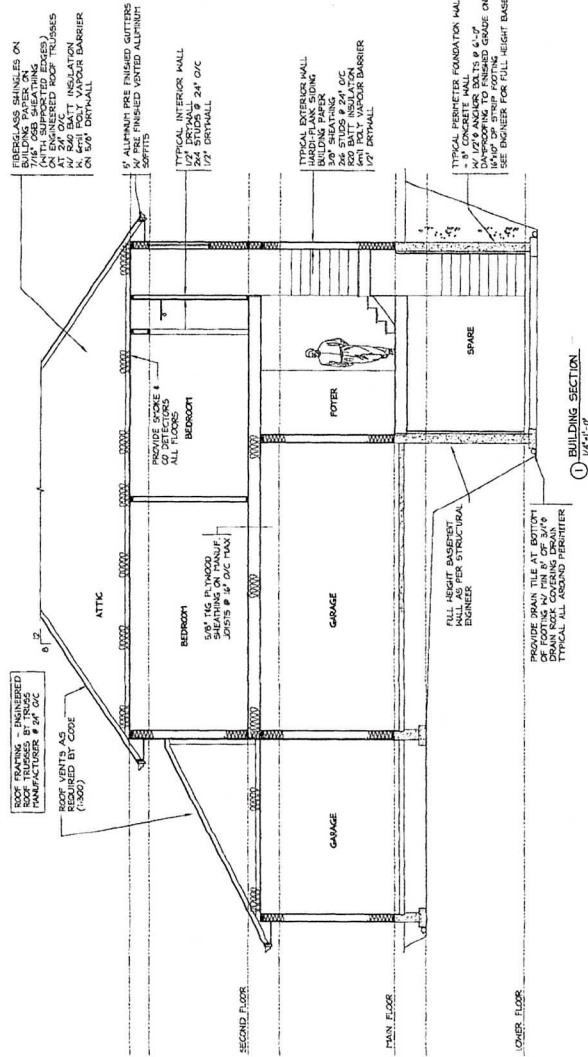












**NOTES AND SPECIFICATIONS**

- BEFORE STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. AT NO TIME SHALL THE CONTRACTOR OR HIS SUBS CONTRACTOR BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- ALL WORK SHALL BE EQUAL IN ALL RESPECT TO GOOD BUILDING PRACTICE.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
- USE 20MPA CONCRETE FOR FOUNDATIONS AND SLABS ON GRADE.
- FLOOR JOISTS AND BEAMS TO BE DESIGNED BY OTHERS HEATING TO BE ELECTRIC BASE BOARD.
- JUST SHALL BE DOUBLED UNDER PARALLEL PARTITIONS OVER 6'-0" LONG.
- ALL LINTELS TO BE 2-2x4 UNLESS NOTED.
- PROVIDE SHOCK ALARMS 1 CO2 DETECTIONS.
- DOOR SIZES ARE WIDTH SHOWN BY 4'-8" HIGH UNLESS NOTED OTHERWISE.
- ALL HINGINGS TO BE THERMO SEALED DOUBLE PANEL.
- ANY DEVIATIONS FROM THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE OWNER OF THE BUILDING SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE BUILDING AND ITS CONTENTS.
- ALL DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- FOUNDATION WALLS TO BE FLUSH.

NO.	REV.	ISSUED FOR PERMIT
1	2010-01-10	ISSUED FOR PERMIT
<b>DRAFTING SERVICES INC.</b> 2500 W. 108th Ave. #107 Richmond, B.C. V6V 2K6 Tel: (778) 430-5718 Fax: (778) 430-5718 www.draftingservices.com		
Project No.	SINGLE FAMILY DWELLING LOT 4, DUKAN PLACE	
Sheet No.	LANGFORD, B.C. BUILDING SECTIONS TYPICAL DETAIL	
Scale	1/4" = 1'-0"	
Drawn by	S. SHETH	
Checked by	S. SHETH	
Approved by	S. SHETH	
Permit No.	A4	



