

VICTORIA LAND TITLE OFFICE

Mar-11-2014 14:07:12.003

EPS1360

PAGE 1 OF 5 PAGES

SURVEY PLAN CERTIFICATION
PROVINCE OF BRITISH COLUMBIA

0827

By incorporating your electronic signature into this form you are also incorporating your electronic signature into the attached plan and you

(a) represent that you are a subscriber and that you have incorporated your electronic signature to the attached electronic plan in accordance with section 168.73 (3) of the Land Title Act, RSBC 1996 c.250; and

(b) certify the matters set out in section 168.73 (4) of the Land Title Act, Each term used in this representation and certification is to be given the meaning ascribed to it in part 10.1 of the Land Title Act.

Colin Grover
BKWW71

c=CA, cn=Colin Grover
BKWW71, o=BC Land
Surveyor, ou=Verify ID at
www.juricert.com/
LKUP.cfm?id=BKWW71

1. BC LAND SURVEYOR: (Name, address, phone number)

Colin W. Grover

J.E. Anderson & Associates

4212 Glanford Avenue

Victoria

BC V8Z 4B7

Phone: (250) 727-2214

Email: cgrover@jeanderson.com

Surveyor General Certification [For Surveyor General Use Only]

2. PLAN IDENTIFICATION:

Plan Number: EPS1360

Control Number: 139-024-9036

This original plan number assignment was done under Commission #: 827

LTO Document Reference: CA3626571

3. CERTIFICATION:

Form 9 Explanatory Plan Form 9A

I am a British Columbia land surveyor and certify that I was present at and personally superintended this survey and that the survey and plan are correct.

The field survey was completed on: 2013 December 19 (YYYY/Month/DD) The checklist was filed under ECR#:

The plan was completed and checked on: 2014 January 20 (YYYY/Month/DD) 157295

I am a British Columbia land surveyor and certify that the buildings included in this strata plan have not been previously occupied as of 2014 January 20 (YYYY/Month/DD) None Strata Form S

None Strata Form U1 Strata Form U1/U2

I am a British Columbia land surveyor and certify that the buildings shown on this strata plan are within the external boundaries of the land that is the subject of the strata plan

Certification Date: 2014 January 20 (YYYY/Month/DD)

Arterial Highway

4. ALTERATION:

This document was obtained from the StrataDocs System. Its use is subject to agreed upon terms and disclaimers.

Supplied to StrataDocs 2021/08/10
Ordered by Troy Petersen 2022/04/20

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

Uploaded: Aug 10, 2021 Verified: Aug 10, 2021

BASEMENT FLOOR – Part of Strata Lots 1 and 2

PHASE ONE STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.

LEGEND

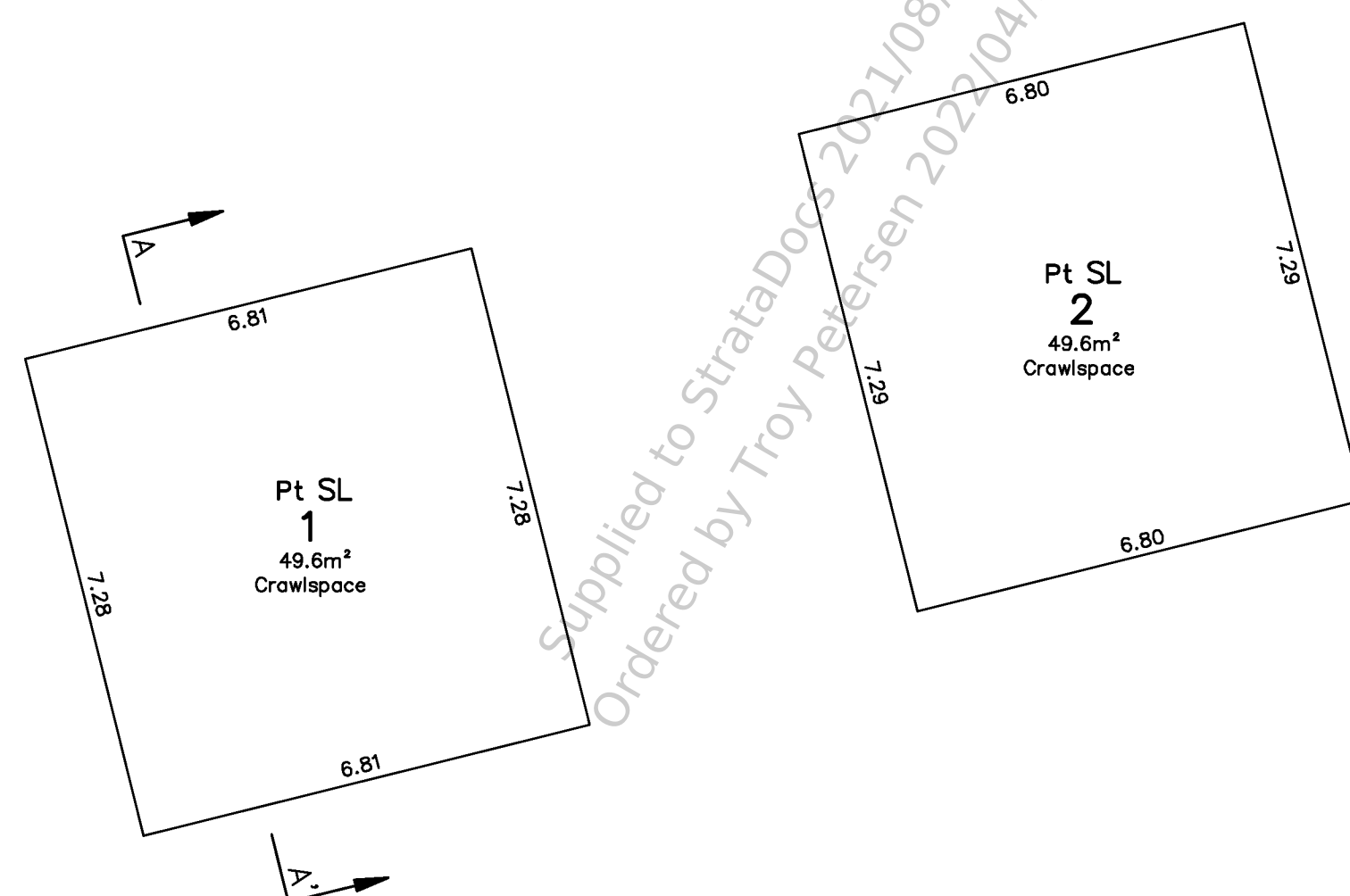
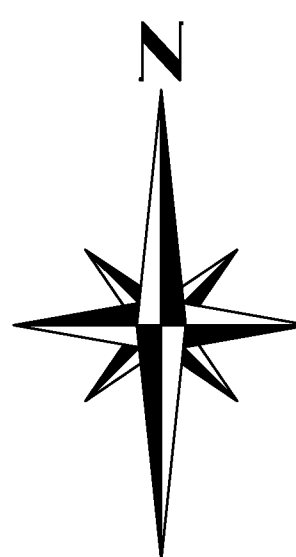
Pt --- Denotes Part

All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



Uploaded: Aug 10, 2021, Verified: Aug 10, 2021

J.E. ANDERSON & ASSOCIATES
B.C. Land Surveyors – Consulting Engineers
Victoria, Nanaimo and Parksville, B.C.
Phone: 250-727-2214 Web: www.jeanderson.com
File: 24703-2

Server: Common\Colin\24963_PORT_RENFREW\24963LDDPRJ\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS B27, December 19, 2013.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE ONE STRATA PLAN EPS1360

CROSS SECTIONS



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
Pt --- Denotes Part

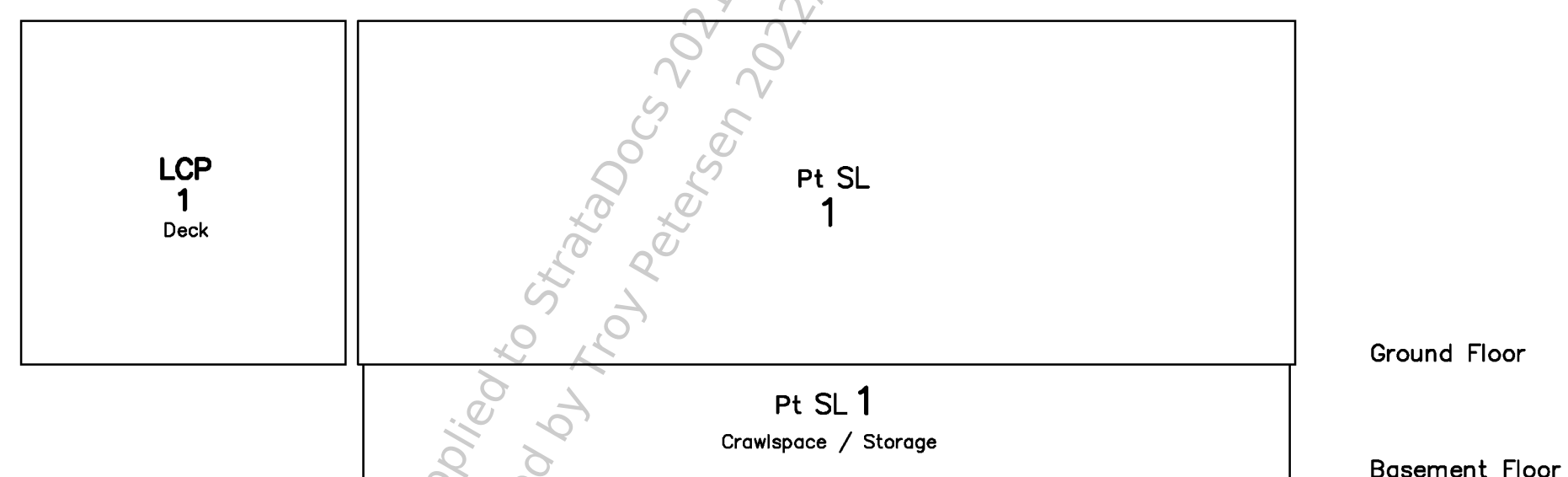
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to the exterior face of walls.

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Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Section A - A' Typical Cross Section for Strata Lots 1 and 2



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Server: Common\Colin\24963_PORT_RENFREW\24963LDDPRJ\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS B27, December 19, 2013.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASED STRATA PLAN OF LOT B, DISTRICT LOT 17, RENFREW DISTRICT, PLAN VIP88597

PHASE TWO STRATA PLAN EPS1360

BCGS 92C.058



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 400.

LEGEND

- --- Denotes Standard Iron Post Found
- ▲ --- Denotes GNSS Traverse Hub Found

All distances shown are in metres.

Grid bearings are derived from differential carrier phase GNSS observations and are referred to the central meridian of UTM Zone 10. To obtain local astronomic bearings referred to the meridian through the South West corner of Plan 347-R subtract 1° 03' 42".

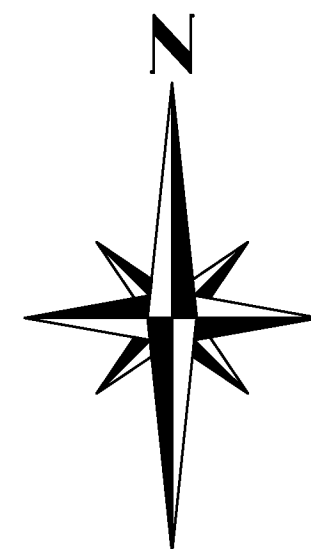
The UTM coordinates and estimated horizontal positional accuracy achieved are derived from GNSS dual frequency baseline ties to geodetic control monument 877025.

This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.99972912457. The average combined factor has been determined based on an average ellipsoidal elevation of 24.19 metres.

The offsets shown are to the exterior face of concrete foundations.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

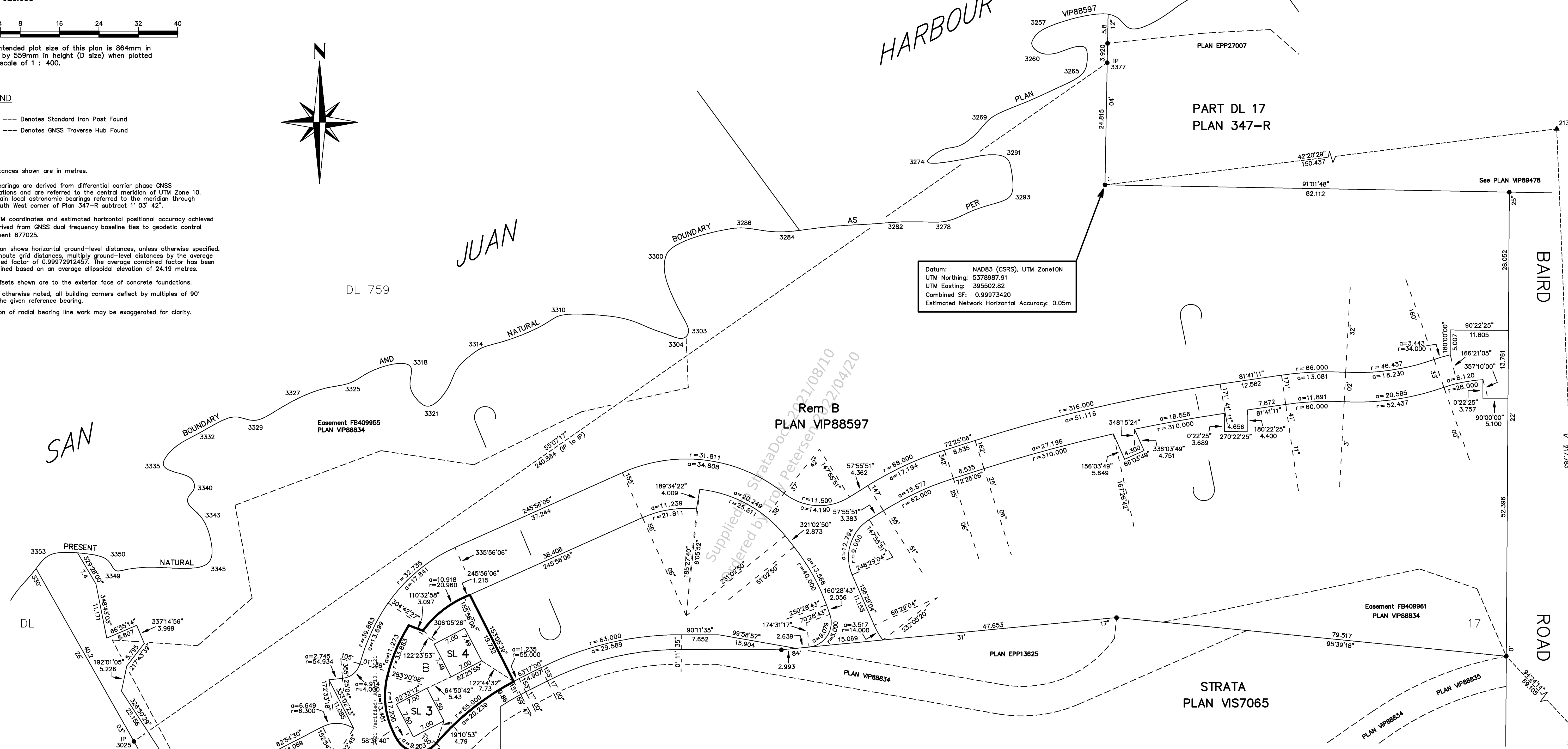
Direction of radial bearing line work may be exaggerated for clarity.



HARBOUR

JUAN

SAN



Datum: NAD83 (CSRS), UTM Zone10N
 UTM Northing: 5378987.91
 UTM Easting: 395502.82
 Combined SF: 0.99973420
 Estimated Network Horizontal Accuracy: 0.05m

TRAVERSE TABLE OF PRESENT NATURAL BOUNDARY TIES AND TITLE BOUNDARY AS PER PLAN VIP88597

POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE
3377 to 3257	299°06'	15.13	3377 to 3286	245°44'	81.09	3025 to 3326	28°28'	81.88
3377 to 3259	283°00'	16.07	3377 to 3288	247°11'	91.36	3025 to 3327	25°35'	77.39
3377 to 3260	277°04'	13.97	3377 to 3300	246°22'	98.15	3025 to 3329	20°56'	68.96
3377 to 3261	278°17'	10.92	3377 to 3301	244°16'	100.10	3025 to 3330	17°45'	68.48
3377 to 3263	311°14'	5.40	3377 to 3303	237°08'	100.43	3025 to 3332	11°58'	63.84
3377 to 3265	238°51'	4.89	3377 to 3304	236°42'	103.01	3025 to 3334	6°59'	59.32
3377 to 3267	243°31'	17.05	3025 to 3306	51°33'	134.35	3025 to 3335	5°10'	55.93
3377 to 3269	244°31'	26.91	3025 to 3308	47°44'	128.60	3025 to 3339	12°32'	55.02
3377 to 3271	240°01'	34.61	3025 to 3310	44°52'	122.15	3025 to 3340	13°55'	52.67
3377 to 3272	242°21'	37.13	3025 to 3312	44°10'	115.97	3025 to 3341	12°11'	50.82
3377 to 3274	241°26'	42.16	3025 to 3313	42°48'	110.45	3025 to 3342	12°45'	49.04
3377 to 3275	239°49'	41.10	3025 to 3314	41°31'	107.10	3025 to 3343	17°15'	47.77
3377 to 3290	232°38'	30.42	3377 to 3319	40°40'	99.85	3025 to 3345	24°31'	38.76
3377 to 3291	226°42'	27.52	3025 to 3320	41°48'	96.62	3025 to 3347	4°55'	35.66
3377 to 3293	214°40'	32.93	3025 to 3321	41°56'	90.16	3025 to 3349	35°08'	34.37
3377 to 3295	222°11'	40.02	3025 to 3317	37°30'	91.00	3025 to 3350	35°28'	37.62
3377 to 3278	225°50'	46.72	3025 to 3318	36°48'	95.44	3025 to 3352	33°38'	41.08
3377 to 3280	233°03'	53.77	3025 to 3323	34°45'	93.79	3025 to 3353	33°47'	41.93
3377 to 3282	238°24'	62.99	3025 to 3324	32°13'	88.66			
3377 to 3284	242°06'	73.68	3025 to 3325	31°25'	84.76			

Civic Address:
 Strata Lot 3 is at 39-6596 Baird Road,
 Strata Lot 4 is at 40-6596 Baird Road,
 Port Renfrew, B.C.

This plan lies within the Capital Assessment Area.
 This plan lies within the Capital Regional District.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within the external boundaries of the land that is the subject of the strata plan.

The field survey represented by this plan was completed on the 12th day of March, 2014.
 Colin W. Grover, BCLS 827

J.E. ANDERSON & ASSOCIATES
 B.C. Land Surveyors - Consulting Engineers
 Victoria, Nanaimo and Parksville, B.C.
 Phone: 250-727-2214 Web: www.jeanderson.com
 File: 24703-2

Server:\Common\Coin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
 Layout: Strata_Campground

This plan is Phase Two of a Twenty One phase strata plan under section 224 of the Strata Property Act lying within the jurisdiction of the Approving Officer for the Ministry of Transportation and Infrastructure.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

BASEMENT FLOOR – Part of Strata Lots 3 and 4

Sheet 2 of 4 Sheets
PHASE TWO
STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.

