

# STRATA PLAN OF LOT A, SECTION 11, RANGE 4 EAST, NORTH SAANICH DISTRICT, PLAN EPP76220

Sheet 1 of 8 Sheets

## STRATA PLAN EPS4584

BCGS 92B.064

0 2.5 5 10 15 20 25  
The intended plot size of this plan is 560mm in width by 432mm in height (C size) when plotted at a scale of 1:250.



### LEGEND

- Found Placed
- Standard Iron Post
- Lead Plug
- ⊙ Control Monument

All distances are in metres and decimals thereof

Integrated Survey Area No. 29, Sidney,  
NAD83 (CSRS) [3.0.0.BC.1.CRD]

Grid bearings are derived from observations between geodetic control monuments 79H0478 and 79H0535 and are referred to the central meridian of UTM Zone 10.

The UTM coordinates and estimated absolute positional accuracy achieved are derived from the MASCOT published coordinates and standard deviations for geodetic control monuments 79H0478 and 79H0535.

This plan shows horizontal ground level distances, unless otherwise specified. To compute grid distances, multiply ground level distances by the average combined factor of 0.9996130. The average combined factor has been determined based on control monuments 79H0478 and 79H0535.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

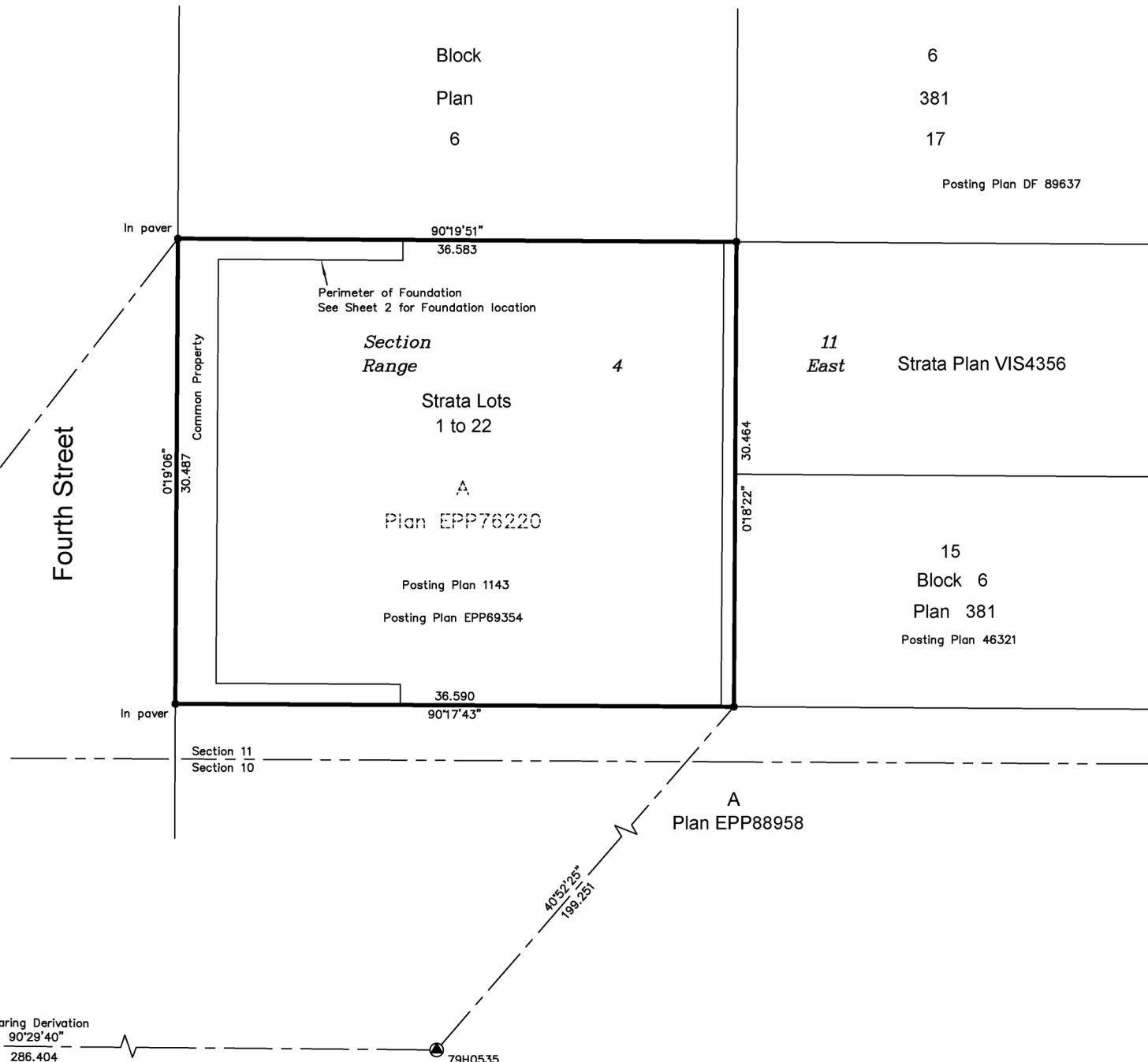
The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within the external boundaries of the land that is the subject of the strata plan.