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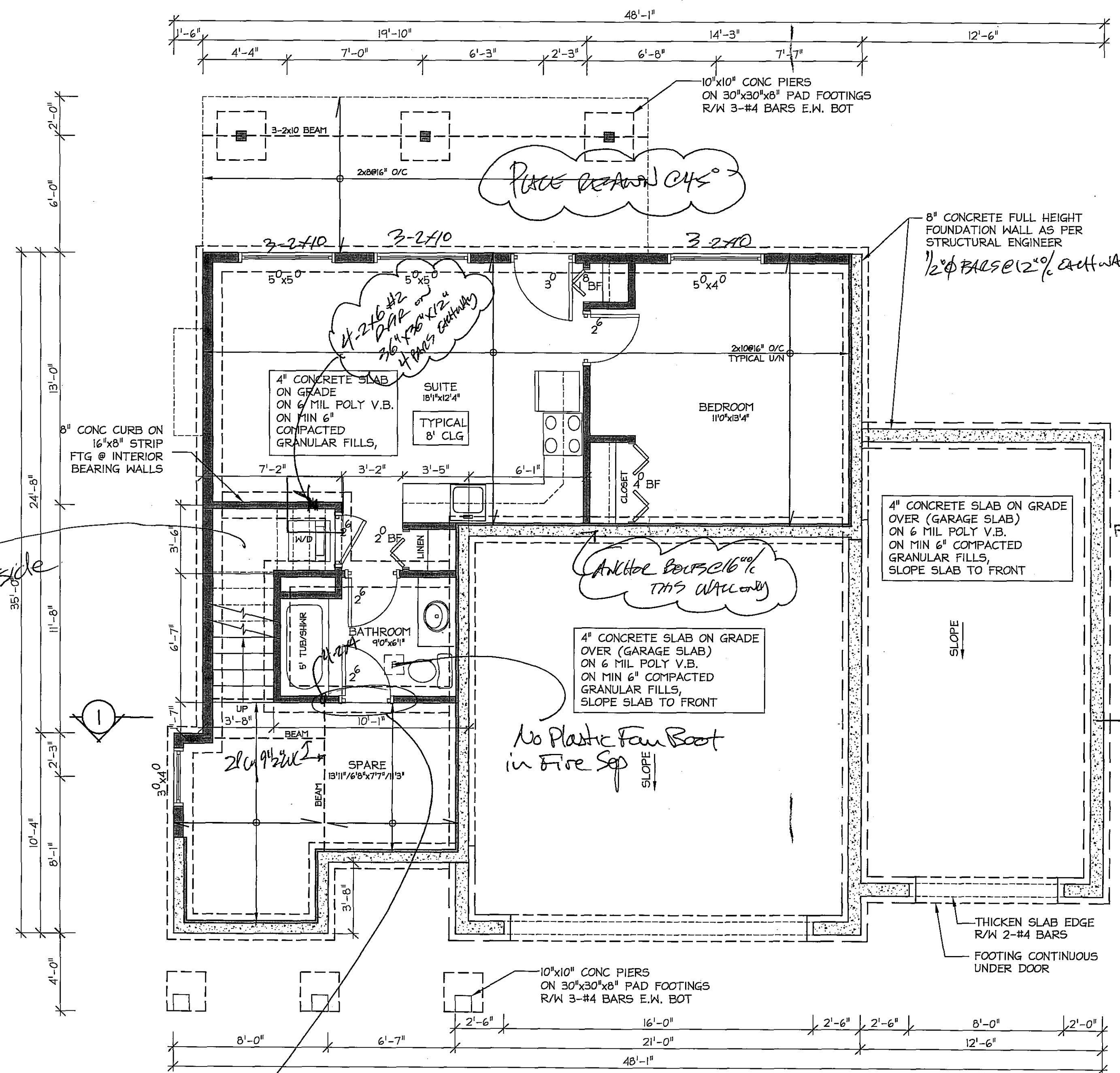


DUNCAN PLACE

SITE PLAN  
 1/8"=1'-0"

**LOT COVERAGE**

MAIN FLOOR AREA	= 762 SQFT
GARAGE AREA	= 720 SQFT
BUILDING AREA	= 1,482 SQFT
LOT AREA	= 6,798 SQFT
COVERAGE	= 21.8%



LOWER FLOOR / FOUNDATION PLAN  
 1/4"=1'-0"

CONFIRM FOUNDATION DIMENSIONS WITH FLOOR PLAN DIMENSIONS PRIOR TO CONSTRUCTION

*20 min Rated or Rated Closure at top of stairs and Rate Stairwell*

**SCOTT ENGINEERING INC.**  
 3148 ANTHOBUS CRESCENT  
 COLWOOD, BC V9B 5P5  
 TEL: 250 391 8882  
 FAX: 250 391 8887  
 scottengineering@shawcable.com

DESIGN CRITERIA PART 9 BC BUILDING CODE  
 ROOF = 10 PSF DL = 10 PSF  
 FLOOR = 10 PSF DL = 10 PSF  
 ASSUMED SOIL BEARING CAPACITY = 1500 PSF  
 ALL FRAMING AS PER PART 9 OF THE BC BUILDING CODE  
 ALL UNITS ARE IN U.S. C.  
 MINIMUM BEARING FOR ENGINEERED BEAMS IS 5" CRIPPLE OR 3.5" PLATE BEARING U.N.O.

- USE 1/2" X 6" ANCHOR BOLTS @ 48" O.C.
- NAIL ALL LVL BEAMS WITH 4 ROWS OF 3" NAILS @ 8" O.C. FROM BOTH SIDES U.N.O.
- LVL BEAMS ARE E=2.0 psi, Fb=2950 psi

no.	date	REVISION
-	2010-01-18	ISSUED FOR PERMIT

**CORE DRAFTING SERVICES**

2842 Jacklin Road P (250) 885 5716  
 Victoria, B.C. V9B 3X9 F (778) 430 5716  
 vance@coredraft.com

project title  
 SINGLE FAMILY DWELLING  
 LOT 4, DUNCAN PLACE  
 LANGFORD, B.C.