LEGEND

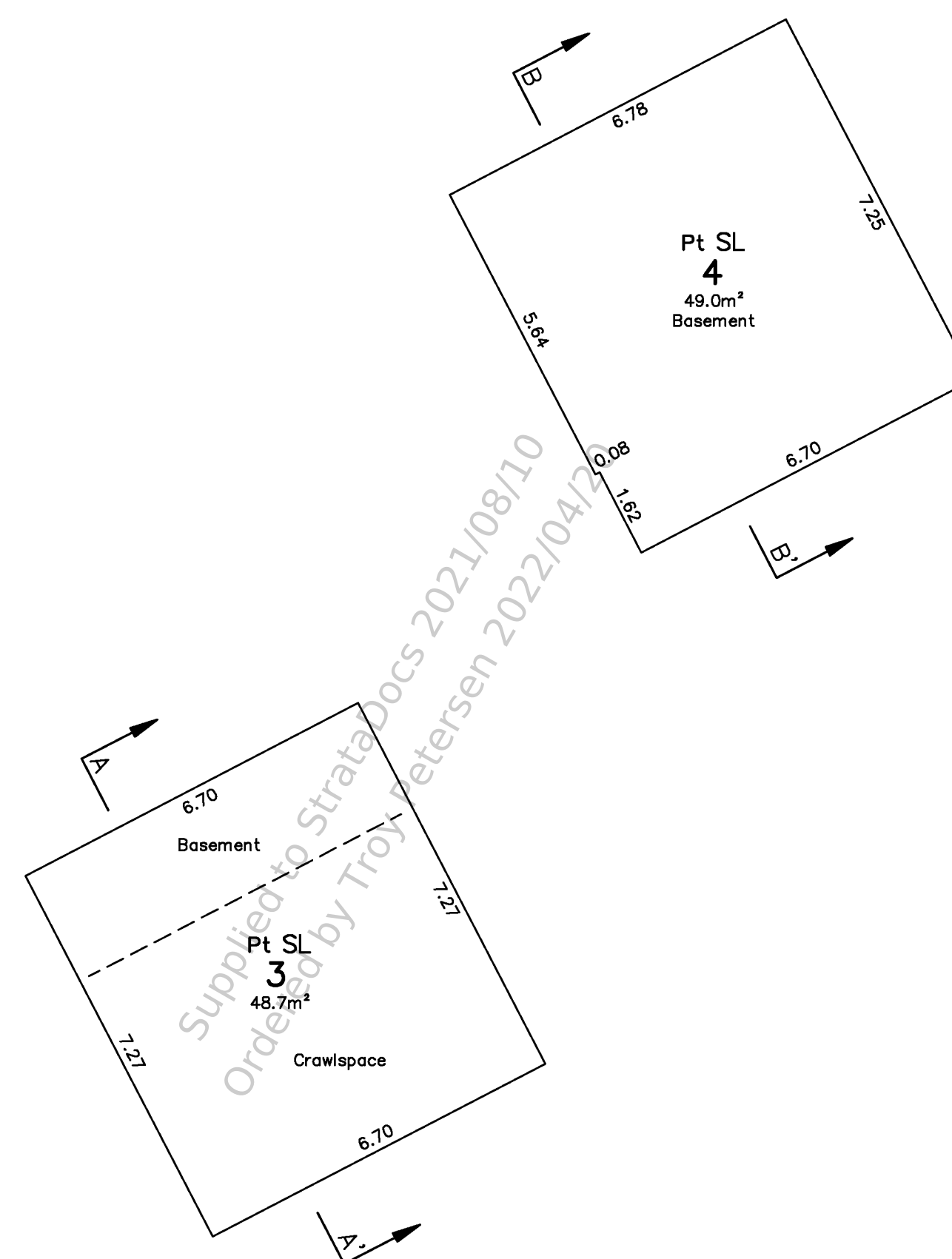
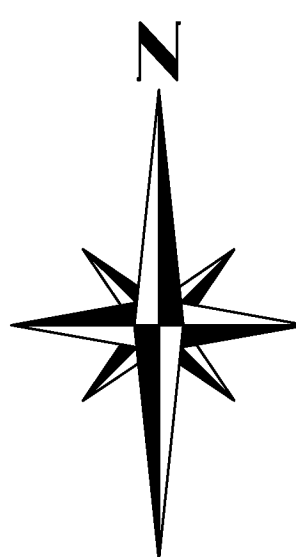
Pt --- Denotes Part

All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



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File: 24703-2

Server: Common\Colin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, March 12, 2014.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

EXPLANATORY PLAN AMENDING STRATA PLAN EPS1360 TO REMOVE AND DESIGNATE LIMITED COMMON PROPERTY FOR THE BENEFIT OF STRATA LOT 4, DISTRICT LOT 17, RENFREW DISTRICT, STRATA PLAN EPS1360

PHASE TWO STRATA PLAN EPS1360

PURSUANT TO SECTION 257, STRATA PROPERTY ACT

BCGS 92C.058

GROUND FLOOR (TOP) – Part of Strata Lots 3 and 4



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 150.

LEGEND

- CP --- Denotes Common Property
- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

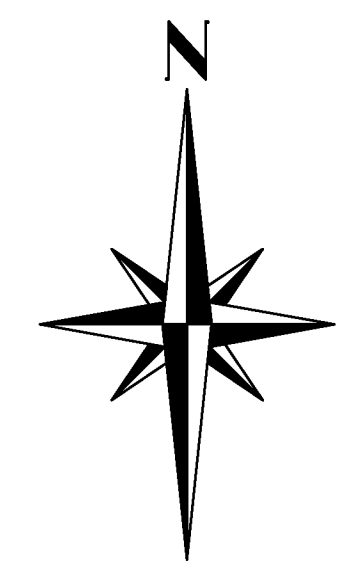
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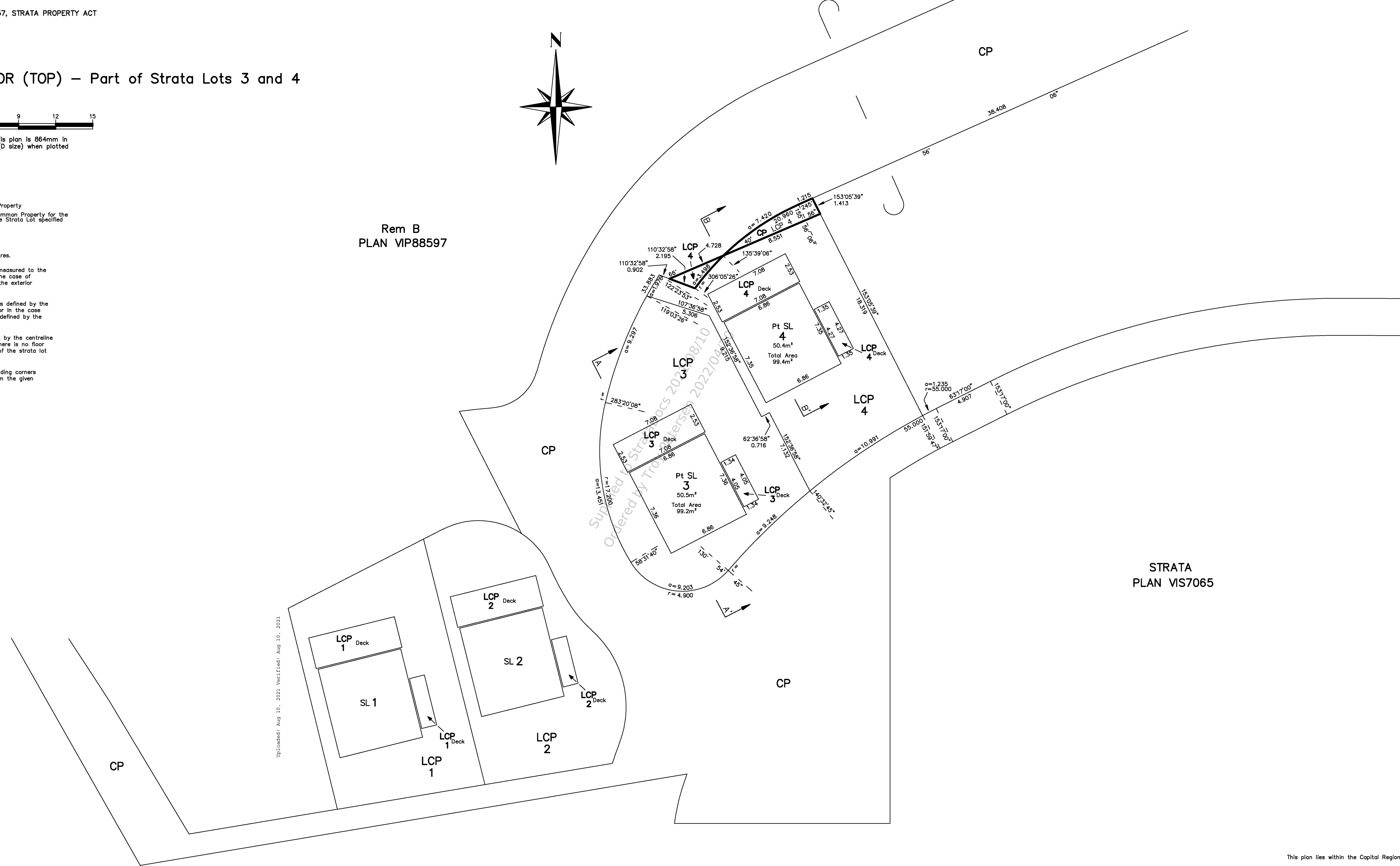
Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Unless otherwise noted, all building corners deflect by multiples of 90° from the given reference bearing.



Rem B
PLAN VIP88597

Uploaded: Aug 10, 2021 Verified: Aug 10, 2021



STRATA
PLAN VIS7065

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 B.C. Land Surveyors – Consulting Engineers
 Victoria, Nanaimo and Parksville, B.C.
 Phone: 250-727-2214 Web: www.jeanderson.com
 File: 24703-2

This plan lies within the Capital Regional District.
 This plan is based on the following Land Title and Survey Authority of BC records:
 Plan EPS1360
 Colin W. Grover, BCLS 827
 2nd day of April, 2014

Server:\Common\Colin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
 Layout: StrataB_Campground

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE TWO STRATA PLAN EPS1360

CROSS SECTIONS



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
Pt --- Denotes Part

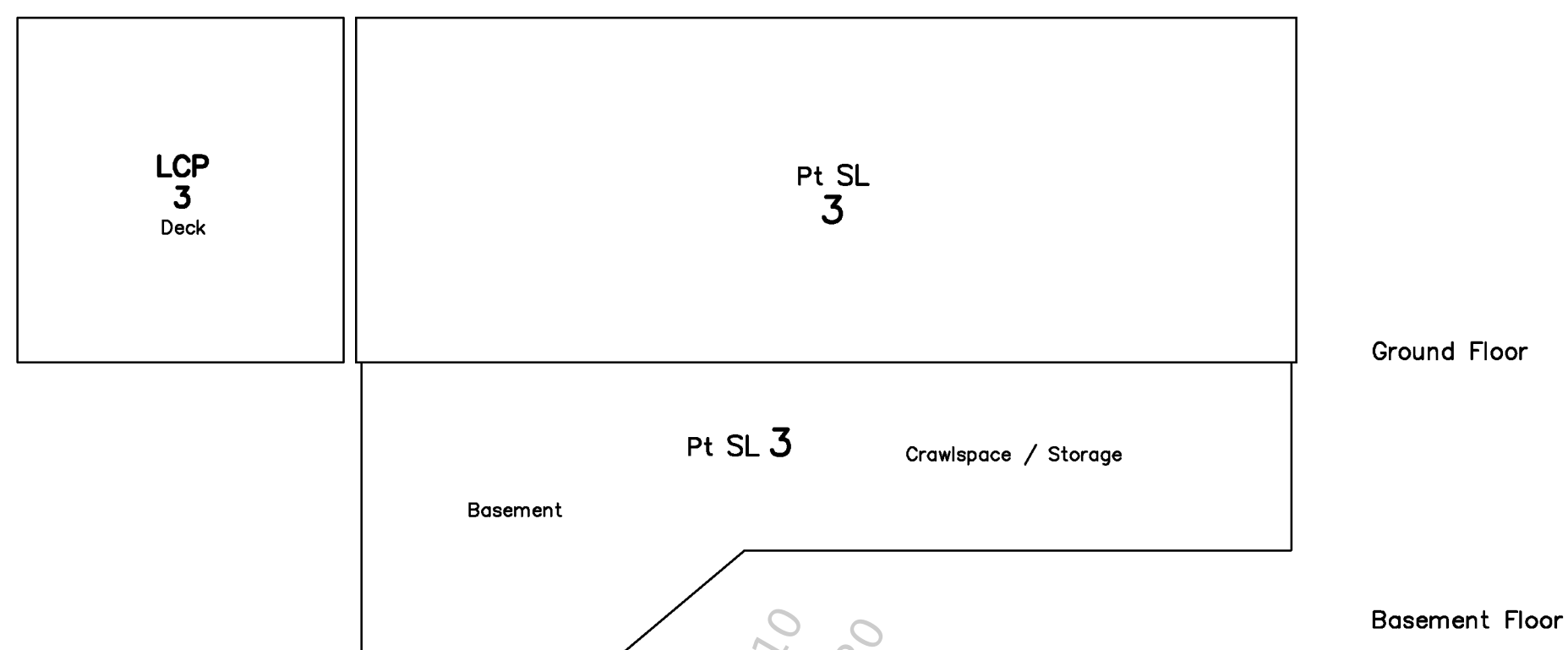
All distances shown are in metres.

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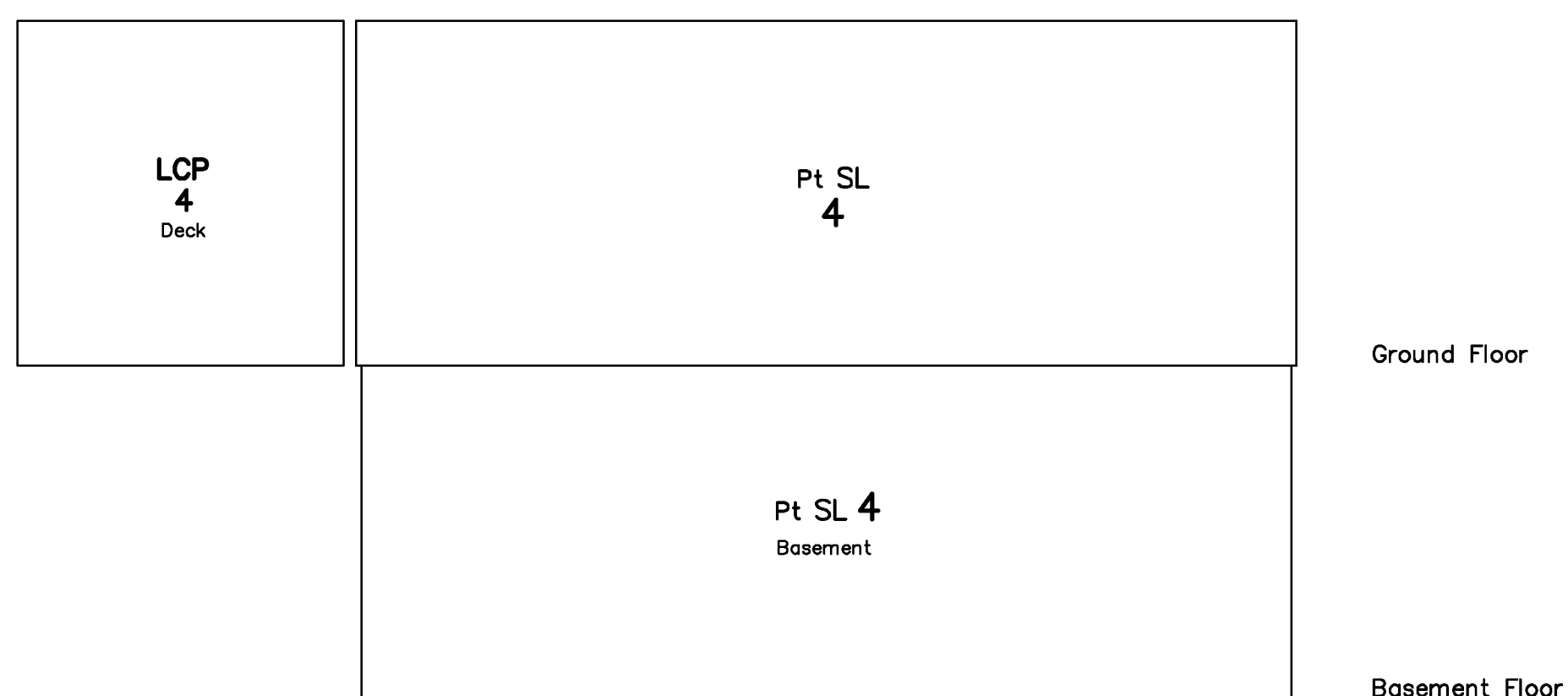
Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Section A - A'



Supplied to StrataDocs 2021/08/10
Ordered by Troy Petersen 2022/04/20

Section B - B'



Uploaded: Aug 10, 2021 Verified: Aug 10, 2021

PHASED STRATA PLAN OF LOT B, DISTRICT LOT 17, RENFREW DISTRICT, PLAN VIP88597

PHASE THREE STRATA PLAN EPS1360

BCGS 92C.058



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 400.

LEGEND

- Denotes Standard Iron Post Found
Denotes GNSS Traverse Hub Found

All distances shown are in metres.

Grid bearings are derived from differential carrier phase GNSS observations and are referred to the central meridian of UTM Zone 10.

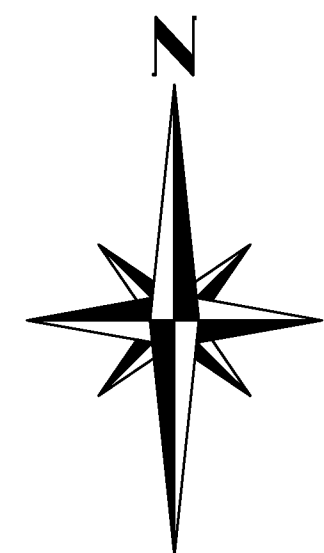
The UTM coordinates and estimated horizontal positional accuracy achieved are derived from GNSS dual frequency baseline ties to geodetic control monument 877025.

This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.99972912457.

The offsets shown are to the exterior face of concrete foundations.

Unless otherwise noted, all building corners deflect by multiples of 90° from the given reference bearing.

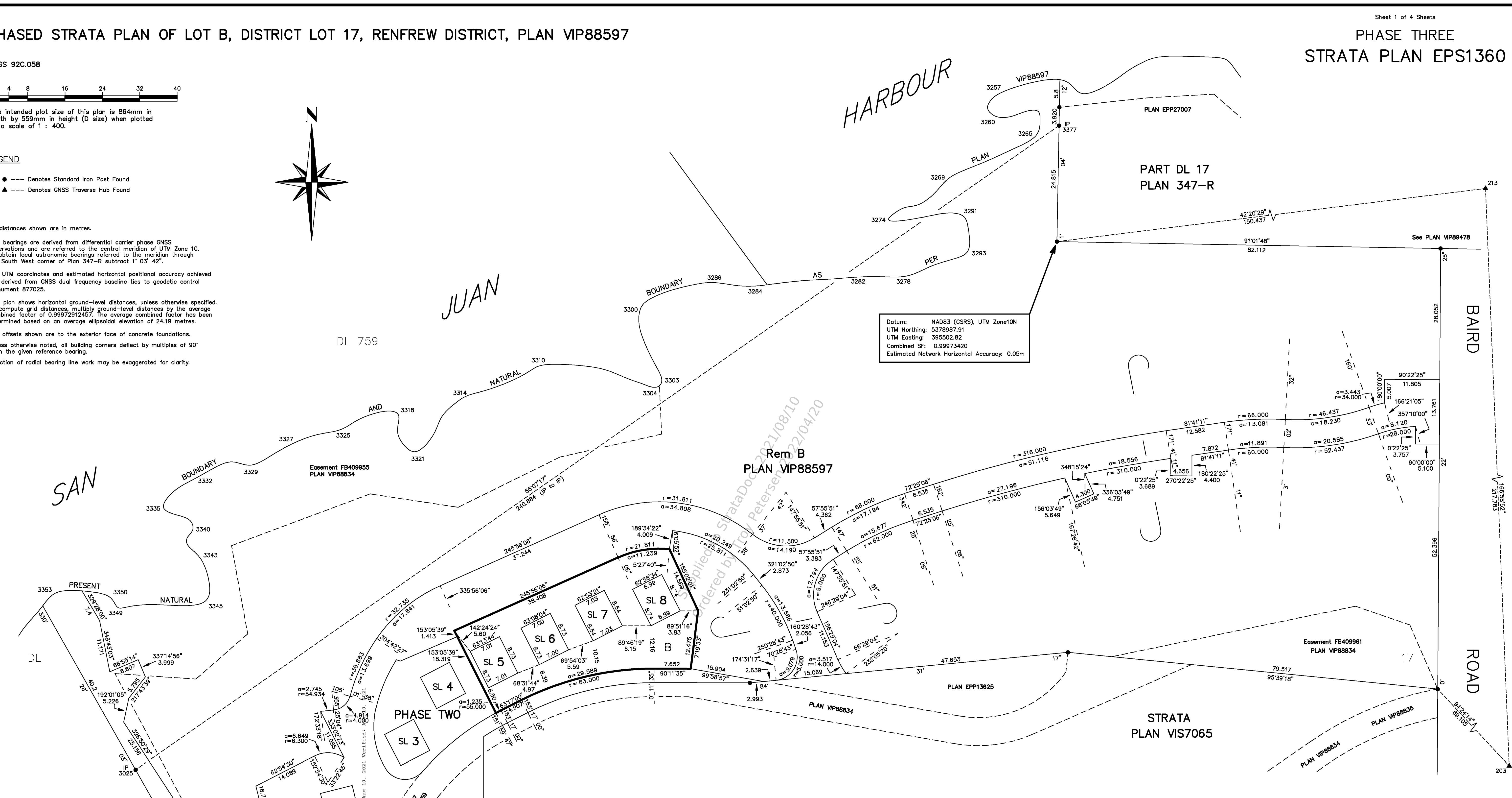
Direction of radial bearing line work may be exaggerated for clarity.