- Pt. denotes Part
- SL denotes Strata Lot
- LCP denotes Limited Use Common Property
- C.P. denotes Common Property
- Vest. denotes Common Property Vestibule
- Elec. Cl. denotes Common Property Electrical Closet
- V. denotes Common Property Void

Civic Addresses: 9775 Fourth St. Sidney

- SL 1 Unit 103
- SL 2 Unit 102
- SL 3 Unit 101
- SL 4 Unit 203
- SL 5 Unit 202
- SL 6 Unit 201
- SL 7 Unit 306
- SL 8 Unit 305
- SL 9 Unit 304
- SL 10 Unit 303
- SL 11 Unit 302
- SL 12 Unit 301
- SL 13 Unit 406
- SL 14 Unit 405
- SL 15 Unit 404
- SL 16 Unit 403
- SL 17 Unit 402
- SL 18 Unit 401
- SL 19 Unit 504
- SL 20 Unit 503
- SL 21 Unit 502
- SL 22 Unit 501



Datum: NAD83(CSRS) 3.0.0.BC.1.CRD  
 Projection: UTM Zone10N  
 UTM Northing: 5388270.222  
 UTM Easting: 470236.968  
 Point Combined Factor: 0.9996131  
 Absolute Positional Accuracy: 0.008

Datum: NAD83(CSRS) 3.0.0.BC.1.CRD  
 Projection: UTM Zone10N  
 UTM Northing: 5388267.752  
 UTM Easting: 470523.251  
 Point Combined Factor: 0.9996129  
 Absolute Positional Accuracy: 0.008

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This plan lies within The Town of Sidney and the Capital Regional District

The field survey represented by this plan was completed on the 12th day of November, 2019.  
Ryan P. Hourston, BCLS 887

# FOUNDATION

Sheet 2 of 8 Sheets

## STRATA PLAN EPS4584

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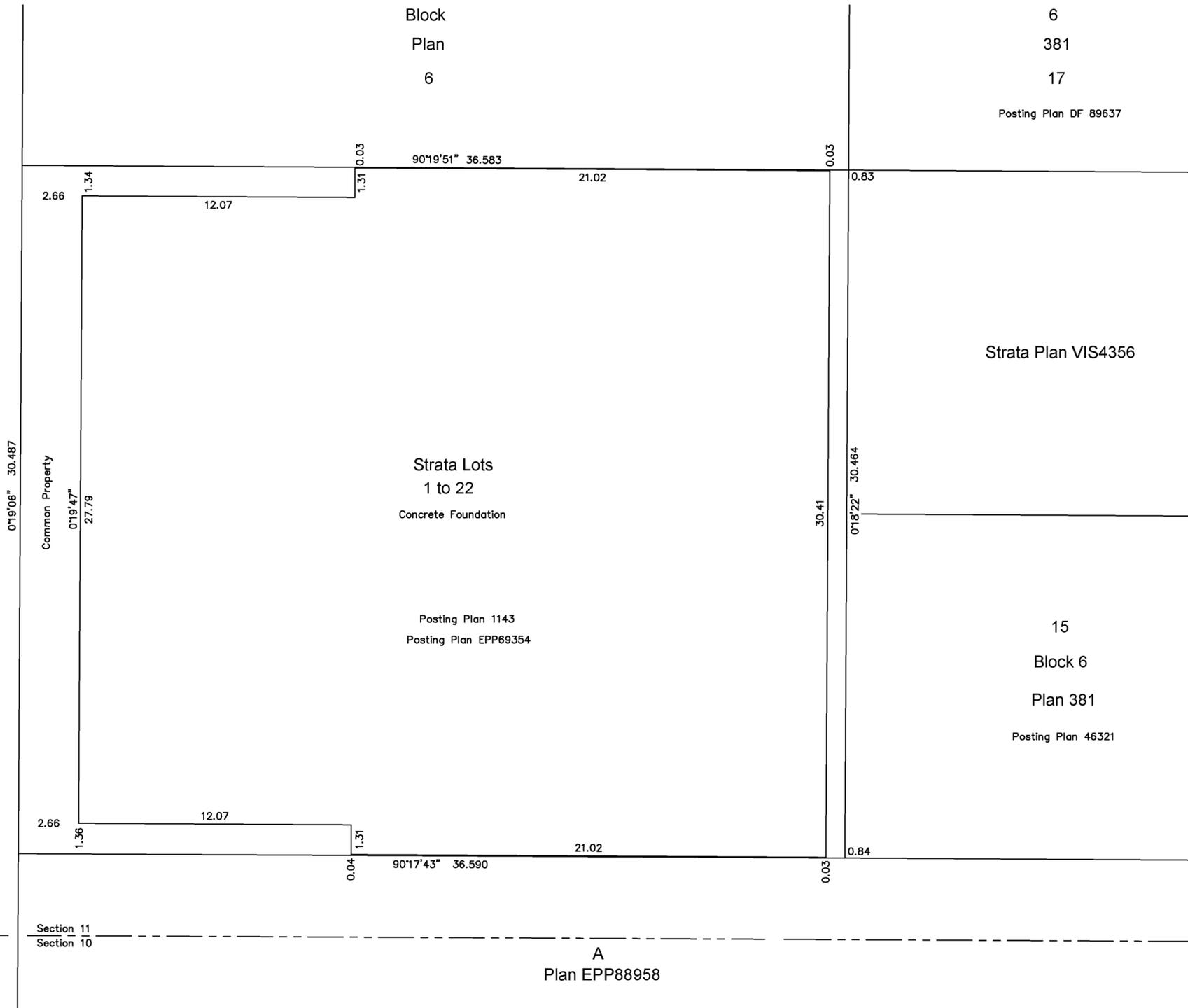


Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

Offsets shown are to the exterior face of concrete foundation.

This sheet shows dimensions to exterior face of concrete foundation walls.

Fourth Street



Block  
Plan  
6

6  
381  
17

Posting Plan DF 89637

90°19'51" 36.583

0.03

21.02

0.83

2.66

1.34

12.07

1.31

0.03

Strata Lots  
1 to 22  
Concrete Foundation

Posting Plan 1143  
Posting Plan EPP69354

Strata Plan VIS4356

30.41

0°18'22" 30.464

15  
Block 6  
Plan 381

Posting Plan 46321

2.66

1.36

12.07

1.31

0.04

90°17'43" 36.590

21.02

0.03

0.84

Section 11  
Section 10

A  
Plan EPP88958

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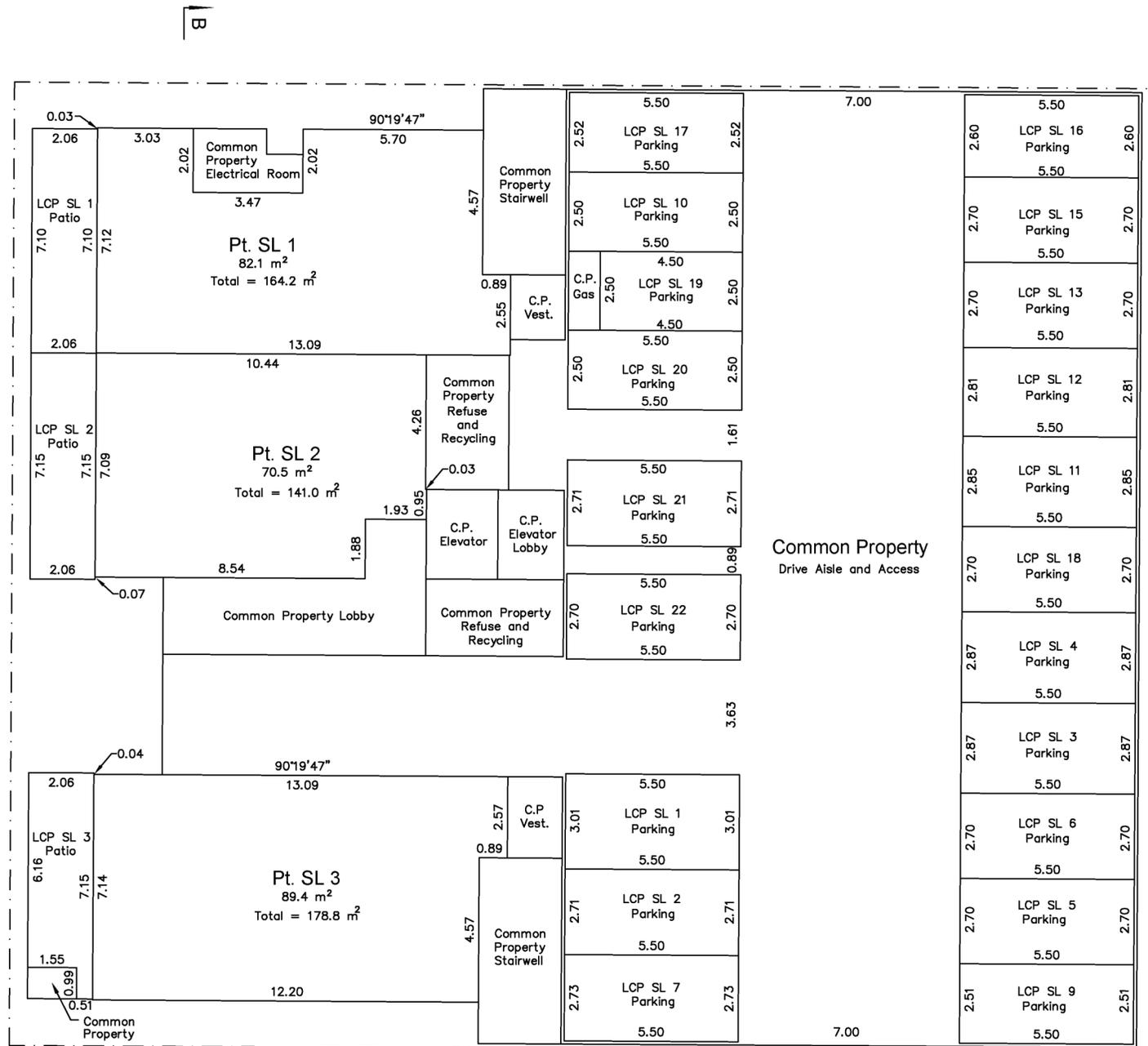
November 12th, 2019  
 Ryan P. Hourston, BCLS 887