sheet title  
 LOWER FLOOR / FOUNDATION PLAN  
 SITE PLAN

**RECEIVED**  
 FEB 22 2010  
 BUILDING INSPECTION  
 CITY OF LANGFORD

scale  
 1/4"=1'-0"

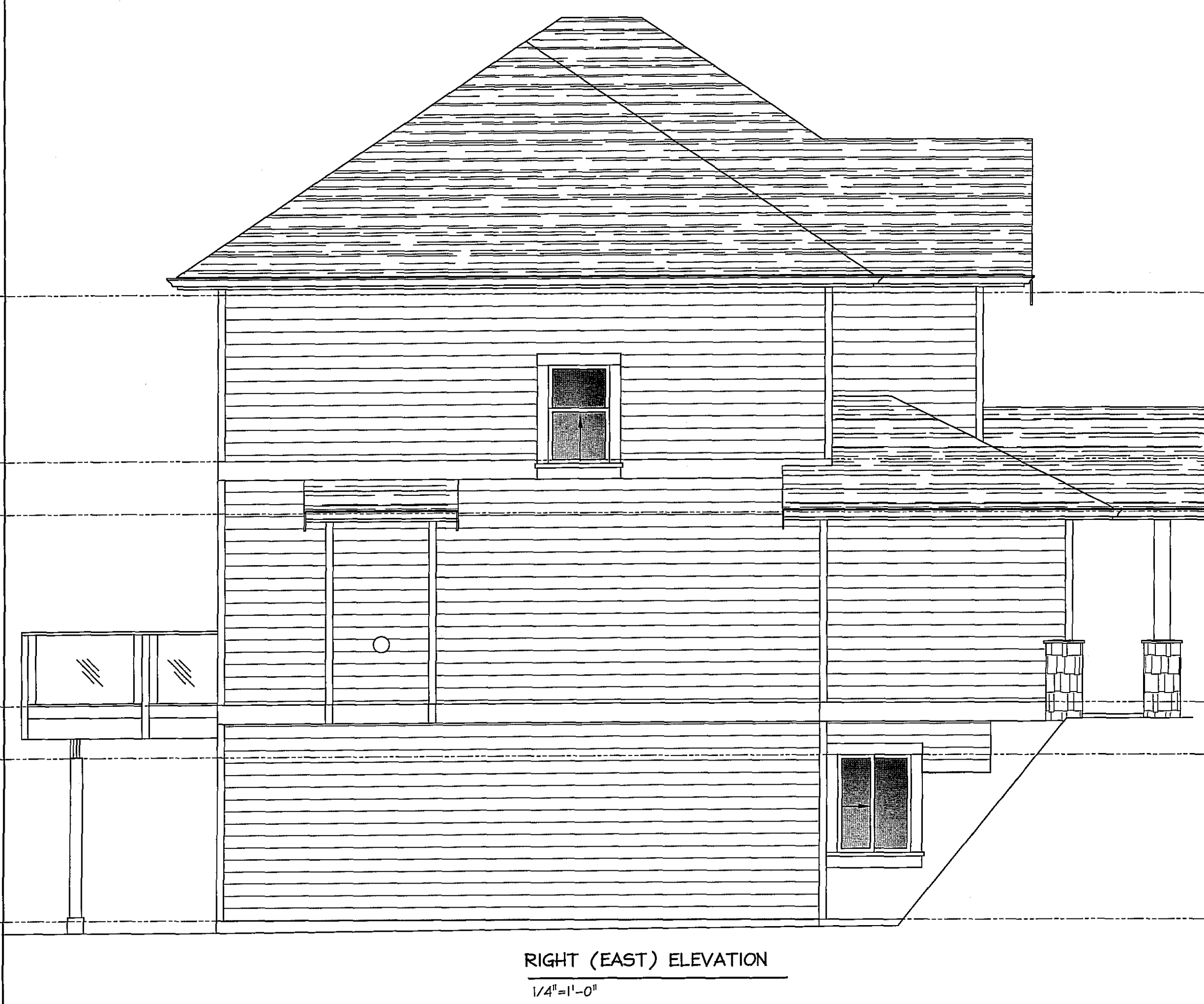
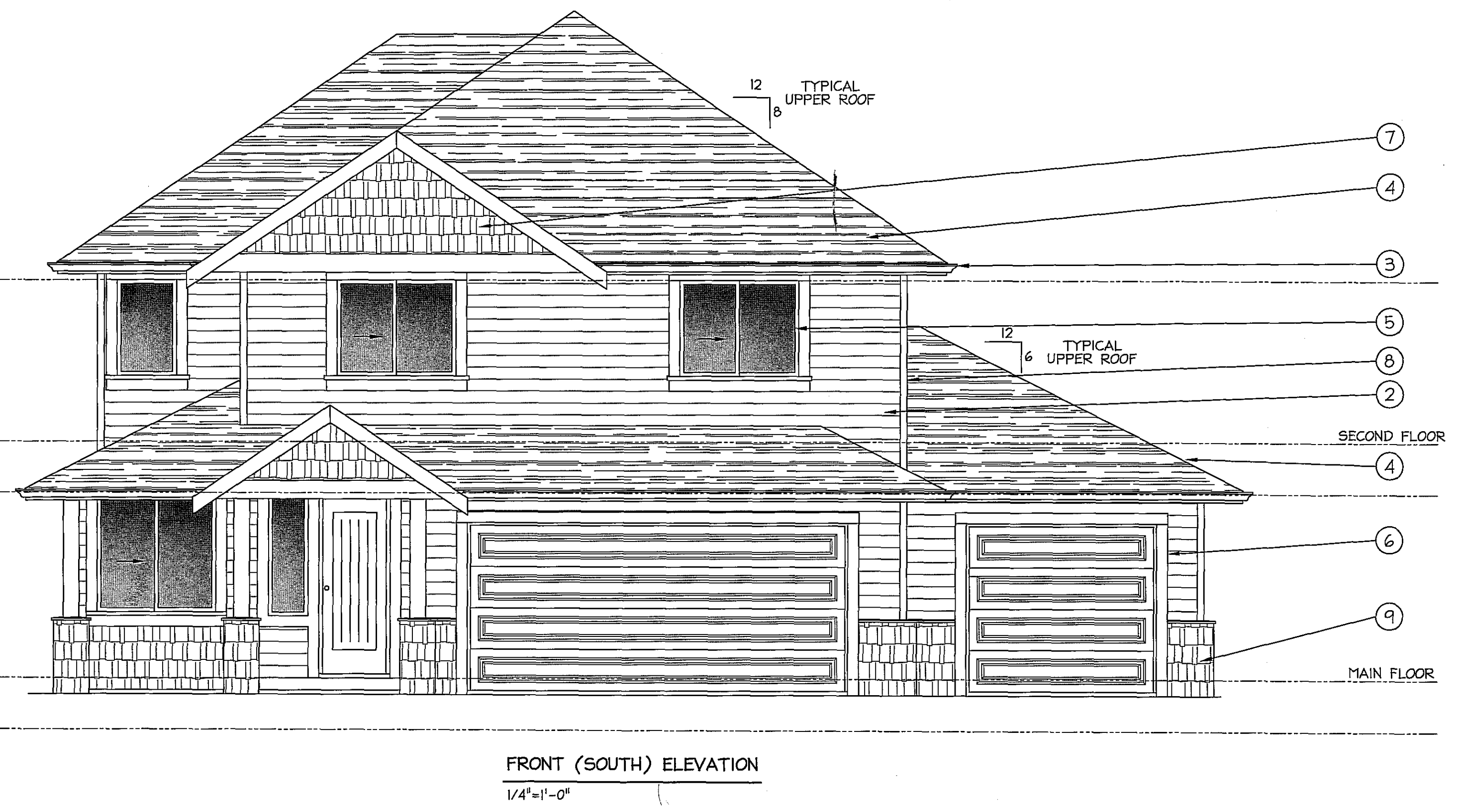
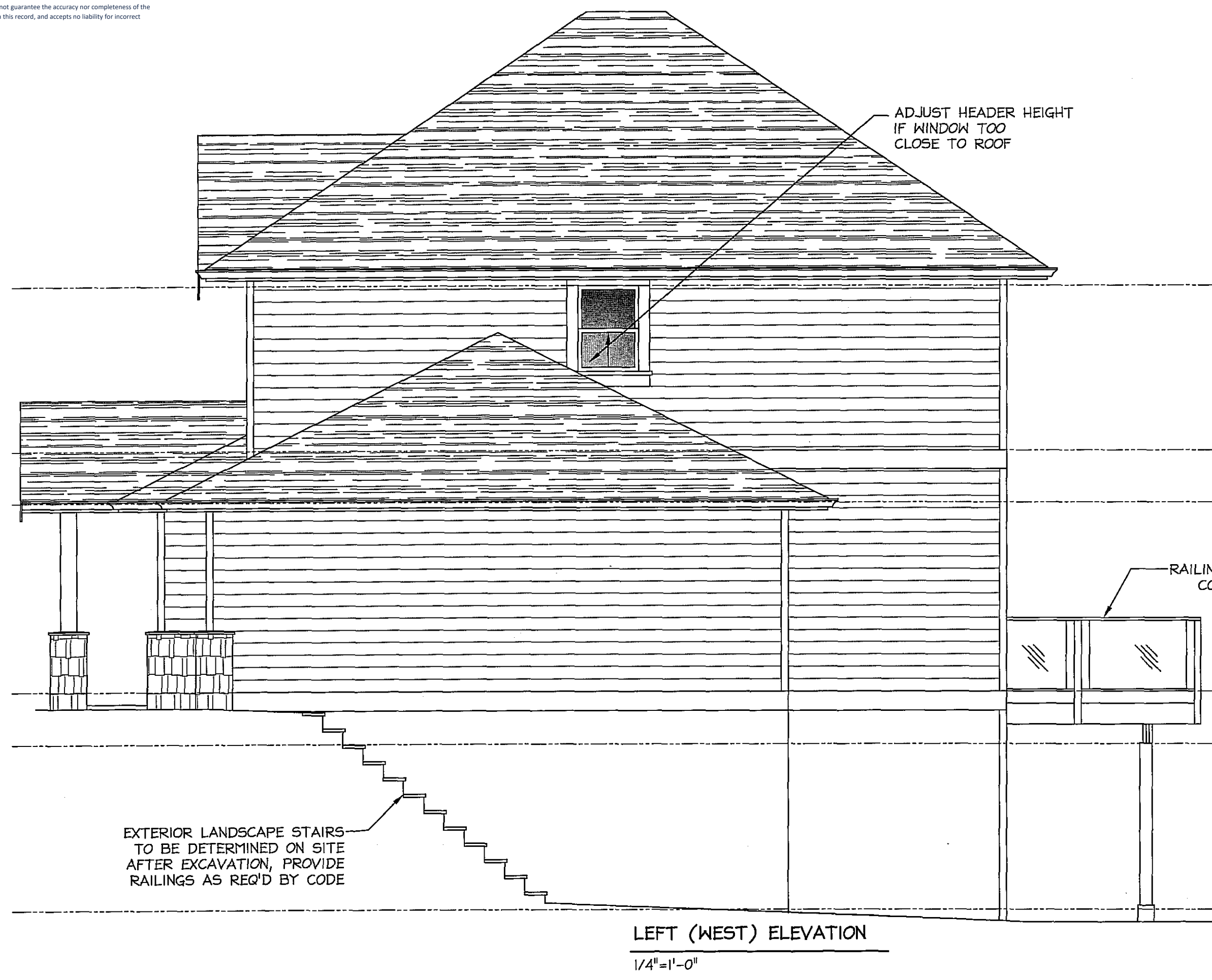
sheet no.  
**A2**