HARBOUR

JUAN

SAN



Datum: NAD83 (CSRS), UTM Zone10N
UTM Northing: 5378987.91
UTM Easting: 395502.82
Combined SF: 0.99973420
Estimated Network Horizontal Accuracy: 0.05m

TRAVERSE TABLE OF PRESENT NATURAL BOUNDARY TIES AND TITLE BOUNDARY AS PER PLAN VIP88597

Table with 3 columns: POINT, BEARING, DISTANCE. Contains three sets of traverse data for boundary ties.

Civic Address:

Strata Lot 5 is at 41-6596 Baird Road,
Strata Lot 6 is at 42-6596 Baird Road,
Strata Lot 7 is at 43-6596 Baird Road,
Strata Lot 8 is at 44-6596 Baird Road,
Port Renfrew, B.C.

This plan lies within the Capital Assessment Area.
This plan lies within the Capital Regional District.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within the external boundaries of the land that is the subject of the strata plan.

The field survey represented by this plan was completed on the 30th day of April, 2014.
Colin W. Grover, BCLS 827

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Victoria, Nanaimo and Parksville, B.C.
Phone: 250-727-2214 Web: www.jeanderson.com
File: 24703-2

Server:\Common\Colin\24963_PORT_RENFREW\24963LDDPRU\dwg\FortRenfrew.dwg
Layout: StrataB_Campground

This plan is Phase Three of a Twenty One phase strata plan under section 224 of the Strata Property Act lying within the jurisdiction of the Approving Officer for the Ministry of Transportation and Infrastructure.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

BASEMENT FLOOR – Part of Strata Lots 5, 6, 7 and 8

PHASE THREE STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.

LEGEND

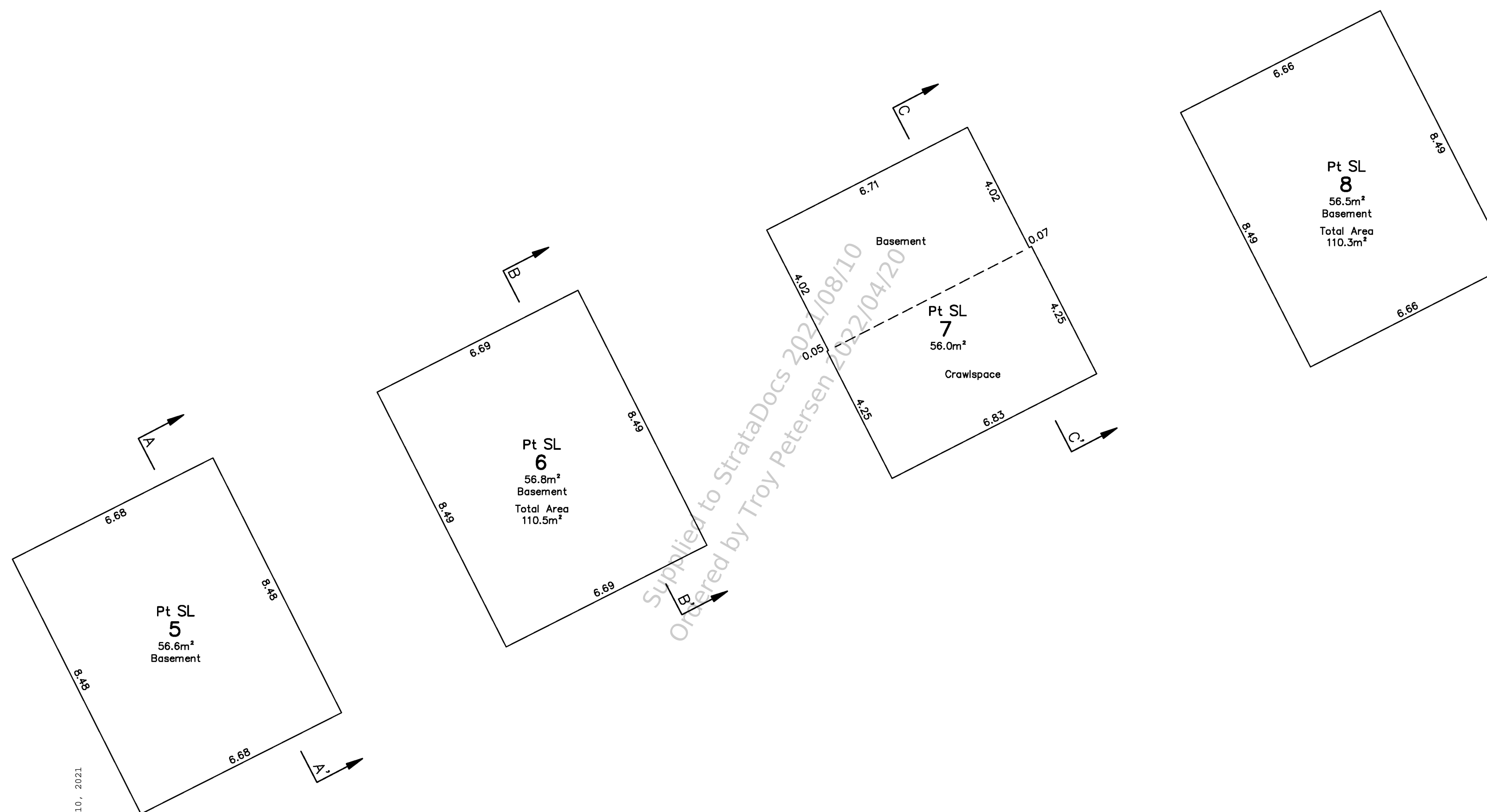
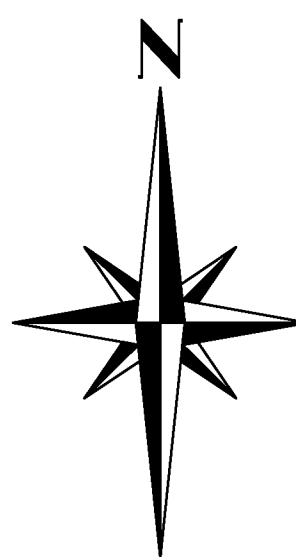
Pt --- Denotes Part

All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



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Supplied to StrataDocs 2022/08/10
Ordered by Troy Petersen 2022/04/20

PHASE THREE STRATA PLAN EPS1360

GROUND FLOOR (TOP) – Part of Strata Lots 5, 6, 7 and 8



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 150.

LEGEND

- CP --- Denotes Common Property
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- Pt --- Denotes Part

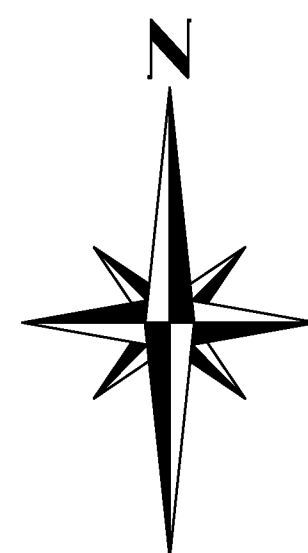
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Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



Rem B
PLAN VIP88597

STRATA
PLAN VIS7065



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Supplied to Strata Docs 2021/04/04
Downloaded by Troy Petersen

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File: 24703-2

Server: \\Common\Colin\24963_PORT_RENFREW\24963LDDPRU.dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, April 30, 2014.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE THREE
STRATA PLAN EPS1360

CROSS SECTIONS



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
Pt --- Denotes Part

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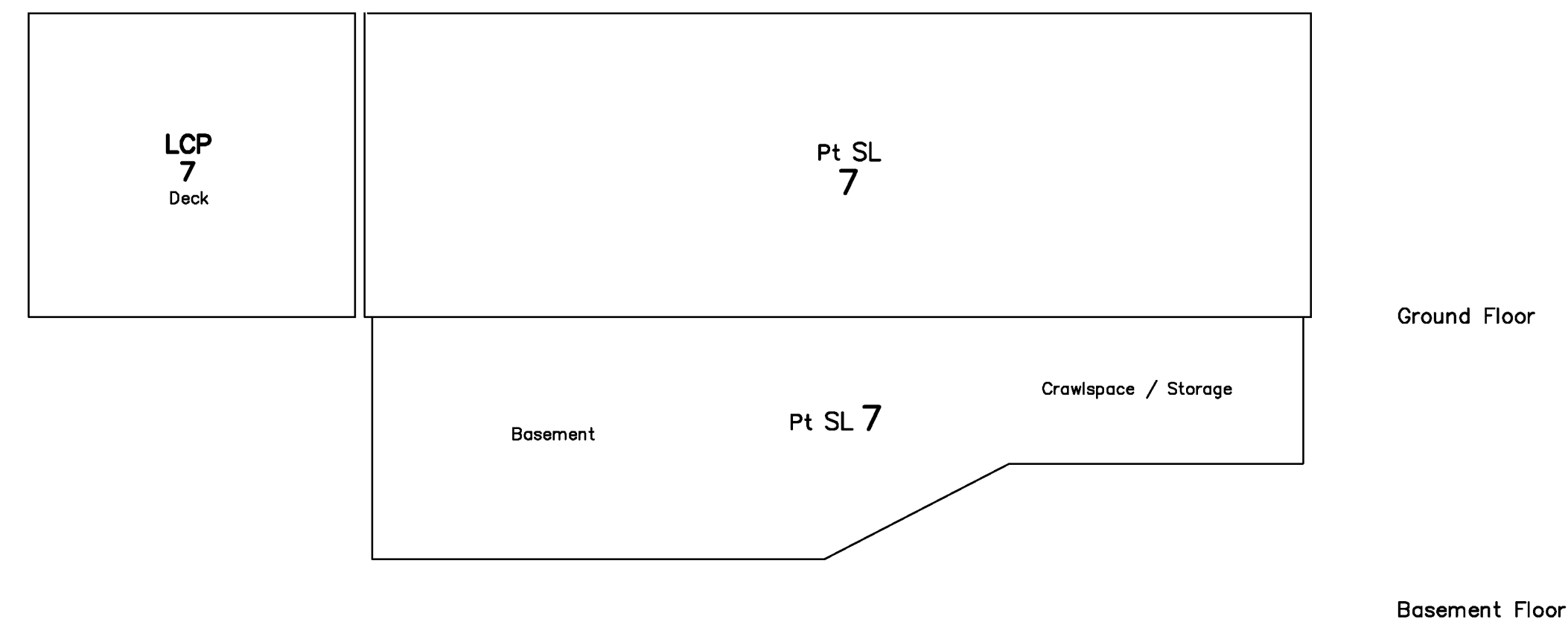
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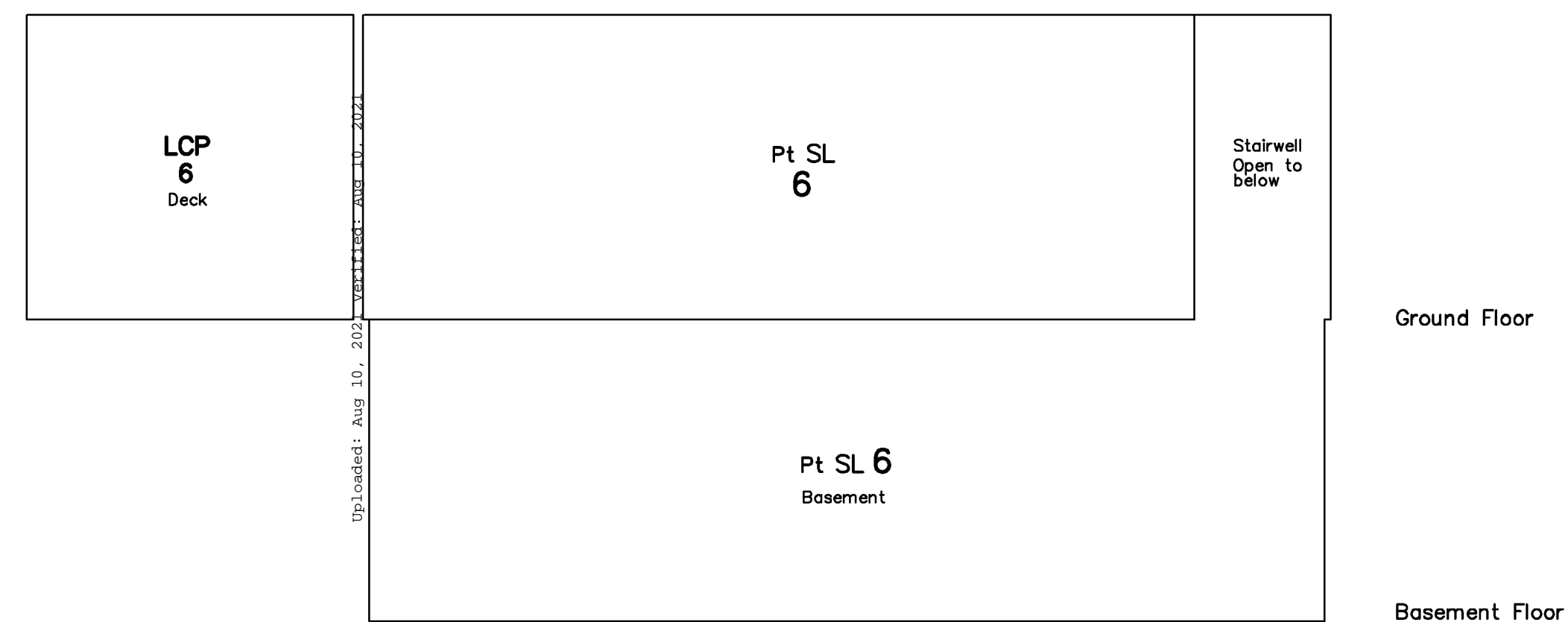
Section A - A'



Section C - C'



Section B - B'
Typical Cross Section for Strata Lots 6 and 8



Supplied to StrataDocs 2021/08/10
Ordered by Troy Petersen 2022/04/20

PHASED STRATA PLAN OF LOT B, DISTRICT LOT 17, RENFREW DISTRICT, PLAN VIP88597

PHASE FOUR STRATA PLAN EPS1360

BCGS 92C.058



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 400.

LEGEND

- --- Denotes Standard Iron Post Found
- ▲ --- Denotes GNSS Traverse Hub Found

All distances shown are in metres.

Grid bearings are derived from differential carrier phase GNSS observations and are referred to the central meridian of UTM Zone 10. To obtain local astronomic bearings referred to the meridian through the South West corner of Plan 347-R subtract 1° 03' 42".

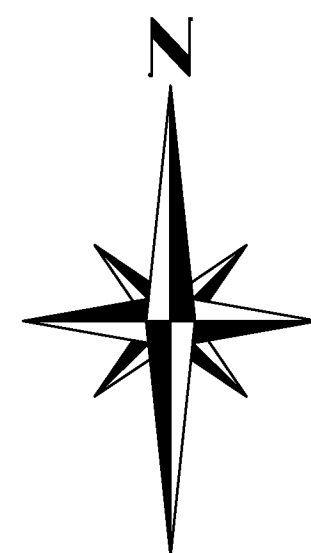
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This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.99972912457. The average combined factor has been determined based on an average ellipsoidal elevation of 24.19 metres.

The offsets shown are to the exterior face of concrete foundations.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

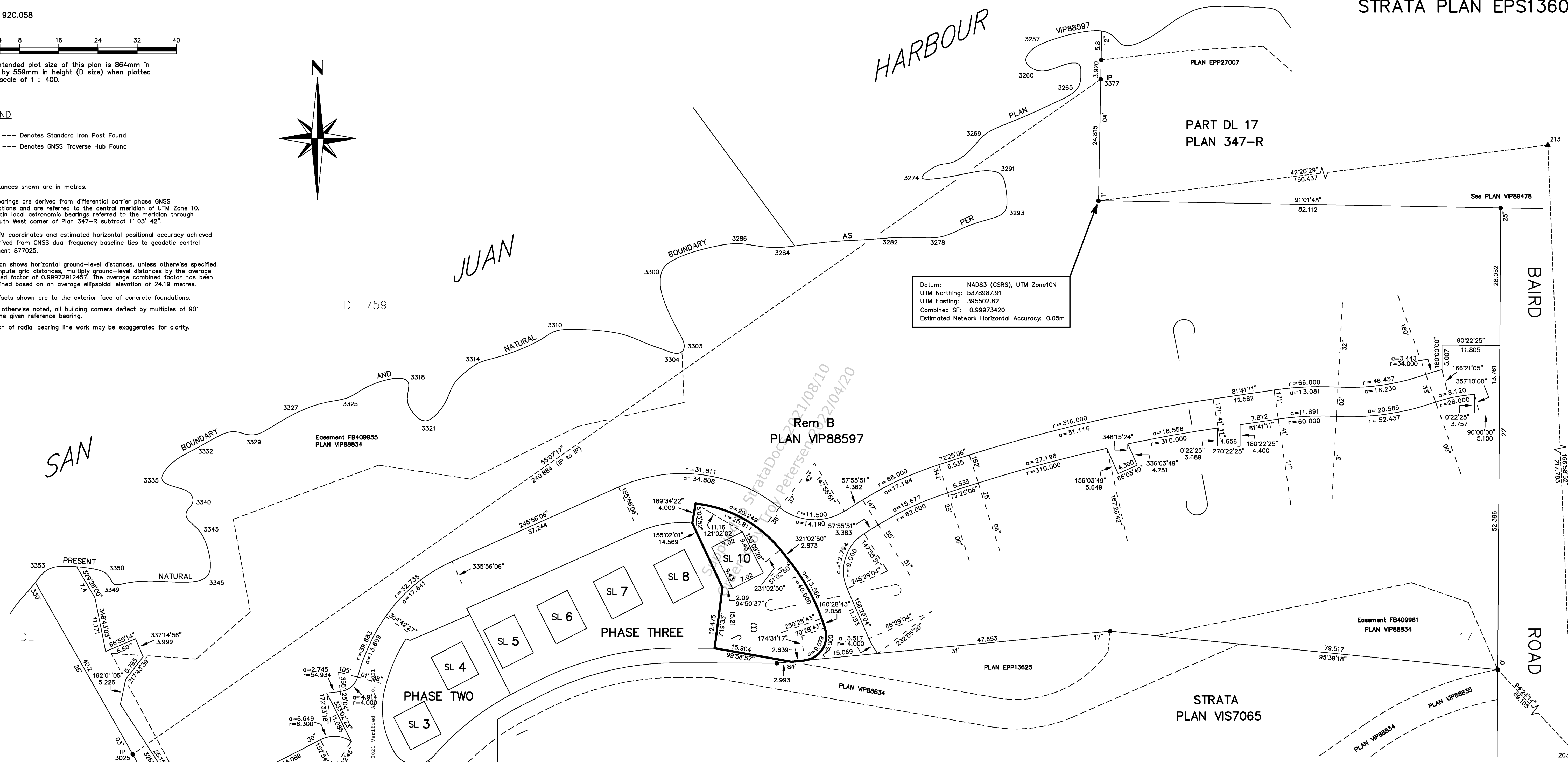
Direction of radial bearing line work may be exaggerated for clarity.