# FIRST FLOOR PART OF STRATA LOTS 1 TO 3

Sheet 3 of 8 Sheets

## STRATA PLAN EPS4584

0 1.25 2.5 5 7.5 10 12.5  
The intended plot size of this plan is 560mm in width by 432mm in height (C size) when plotted at a scale of 1:125.



Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

Strata lot dimensions and areas are measured to the centerline of walls.

The height of the strata unit is defined by the centerline of the floor above or its extensions; or in the case of the top floor, the height is defined by the centerline of the ceiling or its extensions.

Patios and balconies are defined as to height, by the centerline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Parking stalls are measured to the interior face of foundation walls where applicable.

Parking stalls are defined as to height by the underside of the ceiling above.

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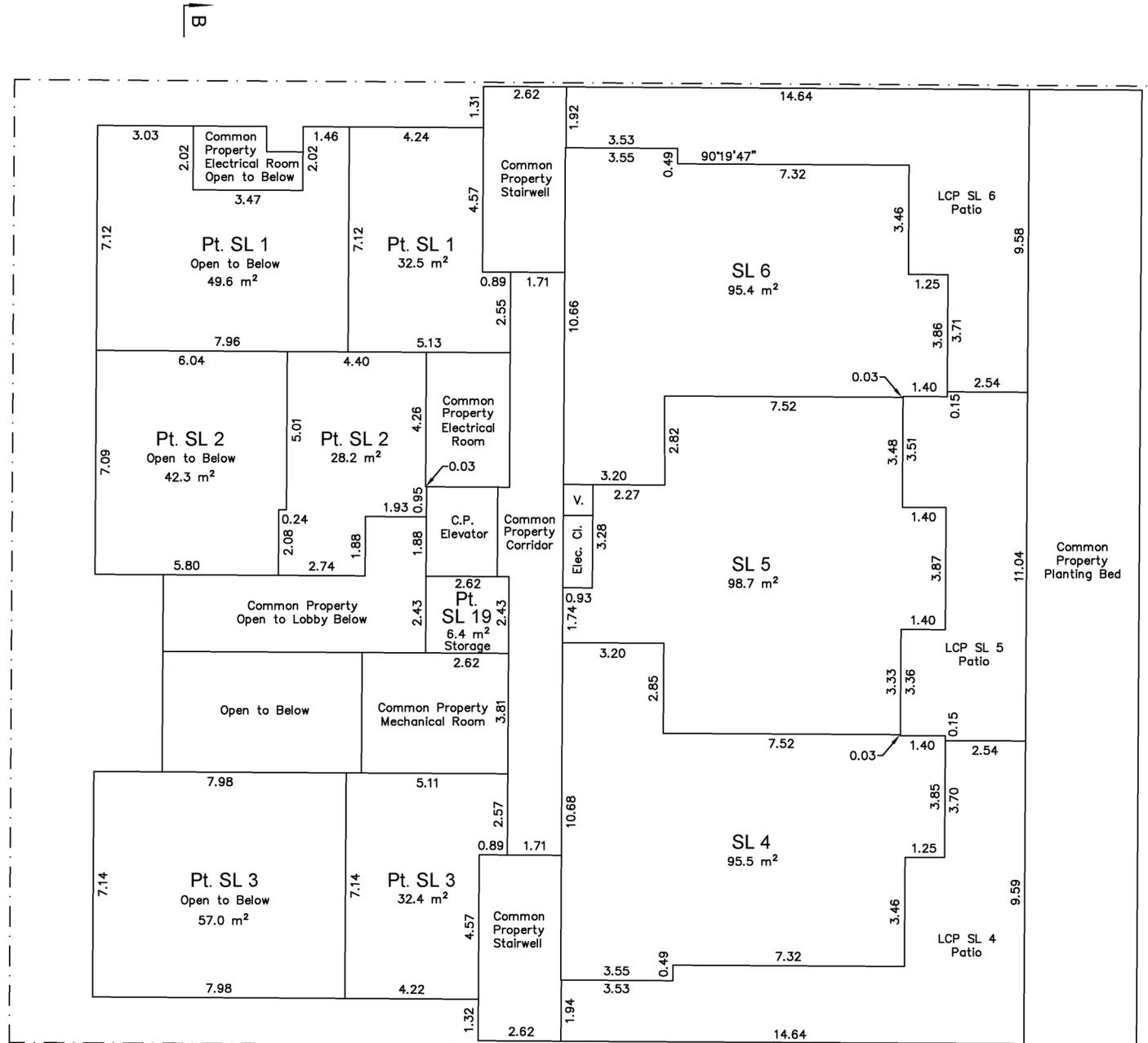
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# SECOND FLOOR PART OF STRATA LOTS 1 TO 3, AND 19 AND STRATA LOTS 4 TO 6