date  
 DEC 2009

project no.  
 -

OF 4

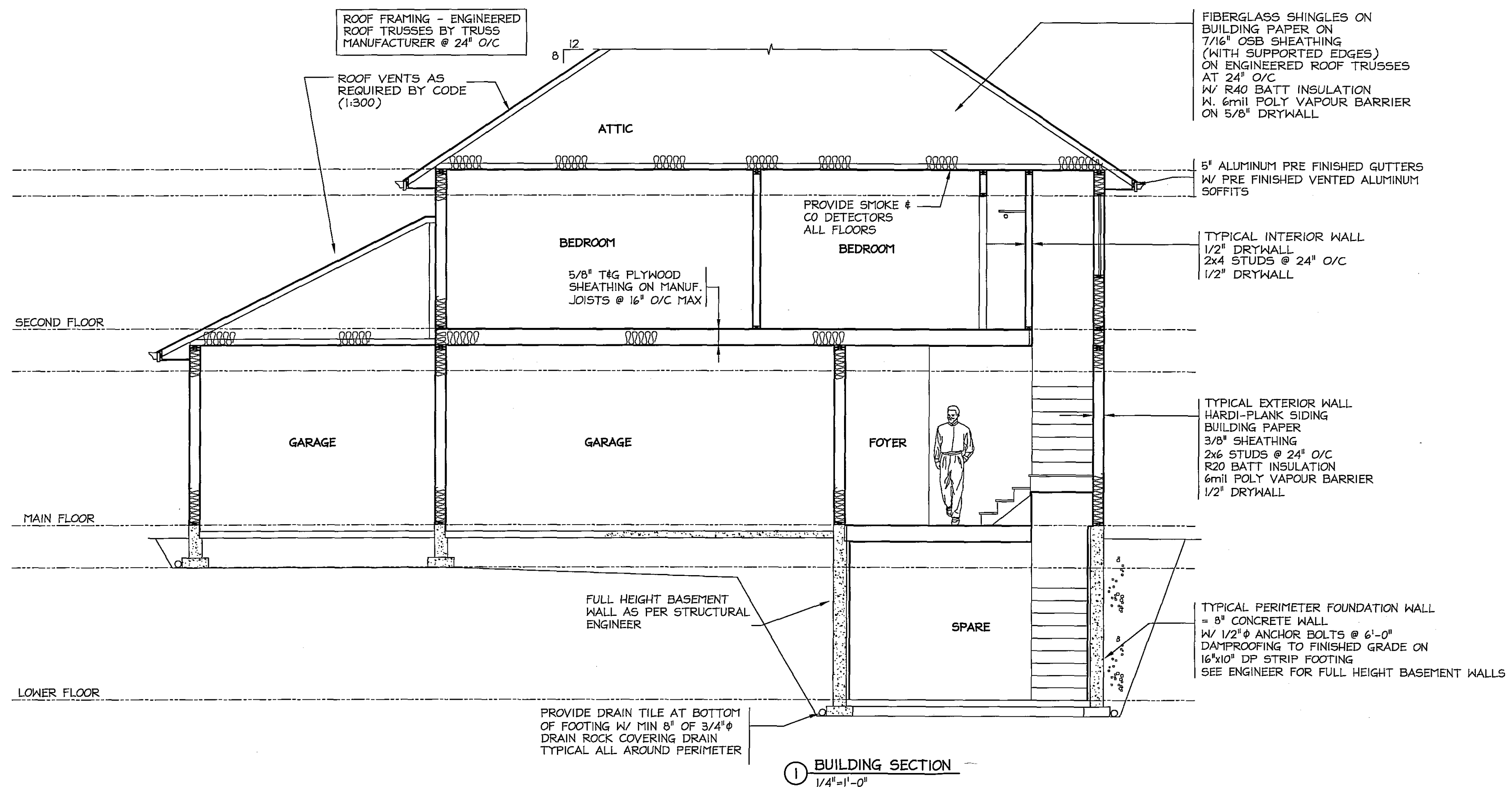




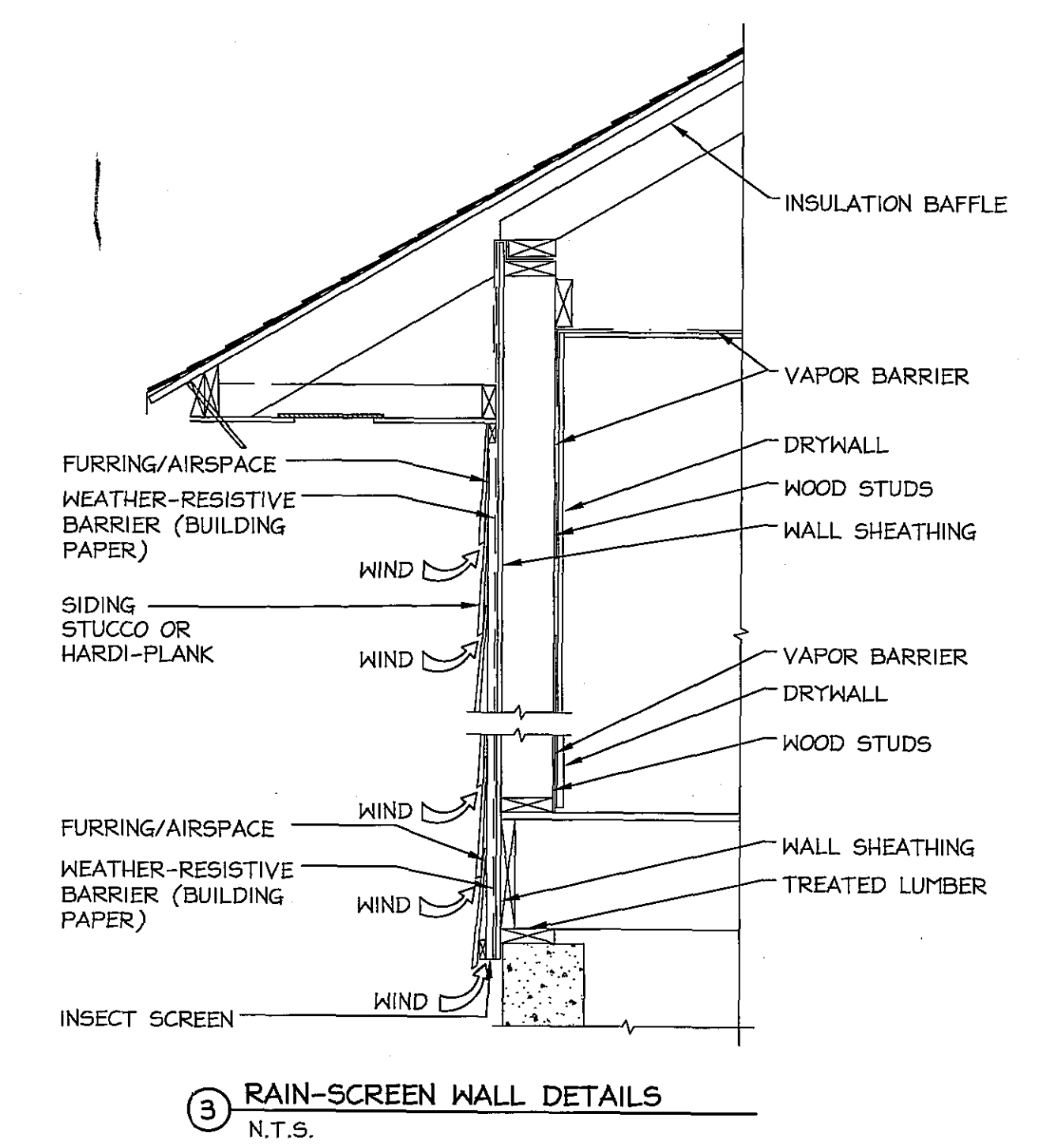
- ELEVATION LEGEND**
- ① 1x6 PAINTED FASCIA BOARD W/ 1x4 ACCENT STRIP
  - ② HARDI-PLANK SIDING
  - ③ PREFINISHED ALUMINUM GUTTERS
  - ④ FIBERGLASS SHINGLES
  - ⑤ THERMO PANE WINDOWS WITH 1x6 PAINTED TRIM
  - ⑥ PAINTED 1x4 TRIM
  - ⑦ CEDAR SHAKE SHINGLES
  - ⑧ 1x4 PAINTED CORNER TRIM
  - ⑨ NATURAL OR CULTURED STONE