HARBOUR

JUAN

SAN



Datum: NAD83 (CSRS), UTM Zone10N
 UTM Northing: 5378987.91
 UTM Easting: 395502.82
 Combined SF: 0.99973420
 Estimated Network Horizontal Accuracy: 0.05m

TRAVERSE TABLE OF PRESENT NATURAL BOUNDARY TIES AND TITLE BOUNDARY AS PER PLAN VIP88597

POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE
3377 to 3257	299°06'	15.13	3377 to 3288	245°44'	81.09	3025 to 3326	28°28'	81.88
3377 to 3259	283°00'	16.07	3377 to 3288	247°11'	91.36	3025 to 3327	25°35'	77.39
3377 to 3260	277°04'	13.97	3377 to 3300	248°22'	98.15	3025 to 3329	20°56'	68.96
3377 to 3261	278°17'	10.82	3377 to 3301	244°16'	100.10	3025 to 3330	17°45'	69.48
3377 to 3263	311°14'	5.40	3377 to 3303	237°08'	100.43	3025 to 3332	11°58'	63.84
3377 to 3265	238°51'	4.89	3377 to 3304	238°42'	103.01	3025 to 3334	6°59'	59.32
3377 to 3267	243°31'	17.05	3025 to 3306	51°33'	134.35	3025 to 3335	5°10'	55.93
3377 to 3269	244°31'	26.91	3025 to 3308	47°44'	128.60	3025 to 3339	12°32'	55.02
3377 to 3271	240°01'	34.61	3025 to 3310	44°52'	122.15	3025 to 3340	13°55'	52.67
3377 to 3272	242°21'	37.13	3025 to 3312	44°10'	115.97	3025 to 3341	12°11'	50.82
3377 to 3274	241°26'	42.16	3025 to 3313	42°48'	110.45	3025 to 3342	12°45'	49.04
3377 to 3275	239°49'	41.10	3025 to 3314	41°31'	107.10	3025 to 3343	17°15'	47.77
3377 to 3290	232°38'	30.42	3377 to 3319	40°40'	99.85	3025 to 3345	24°31'	38.76
3377 to 3291	226°42'	27.52	3025 to 3320	41°48'	96.62	3025 to 3347	4°55'	35.66
3377 to 3293	214°40'	32.93	3025 to 3321	41°56'	90.16	3025 to 3349	35°08'	34.37
3377 to 3295	222°11'	40.02	3025 to 3317	37°30'	91.00	3025 to 3350	35°28'	37.62
3377 to 3278	223°50'	46.72	3025 to 3318	36°48'	95.44	3025 to 3352	33°38'	41.08
3377 to 3280	233°03'	53.77	3025 to 3323	34°45'	83.78	3025 to 3353	33°47'	41.83
3377 to 3282	238°24'	62.99	3025 to 3324	32°13'	88.66			
3377 to 3284	242°06'	73.68	3025 to 3325	31°25'	84.76			

Civic Address:
 Strata Lot 9 is at 36-6596 Baird Road,
 Strata Lot 10 is at 45-6596 Baird Road,
 Port Renfrew, B.C.

This plan lies within the Capital Assessment Area.
 This plan lies within the Capital Regional District.

The buildings included in this strata plan
 have not been previously occupied.

The buildings shown hereon are within the
 external boundaries of the land that is
 the subject of the strata plan.

The field survey represented by this plan was
 completed on the 16th day of July, 2014.
 Colin W. Grover, BCLS 827

J.E. ANDERSON & ASSOCIATES
 B.C. Land Surveyors - Consulting Engineers
 Victoria, Nanaimo and Parksville, B.C.
 Phone: 250-727-2214 Web: www.jeanderson.com
 File: 24703-2

Server:\Common\Coin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
 Layout: StrataB_Compground

This plan is Phase Four of a Twenty One phase strata
 plan under section 224 of the Strata Property Act
 lying within the jurisdiction of the Approving Officer
 for the Ministry of Transportation and Infrastructure.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

BASEMENT FLOOR – Part of Strata Lots 9 and 10

Sheet 2 of 4 Sheets

PHASE FOUR STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.

LEGEND

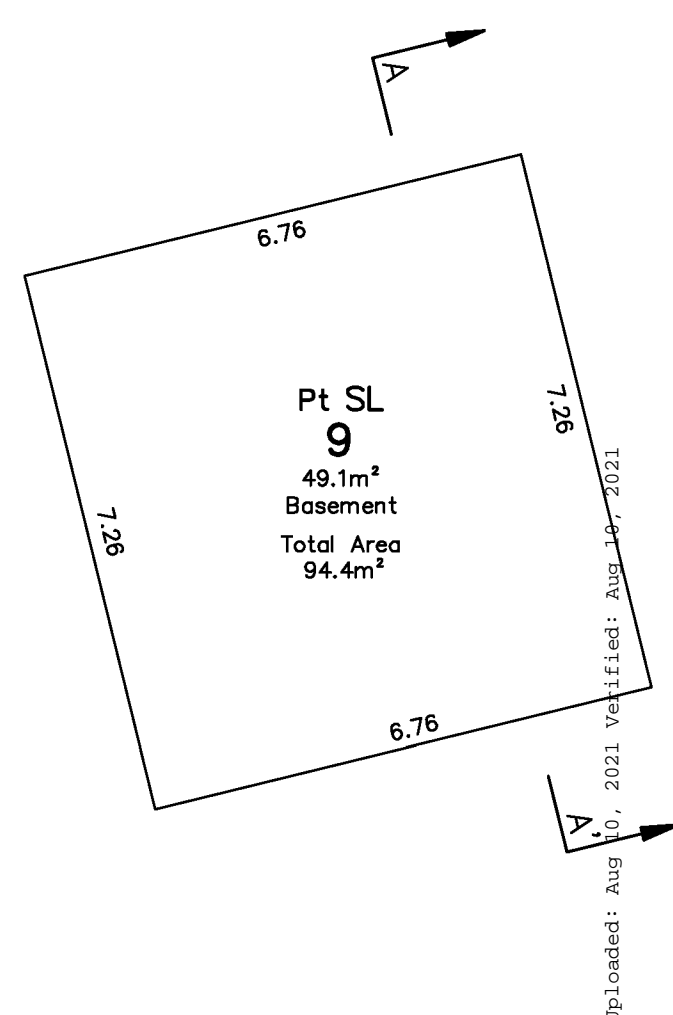
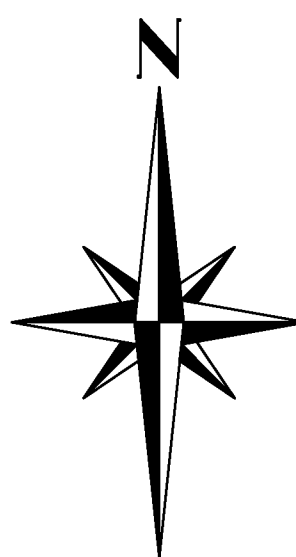
Pt --- Denotes Part

All distances shown are in metres.

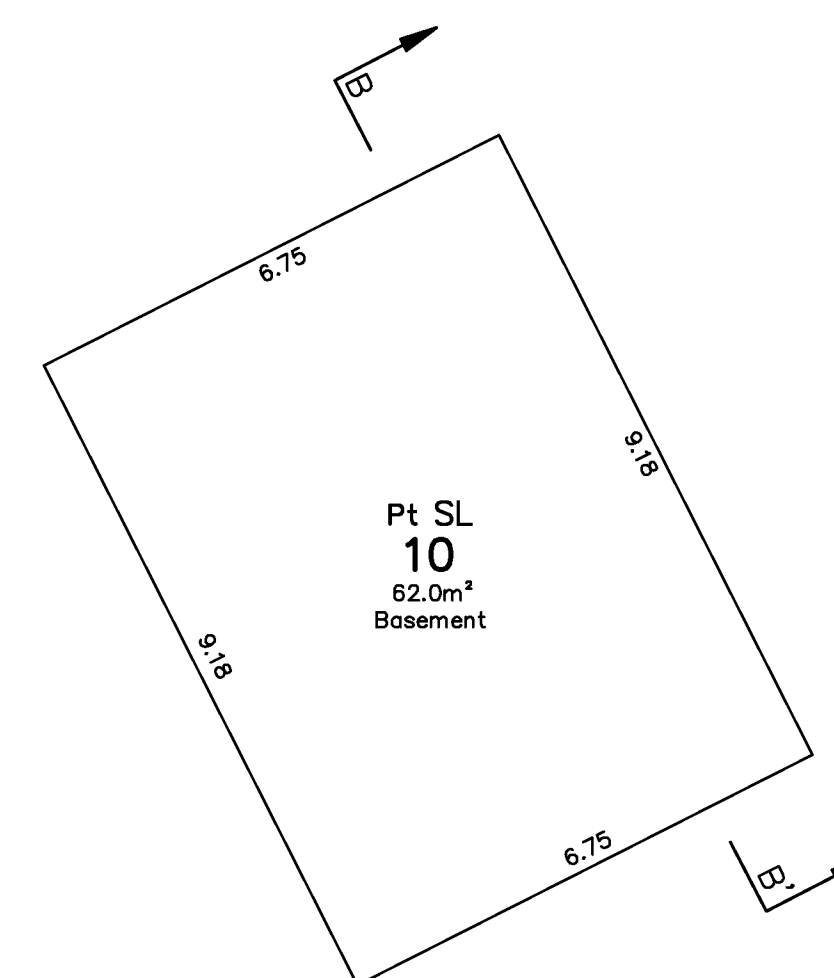
All dimensions and areas are measured to the centreline of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



Supplied to StrataDocs 2021/08/10
Ordered by Troy Petersen 2022/04/20



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Phone: 250-727-2214 Web: www.jeanderson.com
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Server:\Common\Colin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, July 16, 2014.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE FOUR STRATA PLAN EPS1360

GROUND FLOOR (TOP) – Part of Strata Lots 9 and 10



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 150.

LEGEND

- CP --- Denotes Common Property
- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

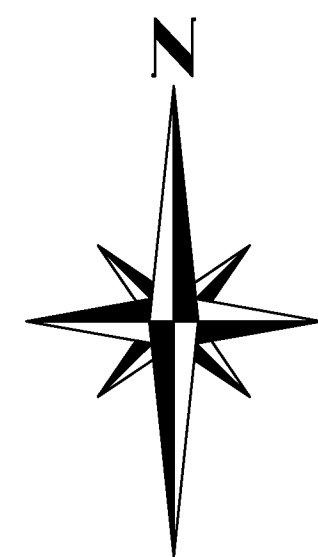
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to the exterior face of walls.

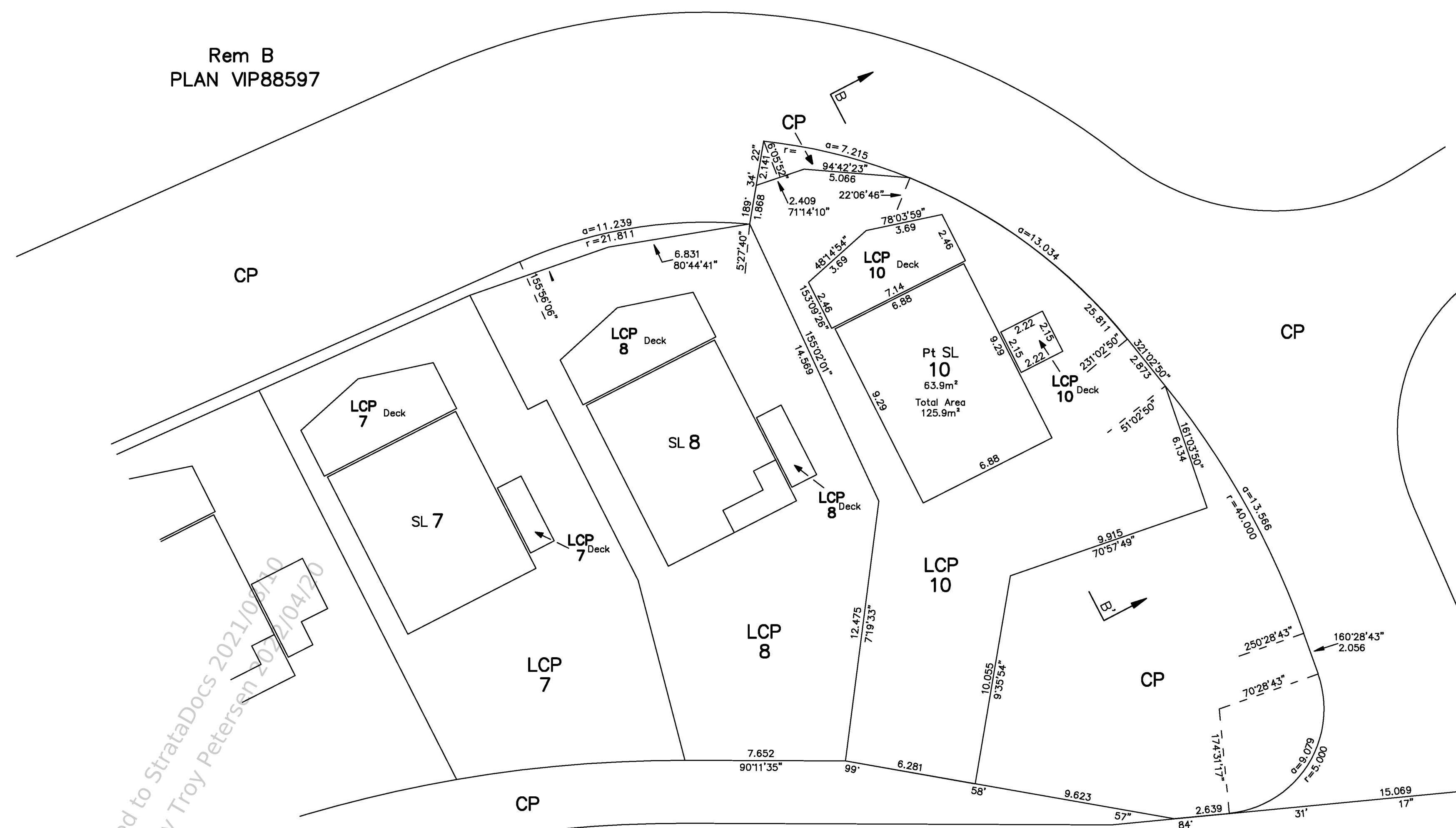
The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

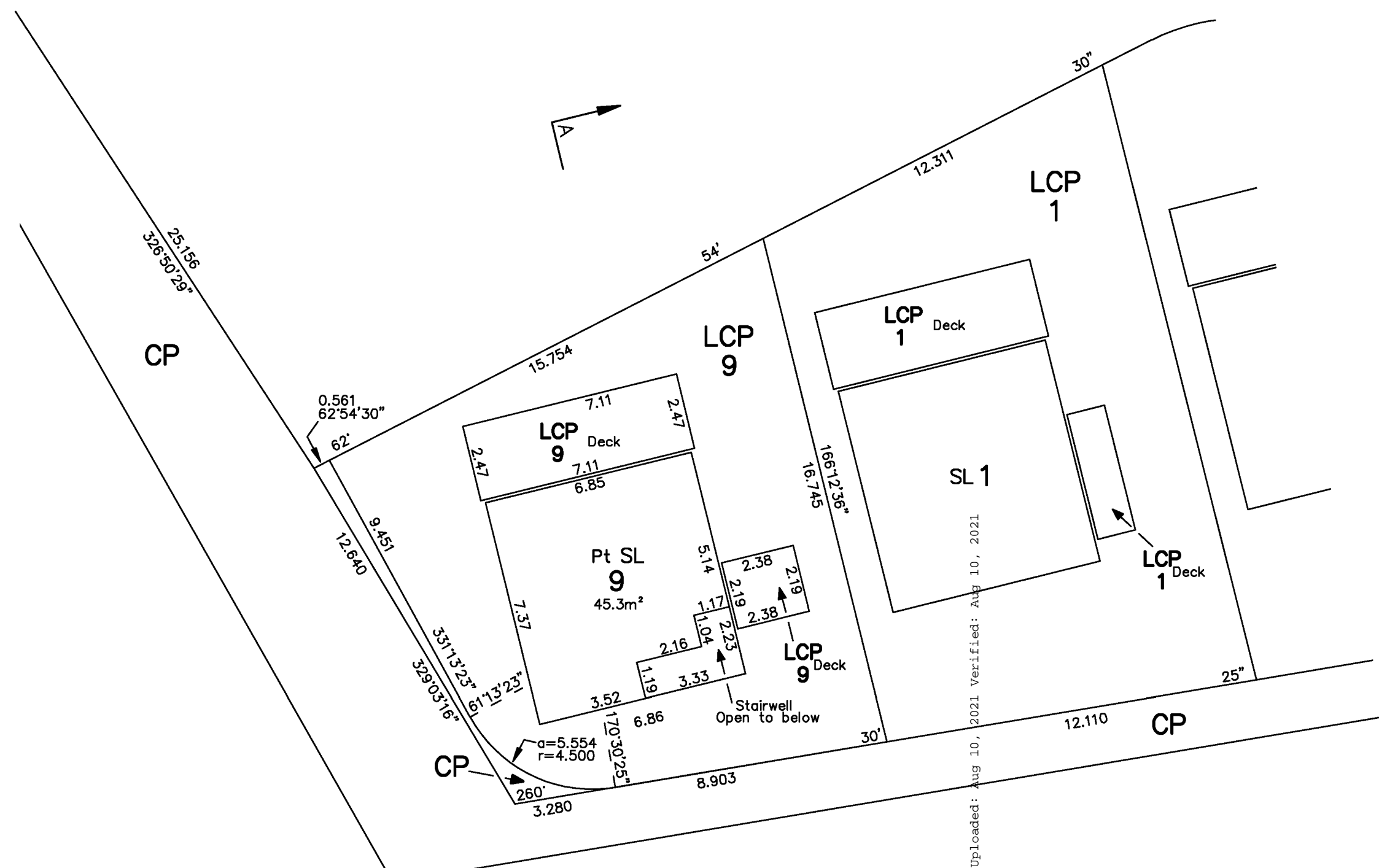
Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



Rem B
PLAN VIP88597



Rem B
PLAN VIP88597



STRATA
PLAN VIS7065

STRATA
PLAN VIS7065

Supplied to StrataDocs 2021/08/10
Ordered by Troy Petersen 2021/04/17

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Server:\Common\Colin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, July 16, 2014.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE FOUR
STRATA PLAN EPS1360

CROSS SECTIONS



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
Pt --- Denotes Part

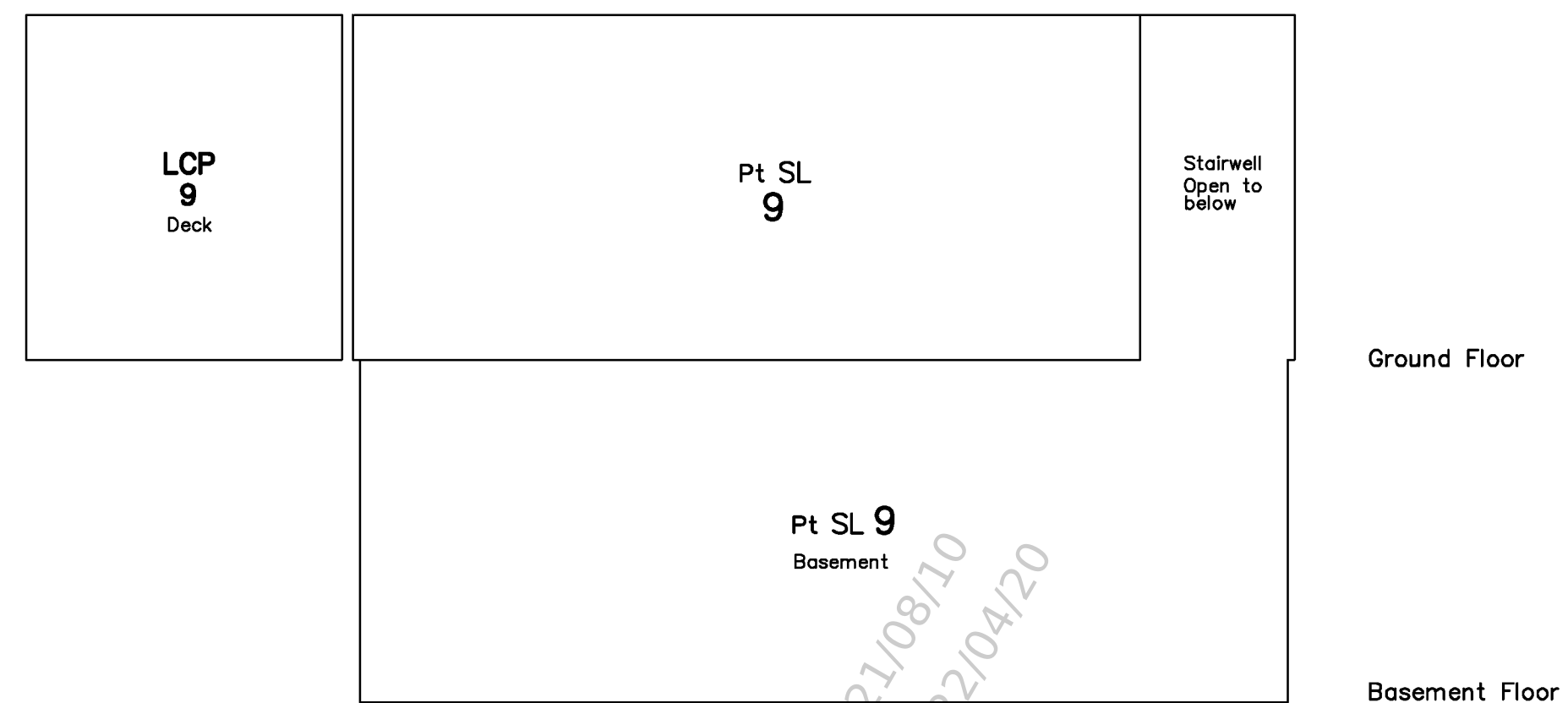
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to the exterior face of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Section A - A'



Supplied to StrataDocs 2021/08/10
Ordered by Troy Petersen 2022/04/20

Section B - B'



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Layout: StrataB_Campground

Colin W. Grover, BCLS 827, July 16, 2014.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASED STRATA PLAN OF LOT B, DISTRICT LOT 17, RENFREW DISTRICT, PLAN VIP88597

PHASE FIVE STRATA PLAN EPS1360

BCGS 92C.058



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 400.