Sheet 4 of 8 Sheets

## STRATA PLAN EPS4584

0 1.25 2.5 5 7.5 10 12.5  
The intended plot size of this plan is 560mm in width by 432mm in height (C size) when plotted at a scale of 1:125.



Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

Strata lot dimensions and areas are measured to the centerline of walls.

The height of the strata unit is defined by the centerline of the floor above or its extensions; or in the case of the top floor, the height is defined by the centerline of the ceiling or its extensions.

Patios and balconies are defined as to height, by the centerline of the floor above, or where there is no floor above, by the average height of the strata lot within.

--- Denotes limit of floor below

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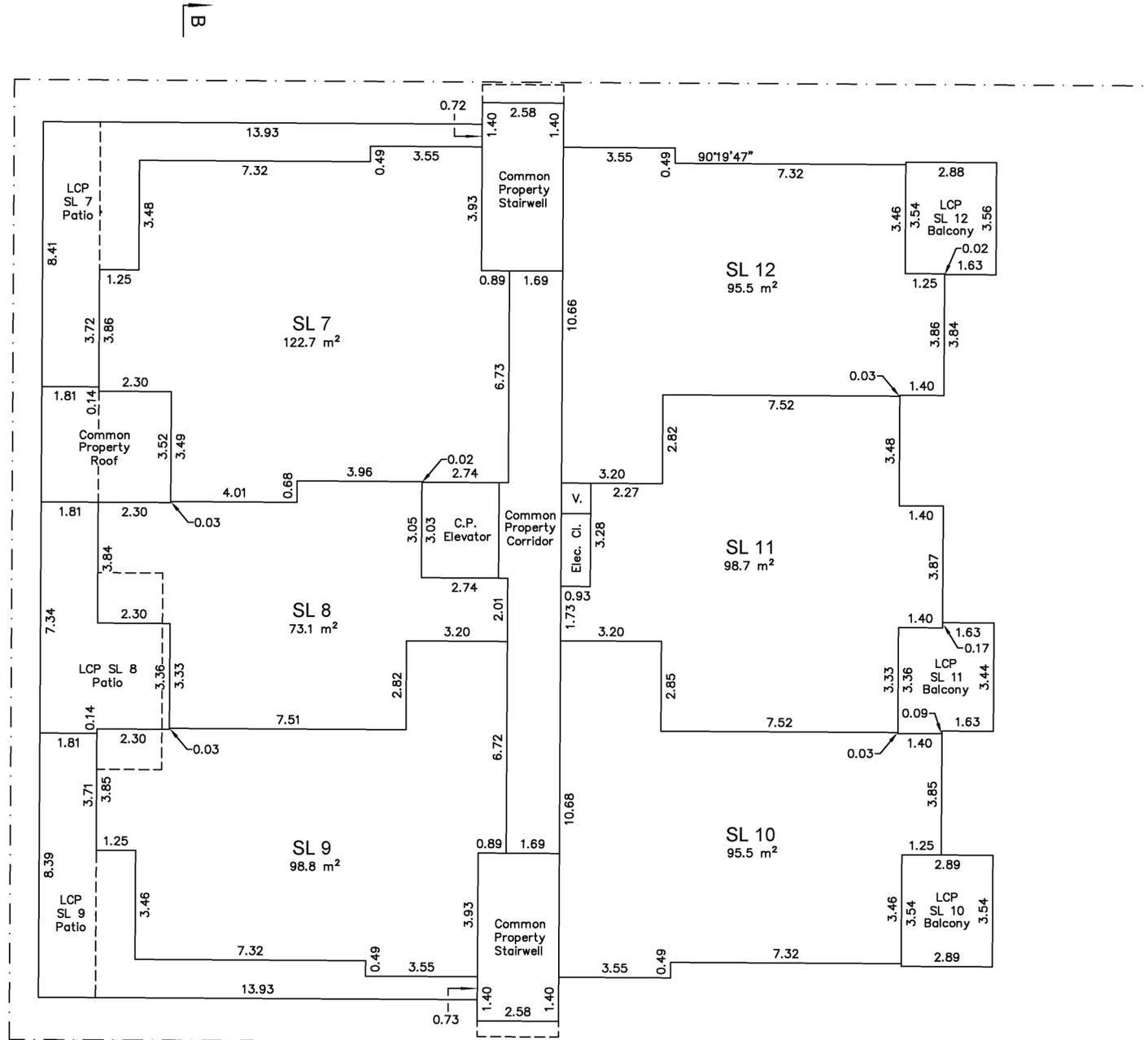
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# THIRD FLOOR STRATA LOTS 7 TO 12