2010-01-16	ISSUED FOR PERMIT
no. date	REVISION
2842 Jacklin Road P (250) 885 5716 Victoria, B.C. V8B 3X9 F (778) 430 5716 vance@coredraft.com	
project title SINGLE FAMILY DWELLING LOT 4, DUNCAN PLACE LANGFORD, B.C.	
sheet title ELEVATIONS	
drawn by V. SMITH	scale 1/4"=1'-0"
project no. -	sheet no. A3
RECEIVED FEB 22 2010 BUILDING INSPECTION CITY OF LANGFORD	NOV 2009





1 BUILDING SECTION  
1/4"=1'-0"



3 RAIN-SCREEN WALL DETAILS  
N.T.S.

**NOTES AND SPECIFICATIONS**

BEFORE STARTING CONSTRUCTION, THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS. AT NO TIME SHALL THE CONTRACTOR OR TRADES, SCALE OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION.

ALL WORK SHALL CONFORM TO THE CURRENT BUILDING CODES ADOPTED BY AUTHORITIES HAVING JURISDICTION OR LOCAL BUILDING CODES AND BYLAWS WHICH MAY TAKE PRECEDENCE.

ALL WORK SHALL BE EQUAL IN ALL RESPECT TO GOOD BUILDING PRACTICE.

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.

USE 20MPA CONCRETE FOR FOUNDATIONS AND SLABS ON GRADE.

FLOOR JOISTS AND BEAMS TO BE DESIGNED BY OTHERS.

HEATING TO BE ELECTRIC BASE BOARD.

JOIST SHALL BE DOUBLED UNDER PARALLEL PARTITIONS OVER 6'-0" LONG.

ALL LINTELS TO BE 2-2x10 UNLESS NOTED.

PROVIDE SMOKE ALARMS & CO2 DETECTORS.

DOOR SIZES ARE WIDTH SHOWN BY 6'-8" HIGH UNLESS NOTED OTHERWISE.

ALL WINDOWS TO BE THERMO SEALED DOUBLE PANE.

ANY DEVIATIONS FROM THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

THE OWNER OF THE BUILDING SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THIS HOME ON THE PROPERTY.

DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR STUDS TO CENTER OF PARTITION WALLS UNLESS OTHERWISE NOTED. FACE OF EXTERIOR WALLS AND FOUNDATION WALLS TO BE FLUSH.

2010-01-18		ISSUED FOR PERMIT
no.	date	REVISION
2842 Jacklin Road P (250) 885 5716 Victoria, B.C. V9B 3X9 F (778) 430 5716 vance@coredraft.com		
project title		
SINGLE FAMILY DWELLING LOT 4, DUNCAN PLACE LANGFORD, B.C.		
sheet title		
BUILDING SECTIONS TYPICAL DETAIL		
by	scale	sheet no.
SMITH	1/4"=1'-0"	A4
project no.		

RECEIVED  
 FEB 22 2010  
 BUILDING INSPECTION  
 CITY OF LANGFORD

**B.C. Land Surveyor's Building Location Certificate**  
**Showing Location of Foundation Situated on**  
**Strata Lot 4, (PID 028 031 326), Sections 108**  
**and 109, Esquimalt District, Strata Plan VIS6842.**

Scale 1:250



**Legend:**  
 All distances are in metres and decimals  
 thereof unless otherwise indicated.  
 Dimensions are derived from Land Title Office records.

The following documents are registered on title and may affect the location of improvements.  
**Covenants:**  
 FB291698, FB291701, FB291717  
**Statutory Rights of Ways:**  
 FA141812, FA141813, FB63634  
**Easement:**  
 FB291731

**Michael J. McIlvaney**  
**Land Surveying Inc.**  
 #113 - 2244 Sooke Road  
 Victoria, B.C. V9B 1X1  
 (250) 474-5538

File: 4203BLC  
 Client: [REDACTED]