LEGEND

- --- Denotes Standard Iron Post Found
- ▲ --- Denotes GNSS Traverse Hub Found

All distances shown are in metres.

Grid bearings are derived from differential carrier phase GNSS observations and are referred to the central meridian of UTM Zone 10. To obtain local astronomic bearings referred to the meridian through the South West corner of Plan 347-R subtract 1° 03' 42".

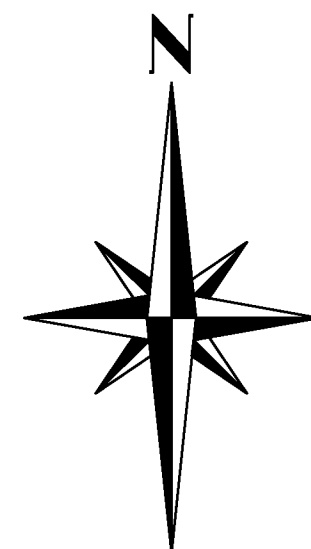
The UTM coordinates and estimated horizontal positional accuracy achieved are derived from GNSS dual frequency baseline ties to geodetic control monument 877025.

This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.99972912457. The average combined factor has been determined based on an average ellipsoidal elevation of 24.19 metres.

The offsets shown are to the exterior face of concrete foundations.

Unless otherwise noted, all building corners deflect by multiples of 90° from the given reference bearing.

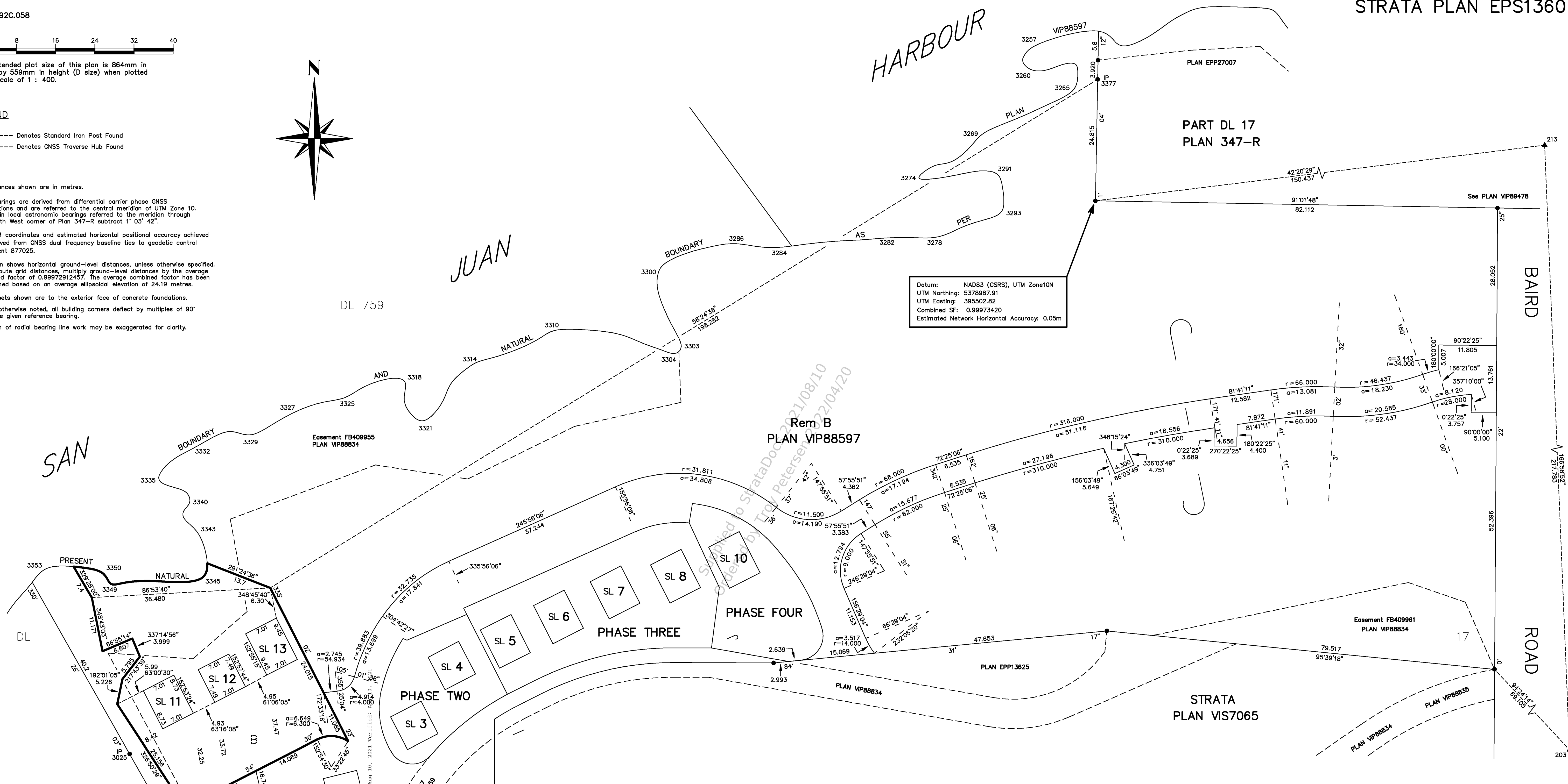
Direction of radial bearing line work may be exaggerated for clarity.



HARBOUR

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Datum: NAD83 (CSRS), UTM Zone10N
 UTM Northing: 5378987.91
 UTM Easting: 395502.82
 Combined SF: 0.99973420
 Estimated Network Horizontal Accuracy: 0.05m

TRAVERSE TABLE OF PRESENT NATURAL BOUNDARY TIES AND TITLE BOUNDARY AS PER PLAN VIP88597

POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE
3377 to 3257	299°06'	15.13	3377 to 3288	245°44'	81.09	3025 to 3326	28°28'	81.88
3377 to 3259	283°00'	16.07	3377 to 3288	247°11'	91.36	3025 to 3327	25°35'	77.39
3377 to 3260	277°04'	13.97	3377 to 3300	246°22'	98.15	3025 to 3328	20°56'	68.96
3377 to 3261	278°17'	10.92	3377 to 3301	244°46'	100.10	3025 to 3330	17°45'	69.48
3377 to 3263	311°14'	5.40	3377 to 3303	237°08'	100.43	3025 to 3332	11°58'	63.84
3377 to 3265	238°51'	4.89	3377 to 3304	236°42'	103.01	3025 to 3334	6°59'	59.32
3377 to 3267	243°31'	17.05	3025 to 3306	51°33'	134.35	3025 to 3335	5°10'	55.93
3377 to 3269	244°31'	26.91	3025 to 3308	47°44'	128.60	3025 to 3339	12°32'	55.02
3377 to 3271	240°01'	34.61	3025 to 3310	44°52'	122.15	3025 to 3340	13°55'	52.67
3377 to 3272	242°21'	37.13	3025 to 3312	44°10'	115.97	3025 to 3341	12°11'	50.82
3377 to 3274	241°26'	42.16	3025 to 3313	42°48'	110.45	3025 to 3342	12°45'	49.04
3377 to 3275	239°49'	41.10	3025 to 3314	41°31'	107.10	3025 to 3343	17°15'	47.77
3377 to 3290	232°38'	30.42	3025 to 3319	40°40'	99.85	3025 to 3345	24°31'	38.76
3377 to 3291	226°42'	27.52	3025 to 3320	41°48'	96.62	3025 to 3347	4°55'	35.66
3377 to 3293	214°40'	32.93	3025 to 3321	41°56'	90.16	3025 to 3349	35°08'	34.37
3377 to 3295	222°11'	40.02	3025 to 3317	37°30'	91.00	3025 to 3350	35°28'	37.62
3377 to 3278	225°50'	46.72	3025 to 3318	36°48'	95.44	3025 to 3352	33°38'	41.08
3377 to 3280	233°03'	53.77	3025 to 3323	34°45'	93.79	3025 to 3353	33°47'	41.93
3377 to 3282	238°24'	62.99	3025 to 3324	32°13'	88.66			
3377 to 3284	242°06'	73.68	3025 to 3325	31°25'	84.76			

Civic Address:
 Strata Lot 11 is at 114-6574 Baird Road,
 Strata Lot 12 is at 112-6574 Baird Road,
 Strata Lot 13 is at 110-6574 Baird Road,
 Port Renfrew, B.C.

This plan lies within the Capital Assessment Area.
 This plan lies within the Capital Regional District.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within the external boundaries of the land that is the subject of the strata plan.

The field survey represented by this plan was completed on the 20th day of August, 2014.
 Colin W. Grover, BCLS 827

J.E. ANDERSON & ASSOCIATES
 B.C. Land Surveyors - Consulting Engineers
 Victoria, Nanaimo and Parksville, B.C.
 Phone: 250-727-2214 Web: www.jeanderson.com
 File: 24703-2

Server:\Common\Coin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
 Layout: StrataB_Compground

This plan is Phase Five of a Twenty One phase strata plan under section 224 of the Strata Property Act lying within the jurisdiction of the Approving Officer for the Ministry of Transportation and Infrastructure.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

GROUND FLOOR – Part of Strata Lots 11, 12 and 13

PHASE FIVE STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 150.

LEGEND

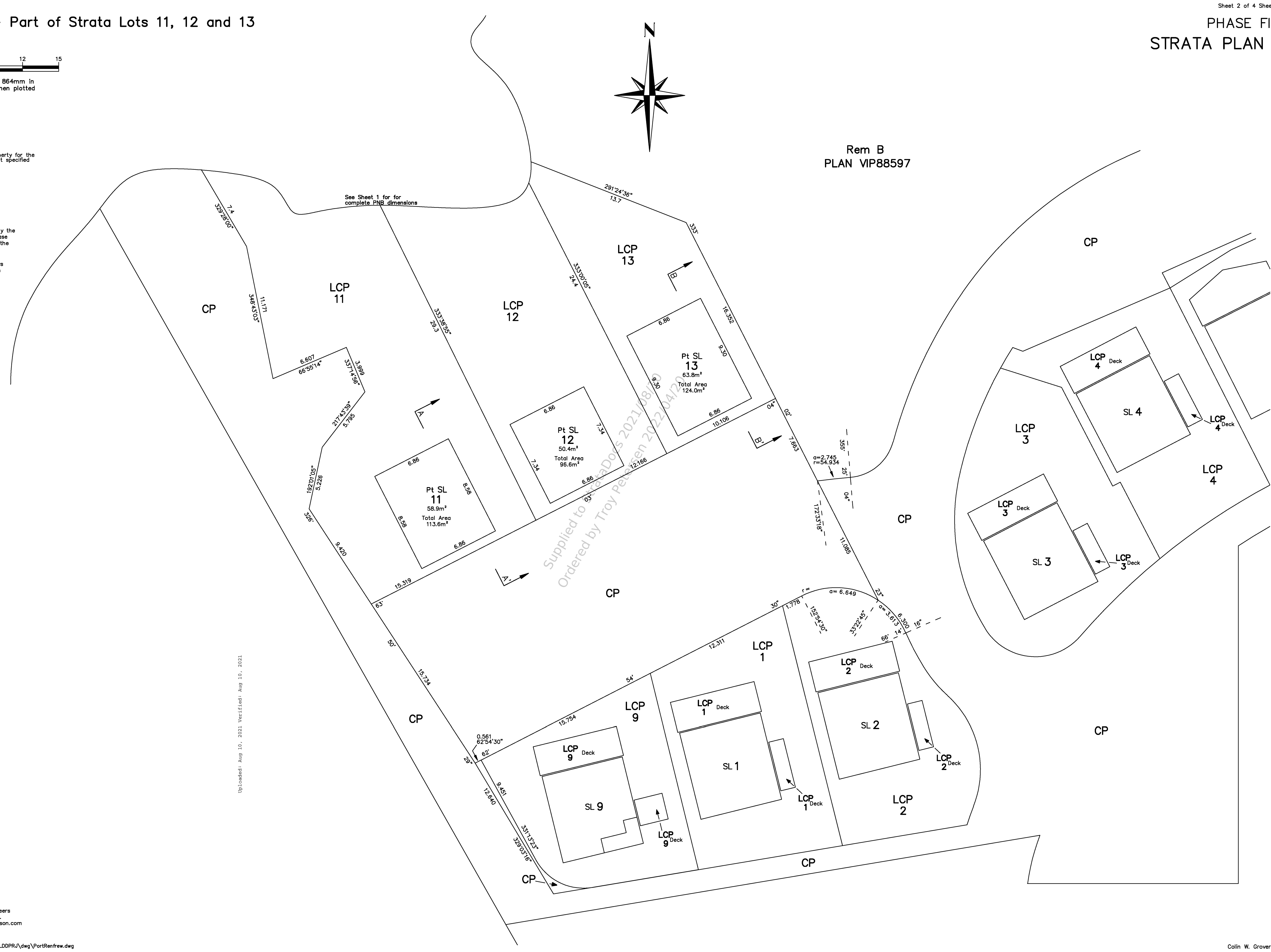
- CP --- Denotes Common Property
- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



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Victoria, Nanaimo and Parksville, B.C.
Phone: 250-727-2214 Web: www.jeanderson.com
File: 24703-2

Server: Common\Colin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, August 20, 2014.

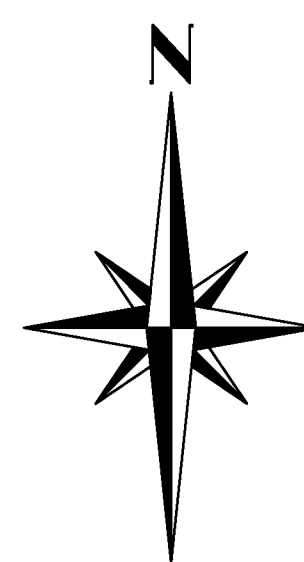
Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

SECOND FLOOR (TOP) – Part of Strata Lots 11, 12 and 13

Sheet 3 of 4 Sheets
PHASE FIVE
STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.



LEGEND

- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

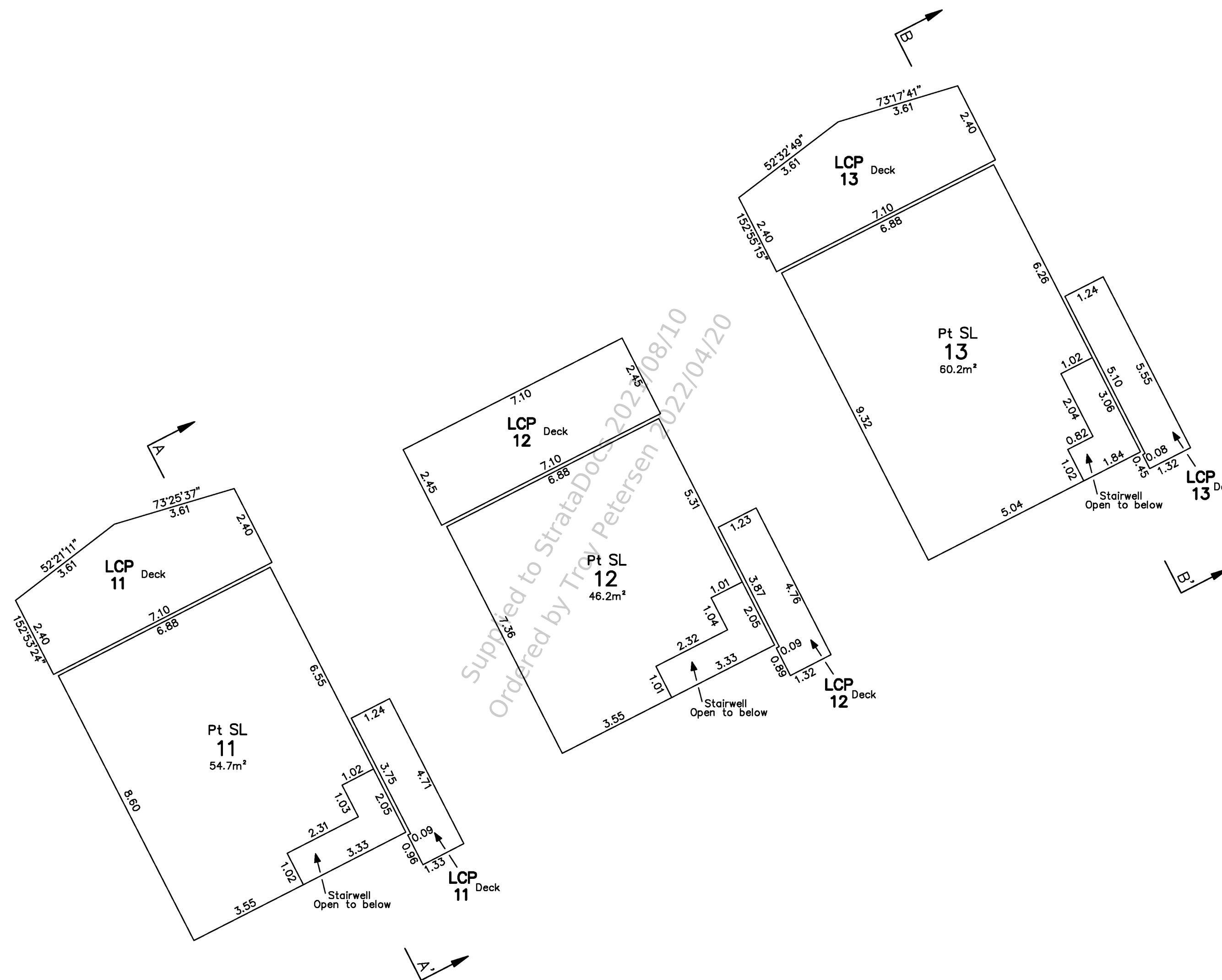
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to the exterior face of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



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 Victoria, Nanaimo and Parksville, B.C.
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 Fax: 24703-2

Server: Common\Colin\24963_PORT_RENFREW\24963LDDPRJ\dwg\PortRenfrew.dwg
 Layout: StrataB_Campground