Sheet 5 of 8 Sheets

## STRATA PLAN EPS4584

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 The intended plot size of this plan is 560mm in width by 432mm in height (C size) when plotted at a scale of 1:125.



Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

Strata lot dimensions and areas are measured to the centerline of walls.

The height of the strata unit is defined by the centerline of the floor above or its extensions; or in the case of the top floor, the height is defined by the centerline of the ceiling or its extensions.

Patios and balconies are defined as to height, by the centerline of the floor above, or where there is no floor above, by the average height of the strata lot within.

--- Denotes limit of floor below

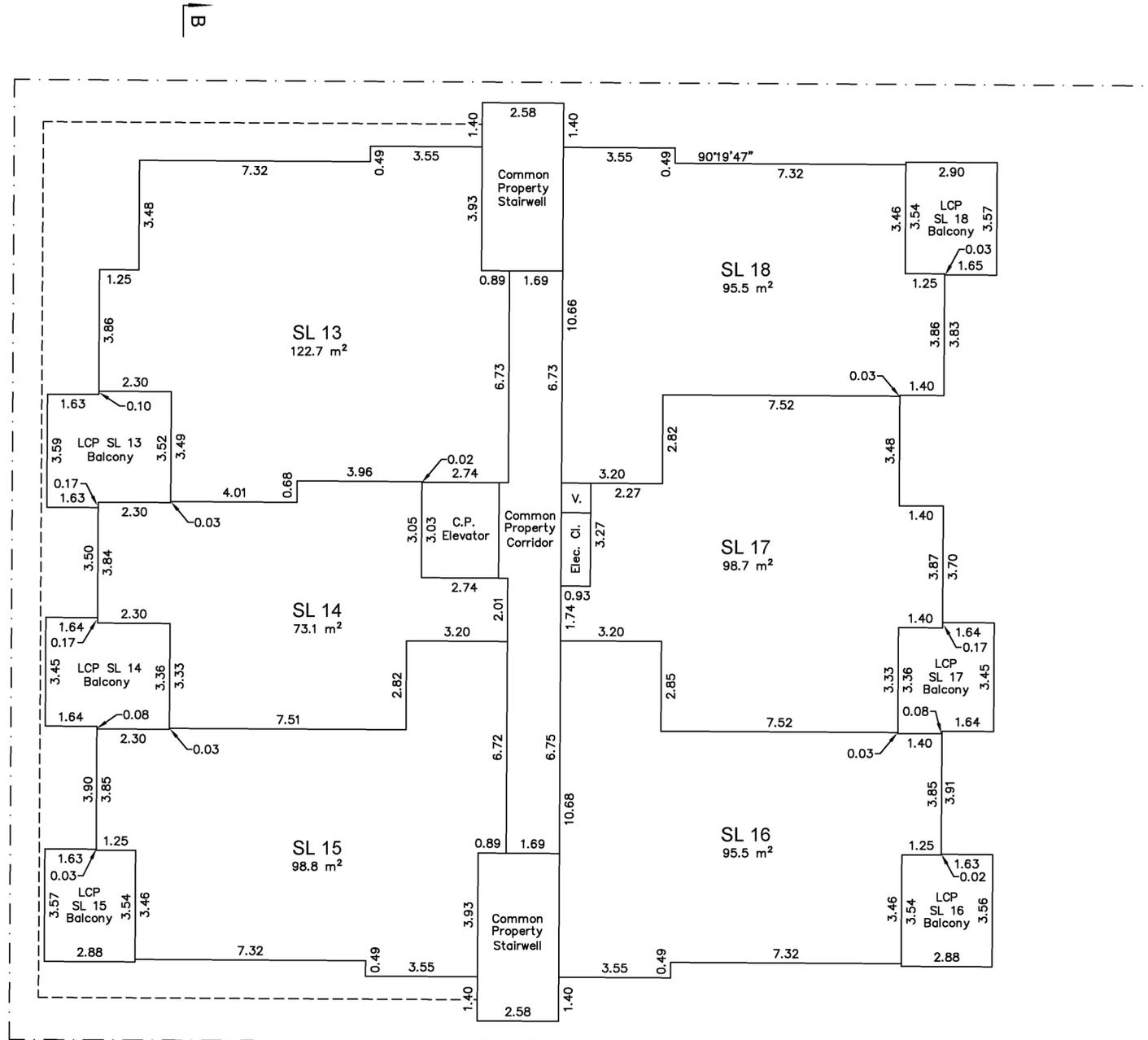
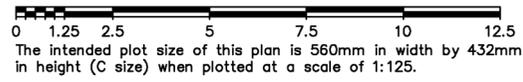
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# FOURTH FLOOR STRATA LOTS 13 TO 18