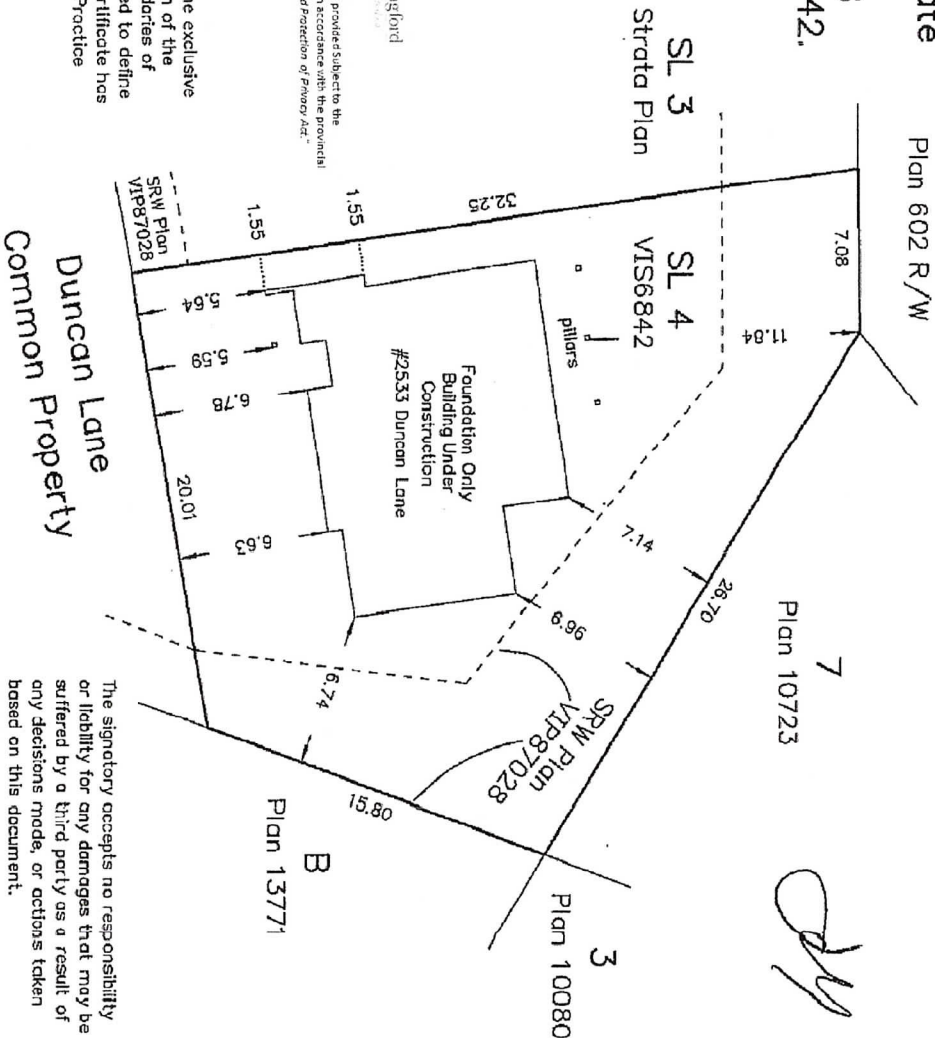
This plan was prepared for municipal purposes and is for the exclusive use of our client. This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners. This building location certificate has been prepared in accordance with the Manual of Standard Practice and is certified correct this 15th day of April 2010.

*Michael J. McIlvaney*

This document is not valid unless originally signed and sealed  
 COPYRIGHT © Michael J. McIlvaney B.C.L.S. 2010

B.C.L.S.

This information has been provided Subject to the  
 Federal Copyright Act and in accordance with the provincial  
 Freedom of Information and Protection of Privacy Act.



The City of Langford cannot guarantee the accuracy nor completeness of the information contained in this record, and accepts no liability for incorrect information.



Property Identification and Legal Description

**Address:** 2533 DUNCAN LANE VICTORIA BC V9B 3P2  
**Jurisdiction:** City of Langford **Assessment Area:** 1  
**Roll No:** 7378034  
**PID No:** 028-031-326 **MHR(s):**  
**Neighbourhood:** Langford East  
**Legal Unique ID:** D000005XQB  
**Legal Description:** Strata Lot 4, Plan VIS6842, Section 108&109, Esquimalt Land District, TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM V

2022 Municipal Taxes

Gross Taxes: \$4,245

2022 Assessed Values

Valuation	Land	Improvements	Total
<b>Value:</b>	\$424,000	\$618,000	\$1,042,000
<b>General</b>			
	Land	Improvements	Total
<b>Gross Value:</b>	\$424,000	\$618,000	\$1,042,000
<b>Exempt Value:</b>	\$0	\$0	\$0
<b>Net Value:</b>	\$424,000	\$618,000	\$1,042,000
<b>School</b>			
	Land	Improvements	Total
<b>Gross Value:</b>	\$424,000	\$618,000	\$1,042,000
<b>Exempt Value:</b>	\$0	\$0	\$0
<b>Net Value:</b>	\$424,000	\$618,000	\$1,042,000
<b>BC Transit</b>			
	Land	Improvements	Total
<b>Gross Value:</b>	\$424,000	\$618,000	\$1,042,000
<b>Exempt Value:</b>	\$0	\$0	\$0
<b>Net Value:</b>	\$424,000	\$618,000	\$1,042,000

Last Three Sales per BCA

Conveyance Date:	Price:	Document No.	Conveyance Type:
2021/01/15	\$830,000	CA8708729	Improved Single Property Transaction
2009/08/18	\$200,000	FB291724	Reject - Not Suitable for Sales Analysis

Other Property Information

**Lot SqFt:** 6,798 **Width:**  
**Lot Acres:** 0.16 **Depth:**  
**Tenure:** Crown-Granted **Actual Use:** Residential Dwelling with Suite  
**School District:** Sooke **Manual Class:** 2 STY SFD - After 1990 - Standard  
**Vacant Flag:** False **Reg District:** Capital  
**BC Transit Flag:** True **Reg Hosp Dist:** Capital  
**Farm No:** **Mgd Forest No:**

DB Last Modified: 2022/03/21

Rec Last Modified: 3/21/2022