Colin W. Grover, BCLS B27, August 20, 2014.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE FIVE
STRATA PLAN EPS1360

CROSS SECTIONS



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
Pt --- Denotes Part

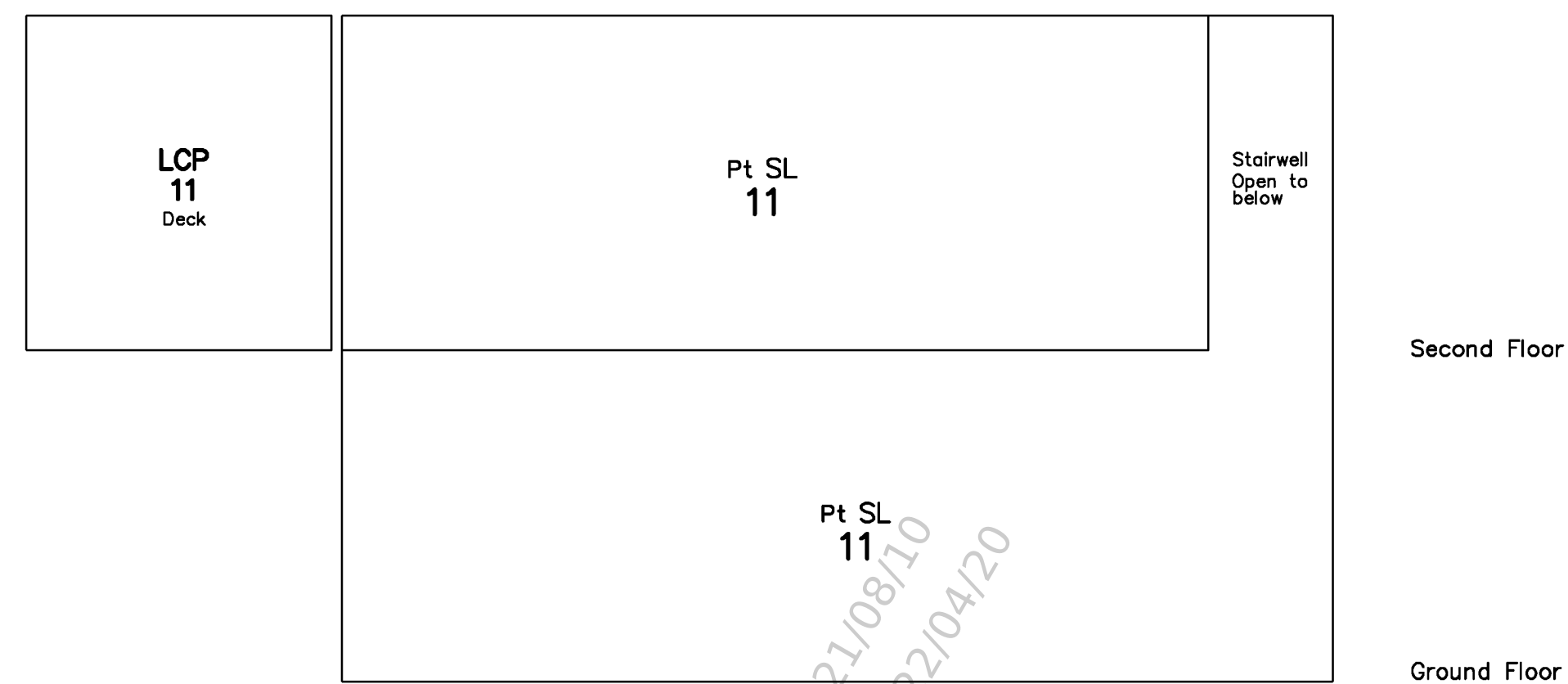
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to the exterior face of walls.

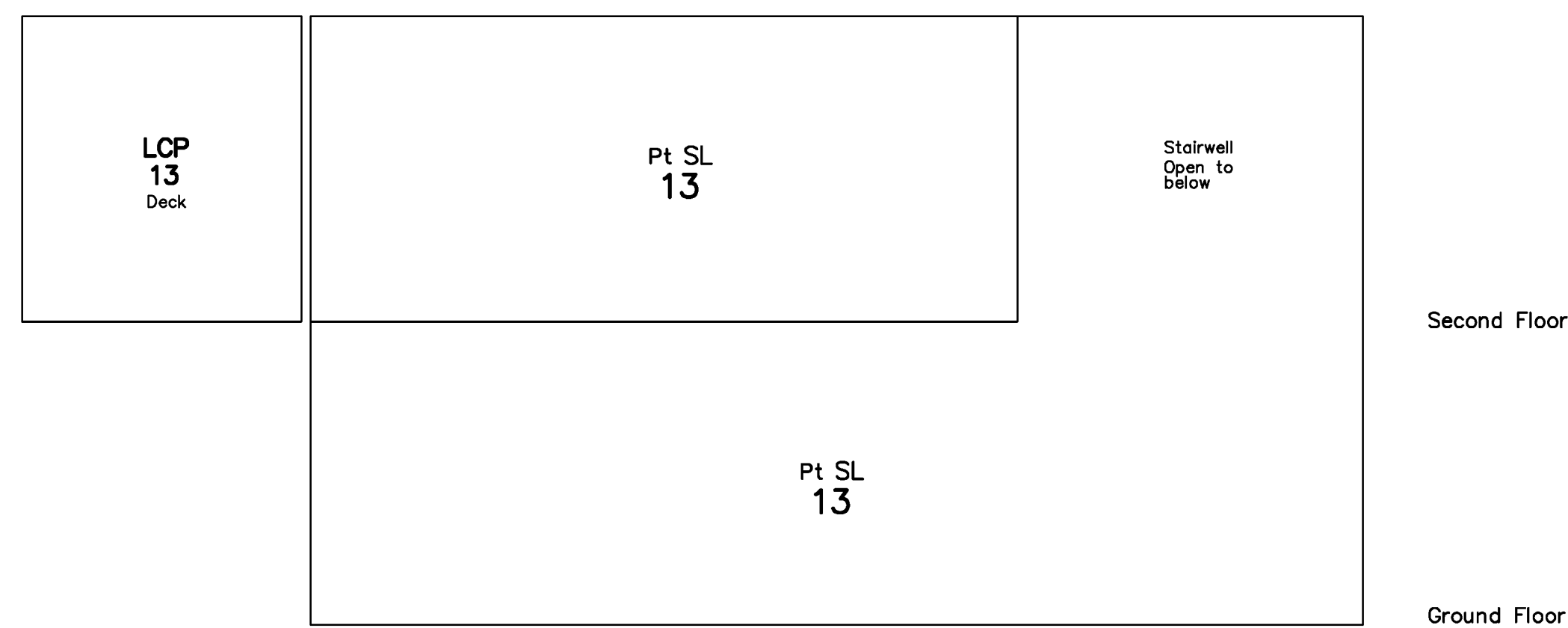
The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Section A - A'
Typical Cross Section for Strata Lots 11 and 12



Section B - B'



Uploaded: Aug 10, 2021 Verified: Aug 10, 2021

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File: 24703-2

Server: Common\Colin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, August 20, 2014.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASED STRATA PLAN OF LOT B, DISTRICT LOT 17, RENFREW DISTRICT, PLAN VIP88597

PHASE SIX STRATA PLAN EPS1360

BCGS 92C.058



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 400.

LEGEND

- --- Denotes Standard Iron Post Found
- ▲ --- Denotes GNSS Traverse Hub Found

All distances shown are in metres.

Grid bearings are derived from differential carrier phase GNSS observations and are referred to the central meridian of UTM Zone 10. To obtain local astronomic bearings referred to the meridian through the South West corner of Plan 347-R subtract 1° 03' 42".

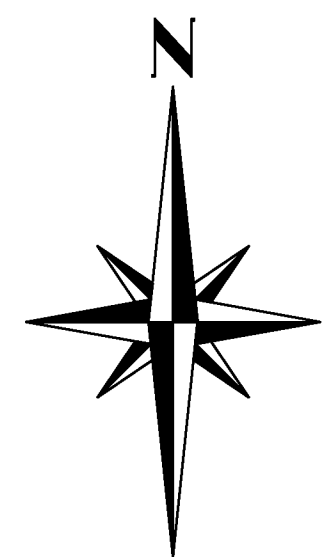
The UTM coordinates and estimated horizontal positional accuracy achieved are derived from GNSS dual frequency baseline ties to geodetic control monument 877025.

This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.99972912457. The average combined factor has been determined based on an average ellipsoidal elevation of 24.19 metres.

The offsets shown are to the exterior face of concrete foundations.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

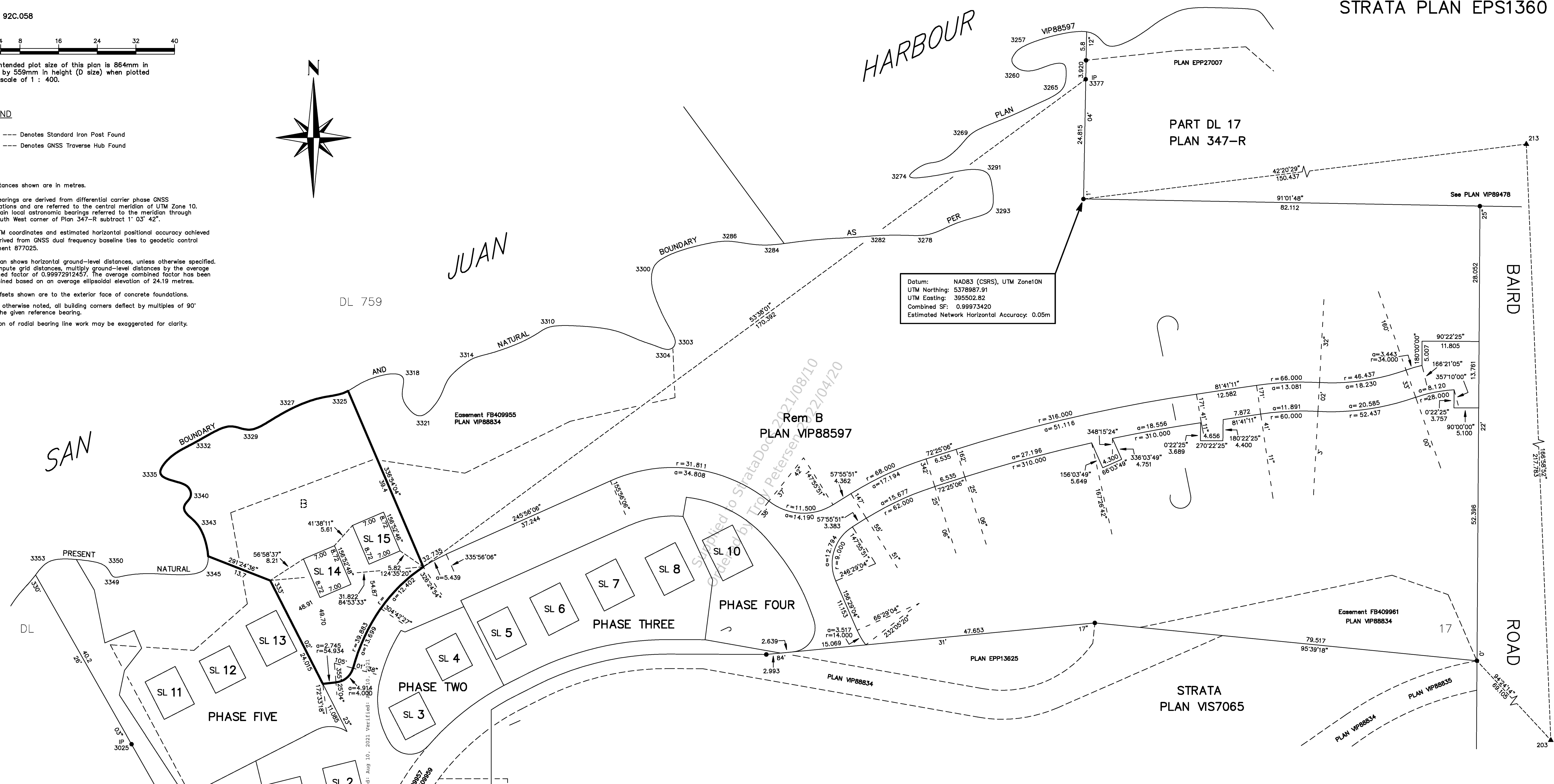
Direction of radial bearing line work may be exaggerated for clarity.



HARBOUR

JUAN

SAN



Datum: NAD83 (CSRS), UTM Zone10N
 UTM Northing: 5378987.91
 UTM Easting: 395502.82
 Combined SF: 0.99973420
 Estimated Network Horizontal Accuracy: 0.05m

TRAVERSE TABLE OF PRESENT NATURAL BOUNDARY TIES AND TITLE BOUNDARY AS PER PLAN VIP88597

POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE
3377 to 3257	299°06'	15.13	3377 to 3286	245°44'	81.09	3025 to 3326	28°28'	81.88
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3377 to 3261	277°04'	13.97	3377 to 3300	246°22'	98.15	3025 to 3329	20°56'	68.96
3377 to 3261	278°17'	10.82	3377 to 3301	244°16'	100.10	3025 to 3330	17°45'	68.48
3377 to 3263	311°14'	5.40	3377 to 3303	237°08'	100.43	3025 to 3332	11°58'	63.84
3377 to 3265	238°51'	4.89	3377 to 3304	236°42'	103.01	3025 to 3334	6°59'	59.32
3377 to 3267	243°31'	17.05	3025 to 3306	51°33'	134.35	3025 to 3335	5°10'	55.93
3377 to 3269	244°31'	26.91	3025 to 3308	47°44'	128.60	3025 to 3339	12°32'	55.02
3377 to 3271	240°01'	34.61	3025 to 3310	44°52'	122.15	3025 to 3340	13°55'	52.67
3377 to 3272	242°21'	37.13	3025 to 3312	44°10'	115.97	3025 to 3341	12°11'	50.82
3377 to 3274	241°26'	42.16	3025 to 3313	42°48'	110.45	3025 to 3342	12°45'	49.04
3377 to 3275	239°49'	41.10	3025 to 3314	41°31'	107.10	3025 to 3343	17°15'	47.77
3377 to 3280	232°38'	30.42	3025 to 3319	40°40'	99.85	3025 to 3345	24°31'	38.76
3377 to 3291	228°42'	27.52	3025 to 3320	41°48'	96.62	3025 to 3347	4°55'	35.66
3377 to 3293	214°40'	32.93	3025 to 3321	41°56'	90.16	3025 to 3349	35°08'	34.37
3377 to 3295	222°11'	40.02	3025 to 3317	37°30'	91.00	3025 to 3350	35°28'	37.62
3377 to 3278	225°50'	46.72	3025 to 3318	36°48'	95.44	3025 to 3352	33°38'	41.08
3377 to 3280	233°03'	53.77	3025 to 3323	34°45'	93.79	3025 to 3353	33°47'	41.93
3377 to 3282	238°24'	62.99	3025 to 3324	32°13'	88.66			
3377 to 3284	242°06'	73.68	3025 to 3325	31°25'	84.76			

Civic Address:
 Strata Lot 14 is at 108-6574 Baird Road,
 Strata Lot 15 is at 106-6574 Baird Road,
 Port Renfrew, B.C.

This plan lies within the Capital Assessment Area.
 This plan lies within the Capital Regional District.

The buildings included in this strata plan
 have not been previously occupied.

The buildings shown hereon are within the
 external boundaries of the land that is
 the subject of the strata plan.

The field survey represented by this plan was
 completed on the 5th day of December, 2014.
 Colin W. Grover, BCLS B27

J.E. ANDERSON & ASSOCIATES
 B.C. Land Surveyors - Consulting Engineers
 Victoria, Nanaimo and Parksville, B.C.
 Phone: 250-727-2214 Web: www.jeanderson.com
 File: 24703-2

Server:\Common\Colin\24863_PORT_RENFREW\24863LDDPRU.dwg\PortRenfrew.dwg
 Layout: StrataB_Compground

This plan is Phase Six of a Twenty One phase strata
 plan under section 224 of the Strata Property Act
 lying within the jurisdiction of the Approving Officer
 for the Ministry of Transportation and Infrastructure.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

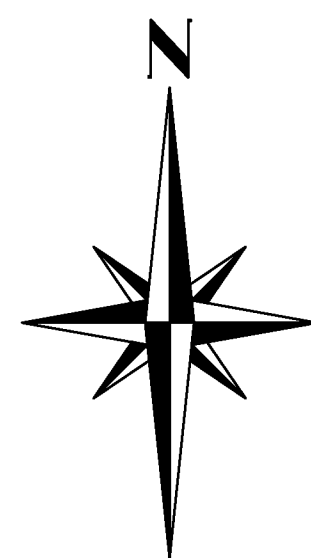
SECOND FLOOR (TOP) – Part of Strata Lots 14 and 15

Sheet 3 of 4 Sheets

PHASE SIX STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.



LEGEND

LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
Pt --- Denotes Part

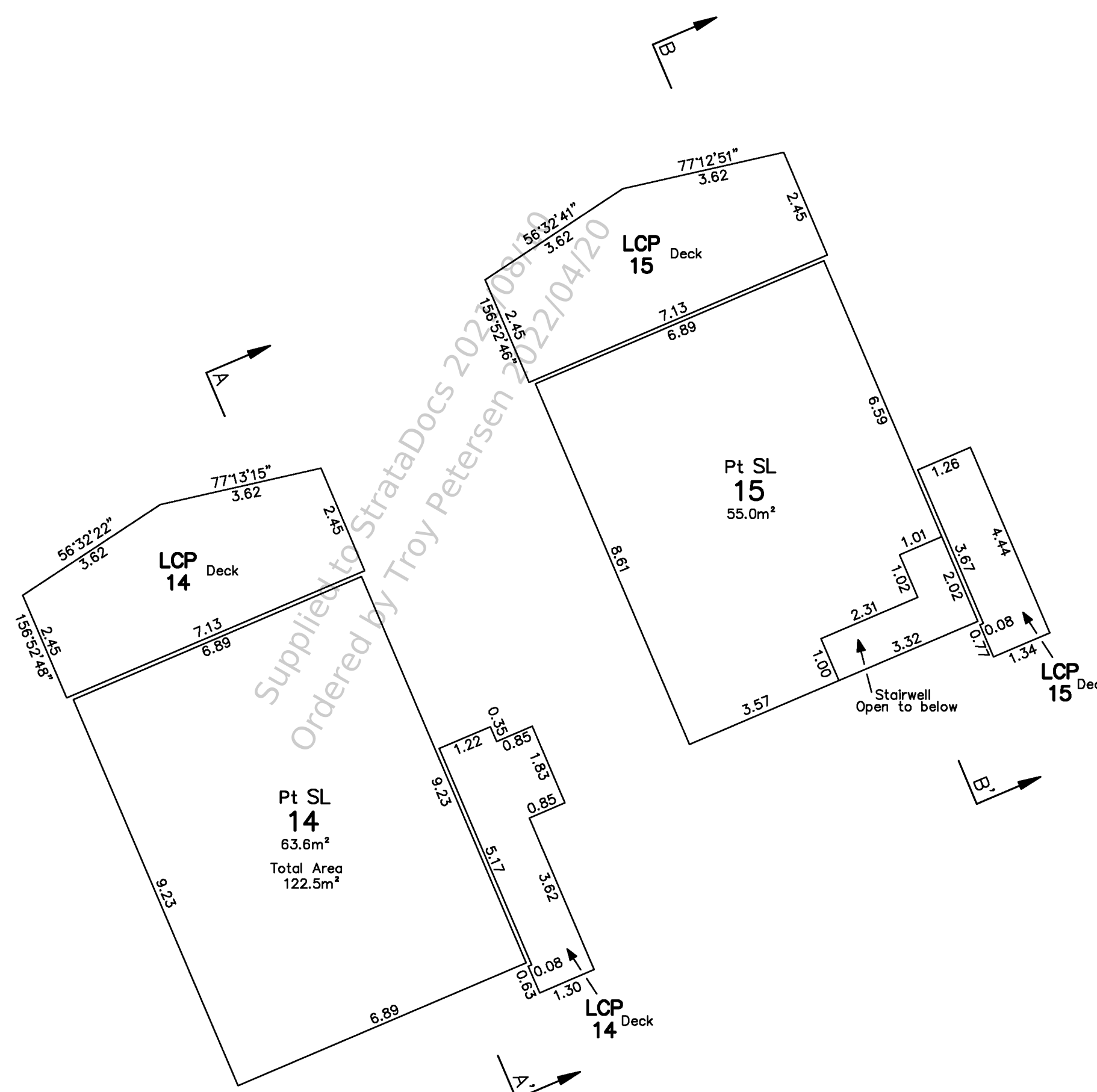
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to the exterior face of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