Sheet 6 of 8 Sheets

## STRATA PLAN EPS4584



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Patios and balconies are defined as to height, by the centerline of the floor above, or where there is no floor above, by the average height of the strata lot within.

--- Denotes limit of floor below

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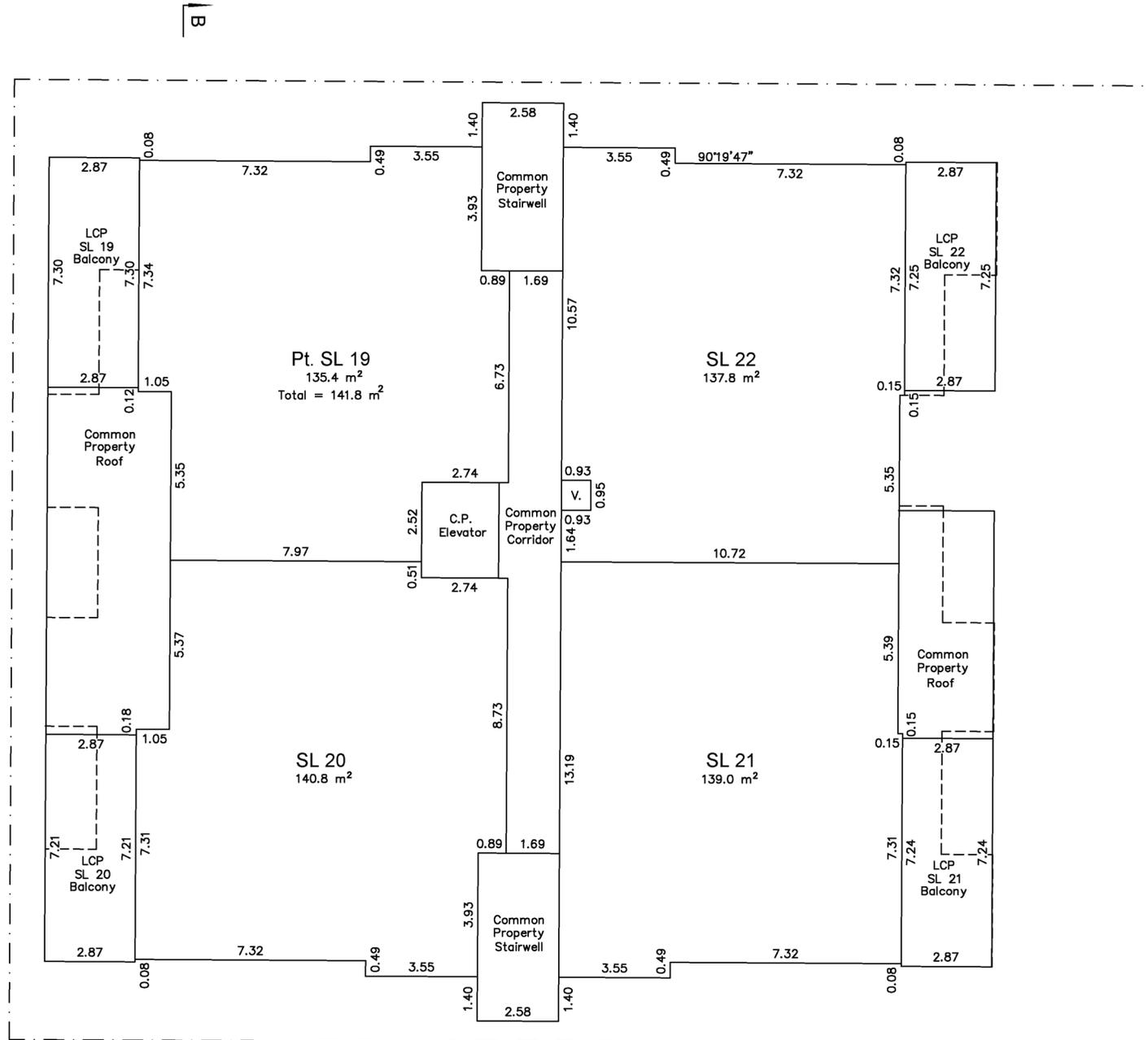
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# FIFTH FLOOR PART OF STRATA LOT 19 AND STRATA LOTS 20 TO 22

Sheet 7 of 8 Sheets

## STRATA PLAN EPS4584

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Strata lot dimensions and areas are measured to the centerline of walls.

The height of the strata unit is defined by the centerline of the floor above or its extensions; or in the case of the top floor, the height is defined by the centerline of the ceiling or its extensions.

Patios and balconies are defined as to height, by the centerline of the floor above, or where there is no floor above, by the average height of the strata lot within.

--- Denotes limit of floor below

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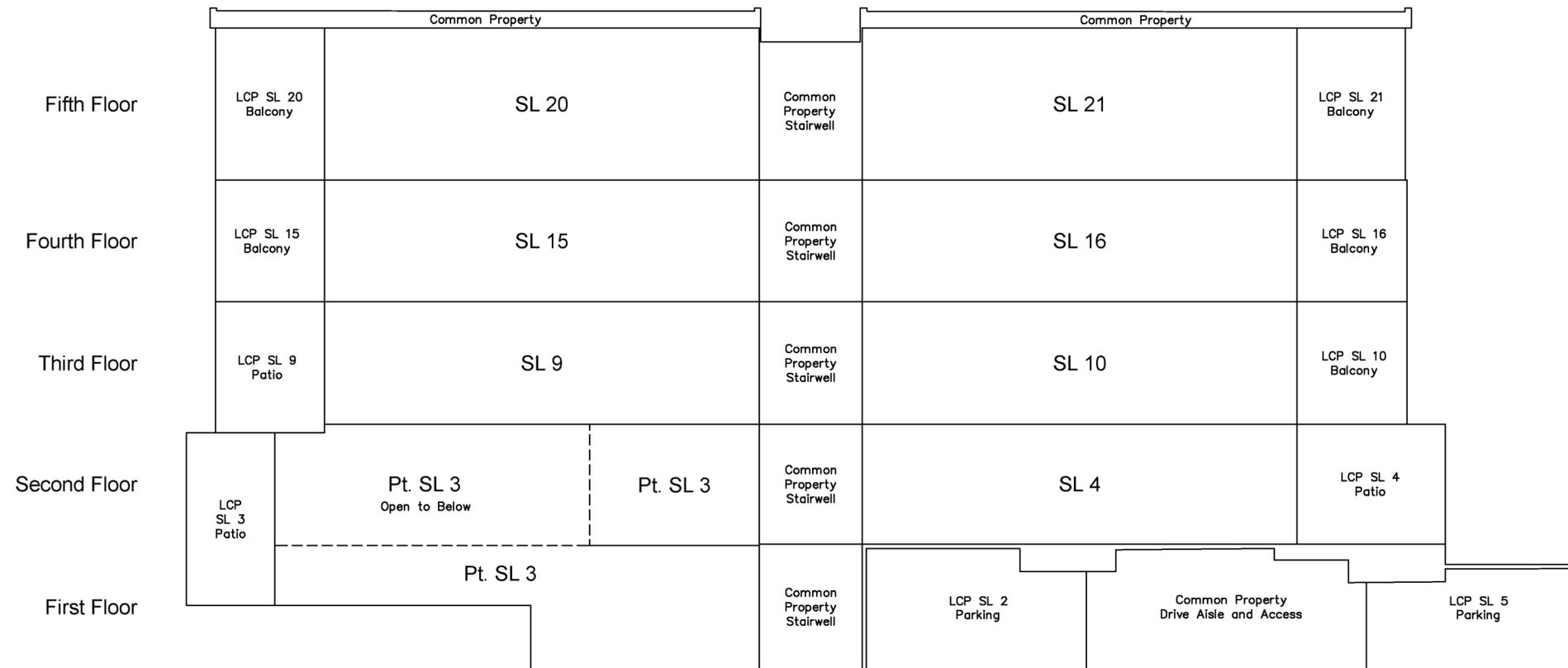
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CROSS SECTIONS

Sheet 8 of 8 Sheets

STRATA PLAN EPS4584

Section A-A'



Section B-B'