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Victoria, Nanaimo and Parksville, B.C.
Phone: 250-727-2214 Web: www.jeanderson.com
File: 24703-2

Server: Common\Cad\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, December 5, 2014.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE SIX
STRATA PLAN EPS1360

CROSS SECTIONS



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
Pt --- Denotes Part

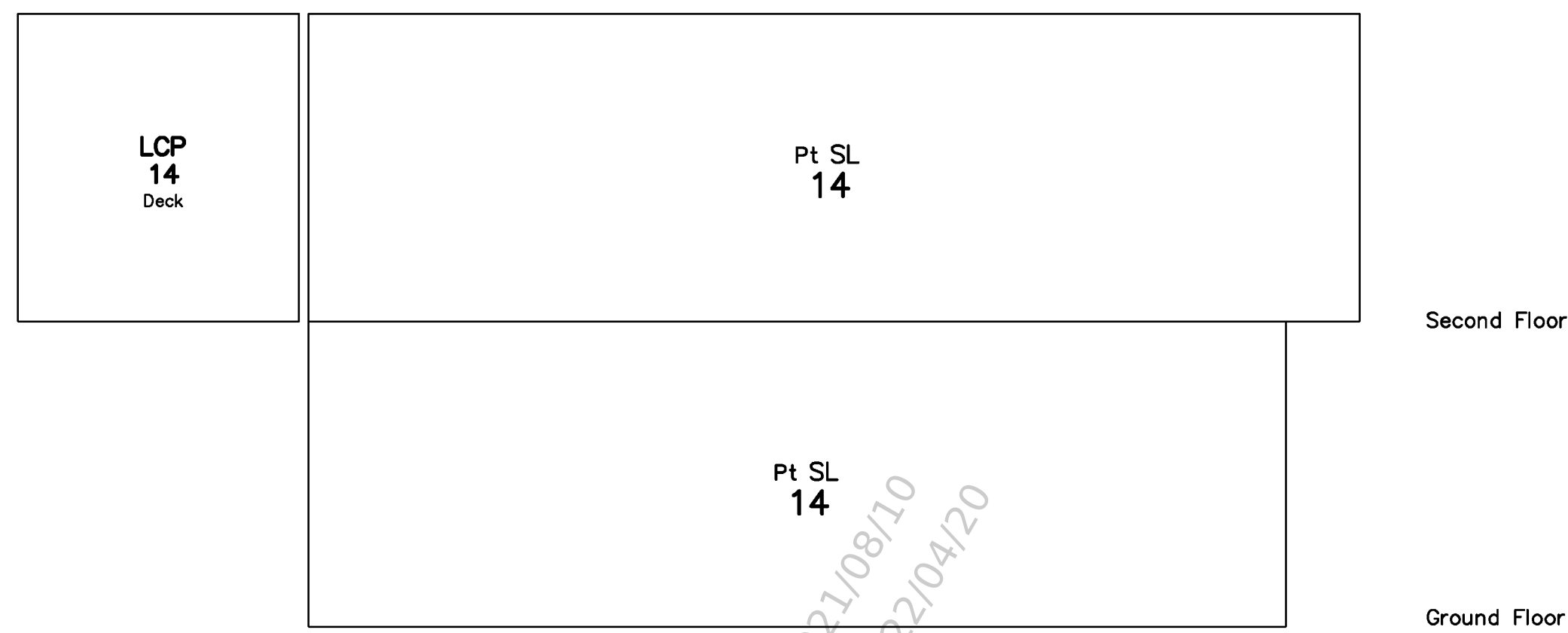
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to the exterior face of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

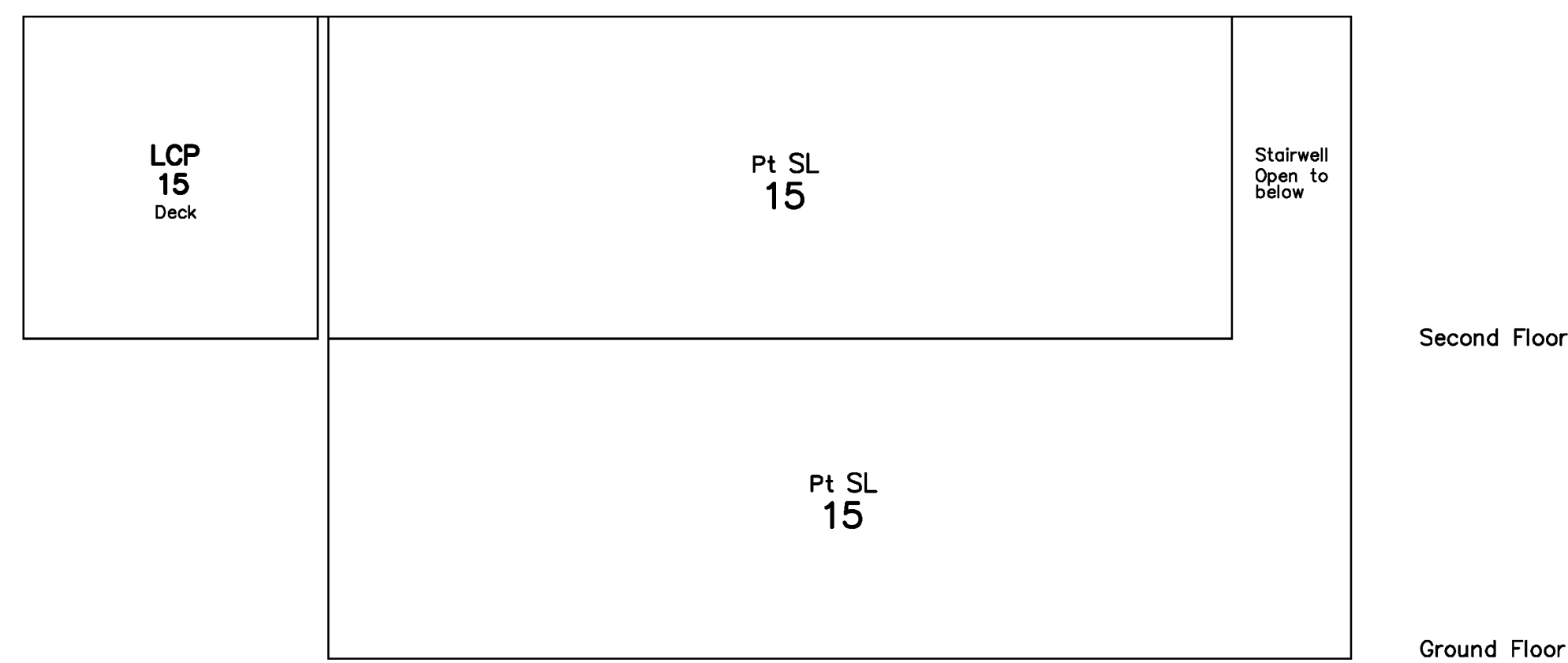
Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Section A - A'



Supplied to StrataDocs 2021/08/10
Ordered by Troy Petersen 2022/04/20

Section B - B'



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File: 24703-2

Server: Common\Colin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, December 5, 2014.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASED STRATA PLAN OF LOT B, DISTRICT LOT 17, RENFREW DISTRICT, PLAN VIP88597

PHASE SEVEN STRATA PLAN EPS1360

BCGS 92C.058



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 400.

LEGEND

- --- Denotes Standard Iron Post Found
- ▲ --- Denotes GNSS Traverse Hub Found

All distances shown are in metres.

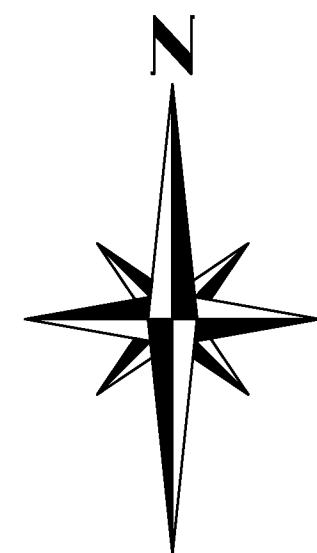
Grid bearings are derived from differential carrier phase GNSS observations and are referred to the central meridian of UTM Zone 10. To obtain local astronomic bearings referred to the meridians through points 482 and 5430 subtract 1° 03' 42".

The UTM coordinates and estimated horizontal positional accuracy achieved are derived from GNSS dual frequency baseline ties to geodetic control monument 877025.

This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.99972912457. The average combined factor has been determined based on an average ellipsoidal elevation of 24.19 metres.

The offsets shown are to the exterior face of concrete foundations. Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

Direction of radial bearing line work may be exaggerated for clarity.



HARBOUR

JUAN

SAN

DL 759

Rem B
PLAN VIP88597

STRATA
PLAN VIS7065

Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
 Projection: UTM Zone10N
 UTM Northing: 5378987.91
 UTM Easting: 395502.82
 Combined SF: 0.99973420
 Convergence: - 1° 03' 42"
 Estimated Horizontal Positional Accuracy: 0.05m

Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
 Projection: UTM Zone10N
 UTM Northing: 5378900.08
 UTM Easting: 395505.17
 Combined SF: 0.99973209
 Convergence: - 1° 03' 42"
 Estimated Horizontal Positional Accuracy: 0.05m

TRAVERSE TABLE OF PRESENT NATURAL BOUNDARY TIES AND TITLE BOUNDARY AS PER PLAN VIP88597

POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE
3377 to 3257	299°06'	15.13	3377 to 3288	245°44'	81.09	3025 to 3326	28°28'	81.88
3377 to 3259	283°00'	16.07	3377 to 3286	247°11'	91.36	3025 to 3327	25°35'	77.39
3377 to 3260	277°04'	13.97	3377 to 3300	246°22'	98.15	3025 to 3329	20°56'	68.96
3377 to 3261	278°17'	10.82	3377 to 3301	244°16'	100.10	3025 to 3330	17°45'	69.48
3377 to 3263	311°14'	5.40	3377 to 3303	237°08'	100.43	3025 to 3332	11°58'	63.84
3377 to 3265	238°51'	4.89	3377 to 3304	236°42'	103.01	3025 to 3334	6°59'	59.32
3377 to 3267	243°31'	17.05	3025 to 3306	51°33'	134.35	3025 to 3335	5°10'	55.93
3377 to 3269	244°31'	26.91	3025 to 3308	47°44'	128.60	3025 to 3339	12°32'	55.02
3377 to 3271	240°01'	34.61	3025 to 3310	44°52'	122.15	3025 to 3340	13°55'	52.67
3377 to 3272	242°21'	37.13	3025 to 3312	44°10'	115.97	3025 to 3341	12°11'	50.82
3377 to 3274	241°26'	42.16	3025 to 3313	42°48'	110.45	3025 to 3342	12°45'	49.04
3377 to 3275	239°49'	41.10	3025 to 3314	41°31'	107.10	3025 to 3343	17°15'	47.77
3377 to 3290	232°38'	30.42	3025 to 3319	40°40'	99.85	3025 to 3345	24°31'	38.76
3377 to 3291	226°42'	27.52	3025 to 3320	41°48'	98.62	3025 to 3347	4°55'	35.66
3377 to 3293	214°40'	32.93	3025 to 3321	41°56'	90.16	3025 to 3349	35°08'	34.37
3377 to 3295	222°11'	40.02	3025 to 3317	37°30'	91.00	3025 to 3350	35°28'	37.62
3377 to 3278	225°50'	46.72	3025 to 3318	36°48'	95.44	3025 to 3352	33°38'	41.08
3377 to 3280	233°03'	53.77	3025 to 3323	34°45'	93.79	3025 to 3353	33°44'	41.93
3377 to 3282	238°24'	62.99	3025 to 3324	32°13'	88.66			
3377 to 3284	242°06'	73.68	3025 to 3325	31°25'	84.76			

Civic Address:
Strata Lot 16 is at 104-6574 Baird Road,
Strata Lot 17 is at 102-6574 Baird Road,
Port Renfrew, B.C.

This plan lies within the Capital Assessment Area.
This plan lies within the Capital Regional District.

The buildings included in this strata plan
have not been previously occupied.

The buildings shown hereon are within the
external boundaries of the land that is
the subject of the strata plan.

The field survey represented by this plan was
completed on the 16th day of January, 2015.
Colin W. Grover, BCLS 827

J.E. ANDERSON & ASSOCIATES
B.C. Land Surveyors - Consulting Engineers
Victoria, Nanaimo and Parksville, B.C.
Phone: 250-727-2214 Web: www.jeanderson.com
File: 24703-2

Server:\Common\Cain\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: Strata_Campground

This plan is Phase Seven of a Twenty One phase strata
plan under section 224 of the Strata Property Act
lying within the jurisdiction of the Approving Officer
for the Ministry of Transportation and Infrastructure.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

GROUND FLOOR – Part of Strata Lots 16 and 17

PHASE SEVEN STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 150.

LEGEND

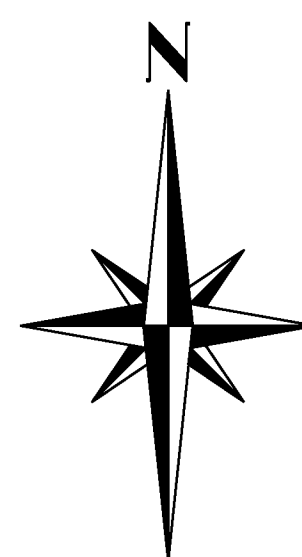
- CP --- Denotes Common Property
- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Unless otherwise noted, all building corners deflect by multiples of 90° from the given reference bearing.



See Sheet 1 for complete PUD dimensions

Rem B
PLAN VIP88597

Supplied to StrataDocs 2021/08/10
Ordered by Troy Petersen 2022/04/20

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File: 24703-2

Server: Common\Calin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, January 16, 2015.

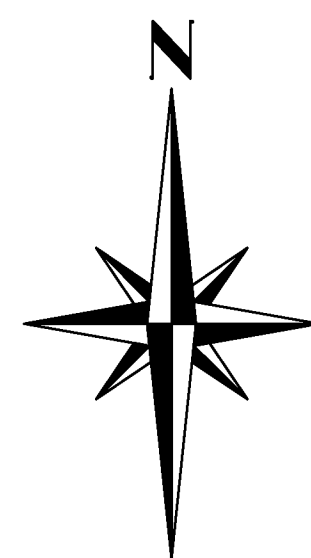
Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

SECOND FLOOR (TOP) – Part of Strata Lots 16 and 17

PHASE SEVEN STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.



LEGEND

- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

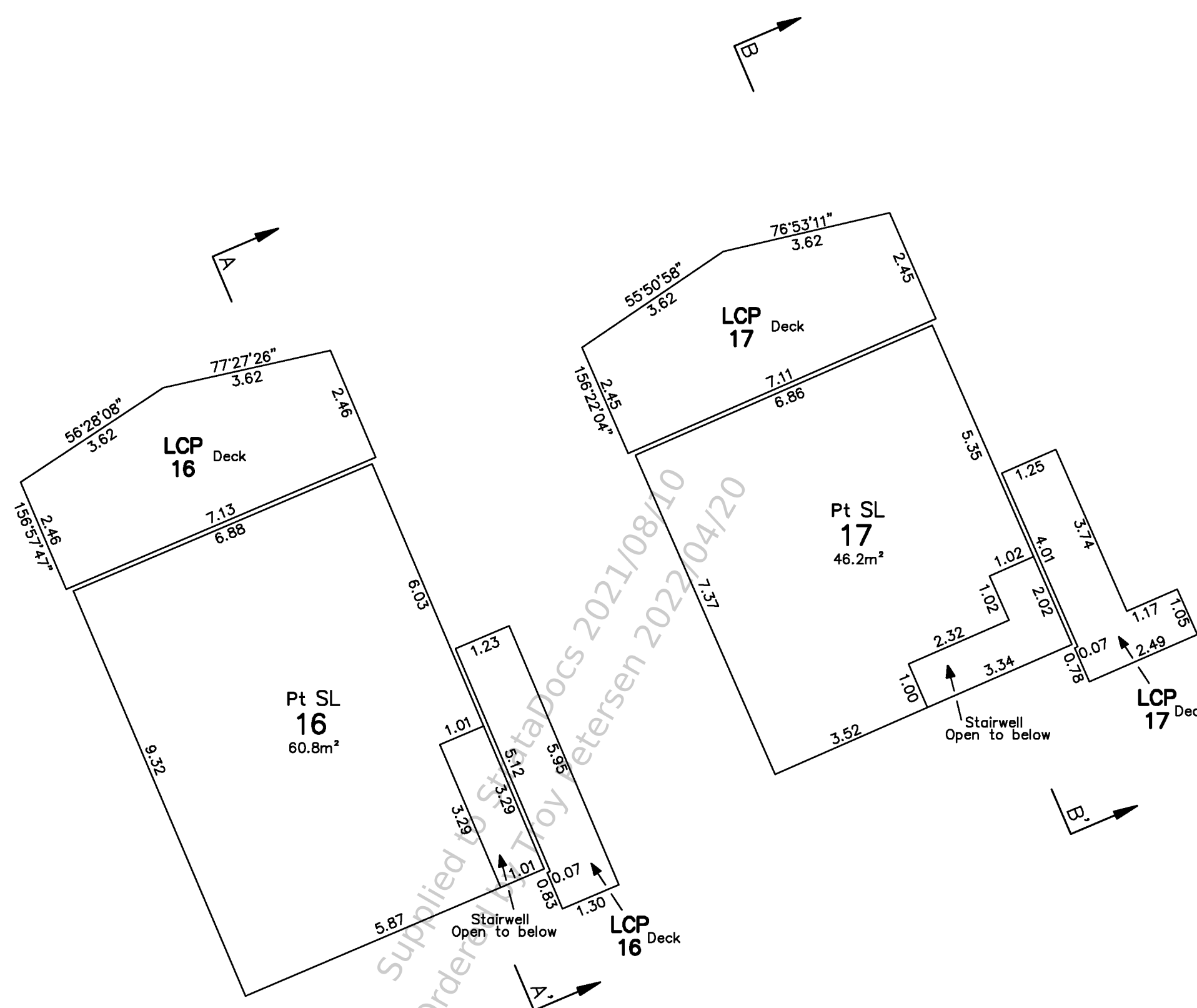
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to the exterior face of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



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 File: 24703-2

Server: Common\Colin\24963_PORT_RENFREW\24963LDDPRJ\dwg\PortRenfrew.dwg
 Layout: StrataB_Campground

Colin W. Grover, BCLS 627, January 16, 2015.

PHASE SEVEN
STRATA PLAN EPS1360

CROSS SECTIONS



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
Pt --- Denotes Part

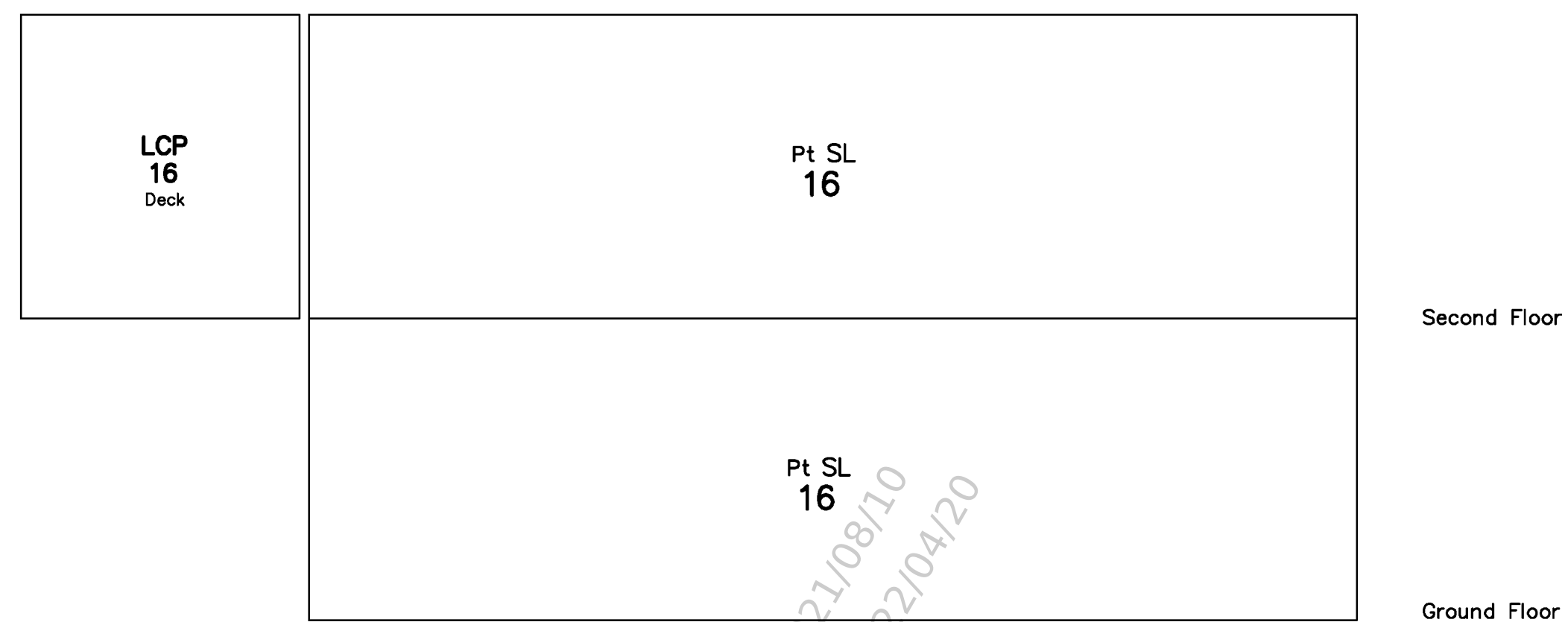
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to the exterior face of walls.

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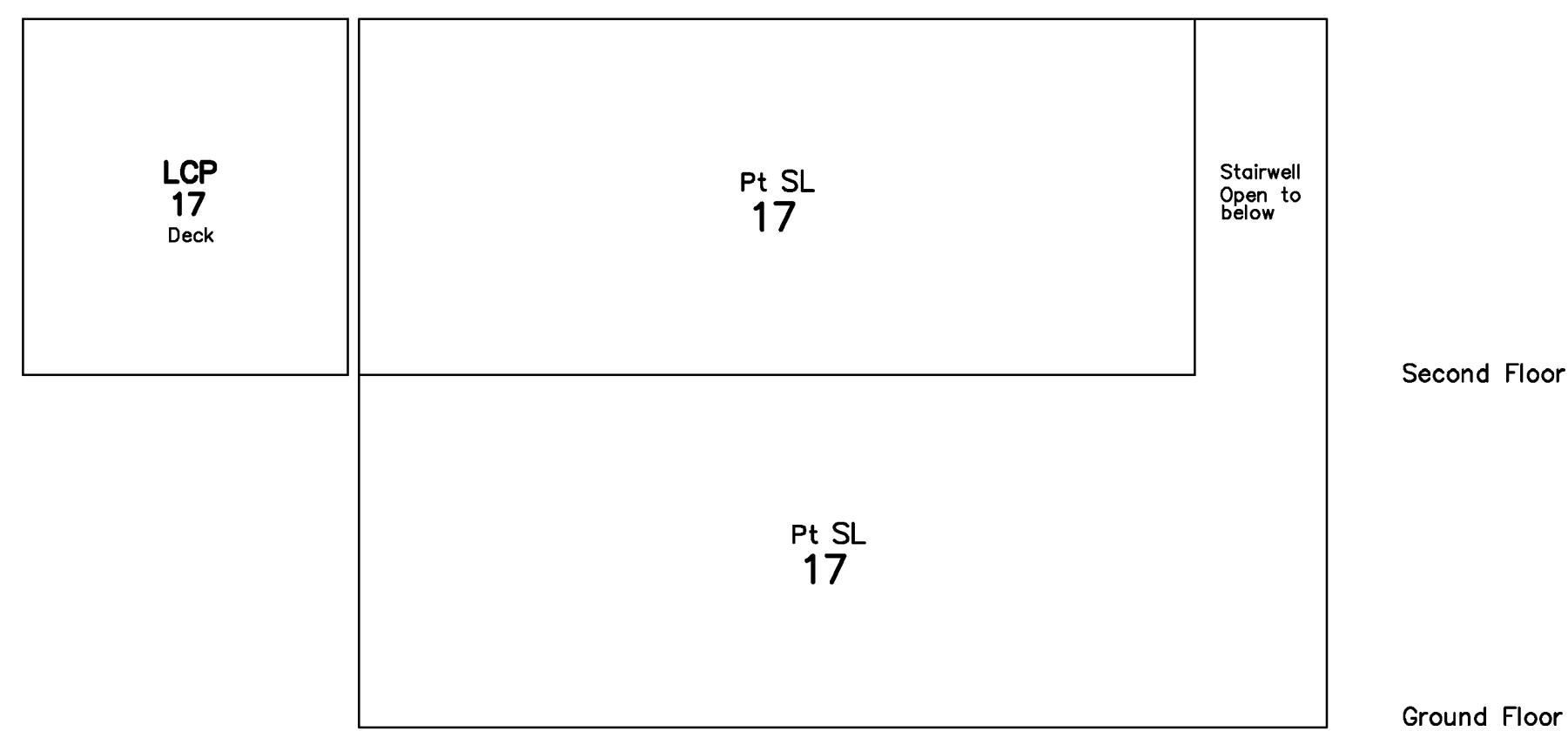
Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Section A - A'



Supplied to StrataDocs 2021/08/10
Ordered by Troy Petersen 2022/04/20

Section B - B'



Uploaded: Aug 10, 2021 Verified: Aug 10, 2021

PHASED STRATA PLAN OF LOT B, DISTRICT LOT 17, RENFREW DISTRICT, PLAN VIP88597

PHASE EIGHT STRATA PLAN EPS1360

BCGS 92C.058



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 400.

LEGEND

- --- Denotes Standard Iron Post Found
- ▲ --- Denotes GNSS Traverse Hub Found

All distances shown are in metres.

Grid bearings are derived from differential carrier phase GNSS observations and are referred to the central meridian of UTM Zone 10. To obtain local astronomic bearings referred to the meridians through points 482 and 5430 subtract 1° 03' 42".

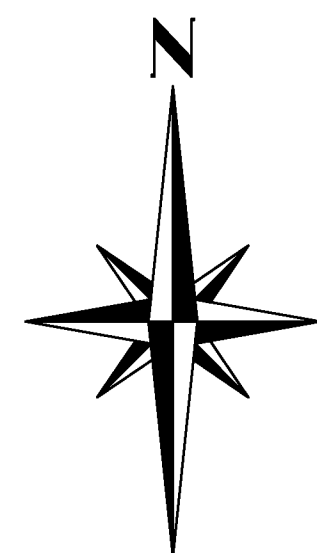
The UTM coordinates and estimated horizontal positional accuracy achieved are derived from GNSS dual frequency baseline ties to geodetic control monument 877025.

This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.99972912457. The average combined factor has been determined based on an average ellipsoidal elevation of 24.19 metres.

The offsets shown are to the exterior face of concrete foundations.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

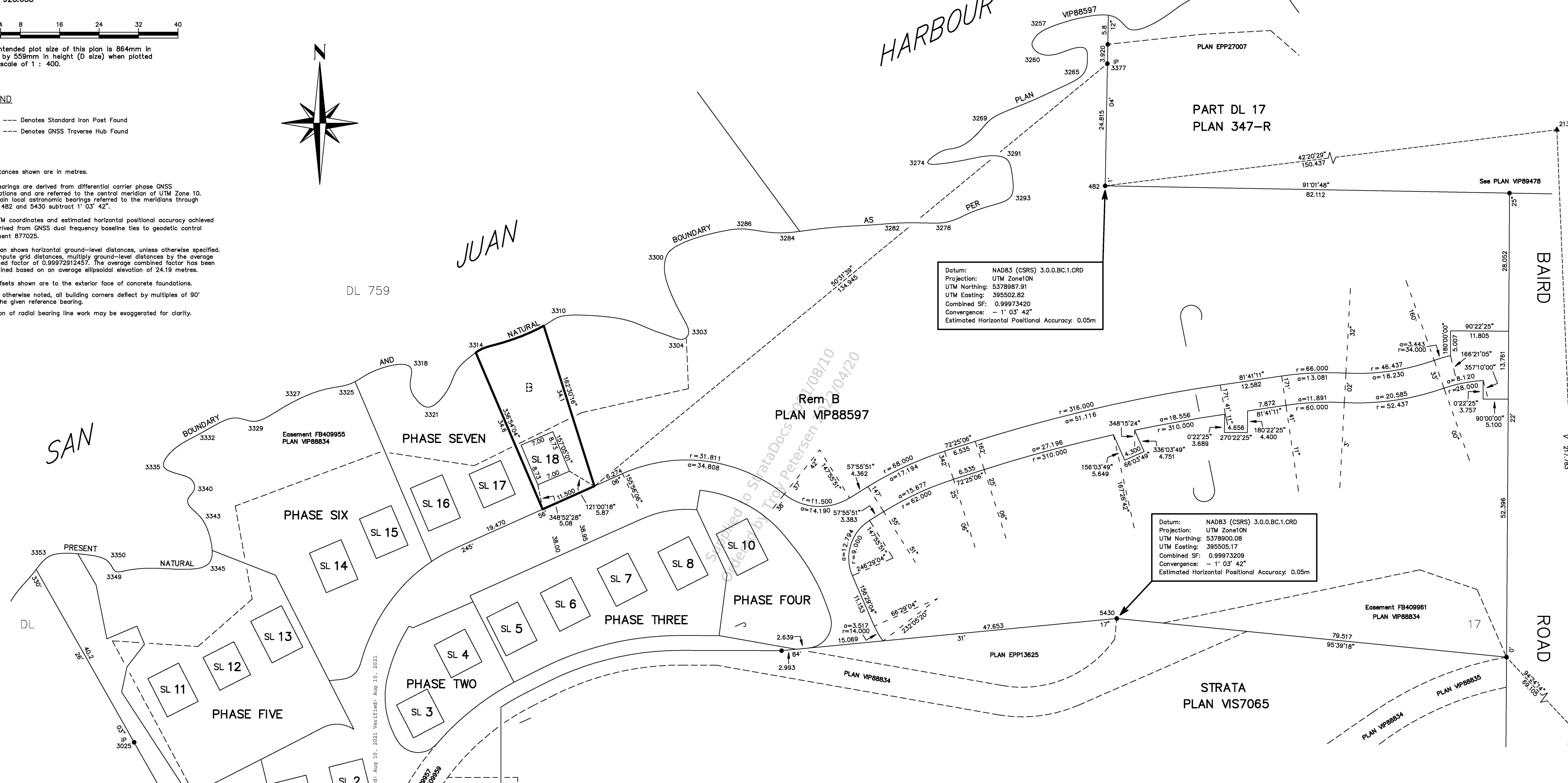
Direction of radial bearing line work may be exaggerated for clarity.



HARBOUR

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Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
 Projection: UTM Zone10N
 UTM Northing: 5378987.91
 UTM Easting: 395502.82
 Combined SF: 0.99973420
 Convergence: - 1° 03' 42"
 Estimated Horizontal Positional Accuracy: 0.05m

Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
 Projection: UTM Zone10N
 UTM Northing: 5378900.08
 UTM Easting: 395505.17
 Combined SF: 0.99973209
 Convergence: - 1° 03' 42"
 Estimated Horizontal Positional Accuracy: 0.05m

TRAVERSE TABLE OF PRESENT NATURAL BOUNDARY TIES AND TITLE BOUNDARY AS PER PLAN VIP88597

POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE
3377 to 3257	299°06'	15.13	3377 to 3286	245°44'	81.09	3025 to 3326	28°28'	81.88
3377 to 3259	283°00'	16.07	3377 to 3288	247°11'	91.36	3025 to 3327	25°35'	77.39
3377 to 3260	277°04'	13.97	3377 to 3300	246°22'	98.15	3025 to 3329	20°56'	68.96
3377 to 3261	278°17'	10.82	3377 to 3301	244°46'	100.10	3025 to 3330	17°45'	68.48
3377 to 3263	311°14'	5.40	3377 to 3303	237°08'	100.43	3025 to 3332	11°58'	63.84
3377 to 3265	238°51'	4.89	3377 to 3304	236°42'	103.01	3025 to 3334	6°59'	59.32
3377 to 3267	243°31'	17.05	3025 to 3306	51°33'	134.35	3025 to 3335	5°10'	55.93
3377 to 3269	244°31'	26.91	3025 to 3308	47°44'	128.60	3025 to 3339	12°32'	55.02
3377 to 3271	240°01'	34.61	3025 to 3310	44°52'	122.15	3025 to 3340	13°55'	52.67
3377 to 3272	242°21'	37.13	3025 to 3312	44°10'	115.97	3025 to 3341	12°11'	50.82
3377 to 3274	241°26'	42.16	3025 to 3313	42°48'	110.45	3025 to 3342	12°45'	49.04
3377 to 3275	239°49'	41.10	3025 to 3314	41°31'	107.10	3025 to 3343	17°15'	47.77
3377 to 3276	232°38'	30.42	3025 to 3319	40°40'	99.85	3025 to 3345	24°31'	38.76
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3377 to 3280	233°03'	53.77	3025 to 3321	41°56'	90.16	3025 to 3349	35°08'	34.37
3377 to 3282	238°24'	62.99	3025 to 3317	37°30'	91.00	3025 to 3350	35°28'	37.62
3377 to 3284	242°06'	73.68	3025 to 3318	36°48'	95.44	3025 to 3352	33°38'	41.08
			3025 to 3323	34°45'	93.79	3025 to 3353	33°47'	41.93
			3025 to 3324	32°13'	88.66			
			3025 to 3325	31°25'	84.76			

Civic Address:
Strata Lot 18 is at 100-6574 Baird Road,
Port Renfrew, B.C.

This plan lies within the Capital Assessment Area.
This plan lies within the Capital Regional District.

The buildings included in this strata plan
have not been previously occupied.

The buildings shown hereon are within the
external boundaries of the land that is
the subject of the strata plan.

The field survey represented by this plan was
completed on the 24th day of February, 2015.
Colin W. Grover, BCLS 827

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 B.C. Land Surveyors - Consulting Engineers
 Victoria, Nanaimo and Parksville, B.C.
 Phone: 250-727-2214 Web: www.jeanderson.com
 File: 24703-2

Server:\Common\Coin\24963_PORT_RENFREW\24963LDDPRJ\dwg\PortRenfrew.dwg
 Layout: StrataCompground

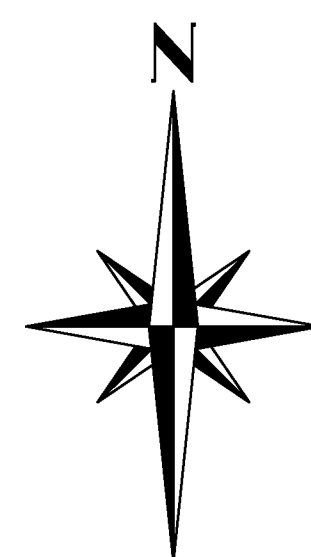
Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

GROUND FLOOR – Part of Strata Lot 18

PHASE EIGHT STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 150.



LEGEND

- CP --- Denotes Common Property
- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

Rem B
PLAN VIP88597

Pt SL 18
58.8m²
Total Area
113.5m²

Supplied to StrataDocs 2021/08/10
Ordered by Troy Petersen 2022/04/20

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Phone: 250-727-2214 Web: www.jeanderson.com
File: 24703-2

Server: \\Common\Colin\24963_PORT_RENFREW\24963LDDPRJ\dwg\PortRenfrew.dwg
Layout: Strata8_Campground

Colin W. Grover, BCLS 827, February 24, 2015.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

SECOND FLOOR (TOP) – Part of Strata Lot 18

Sheet 3 of 4 Sheets
PHASE EIGHT
STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.

LEGEND

- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

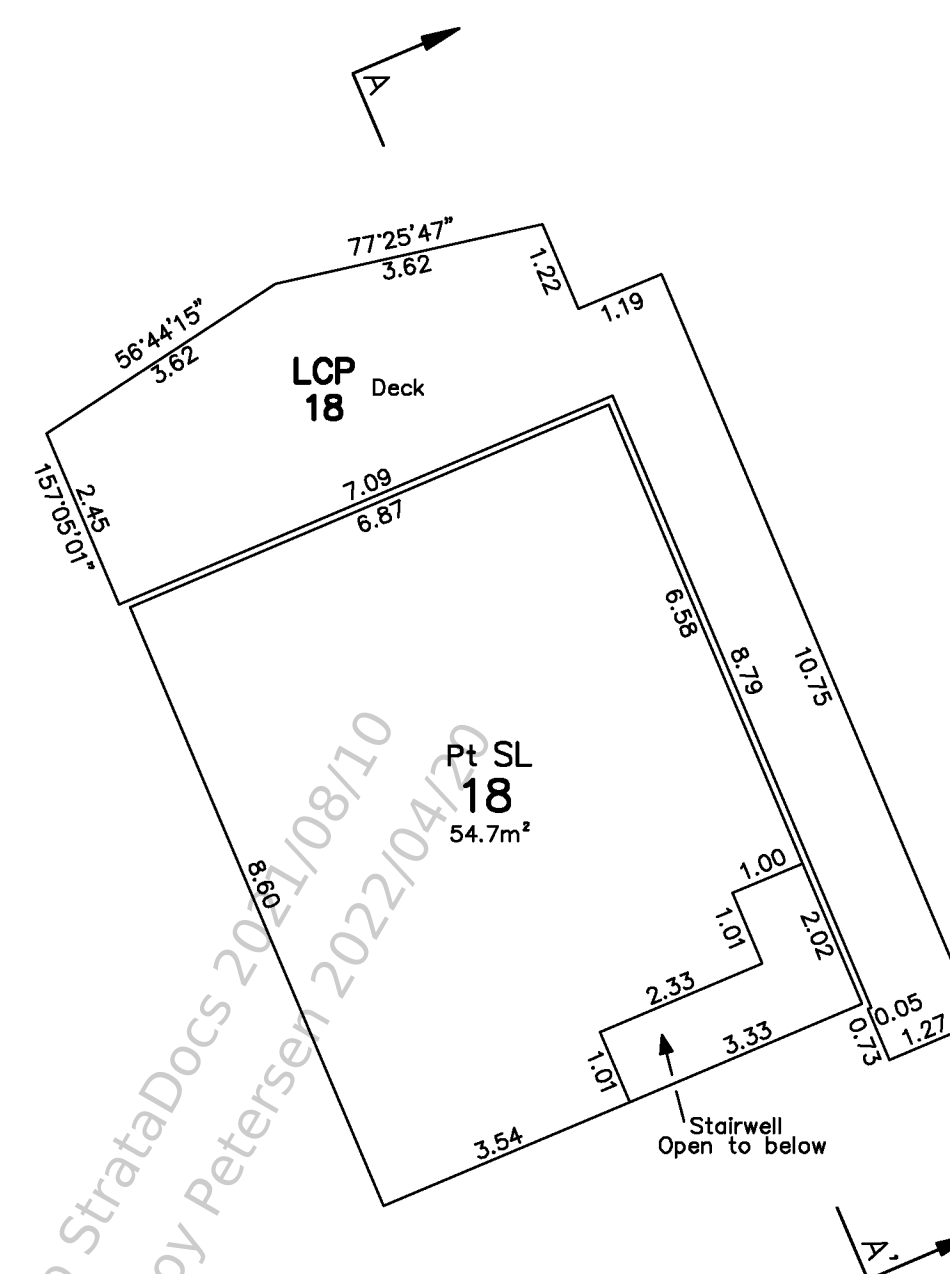
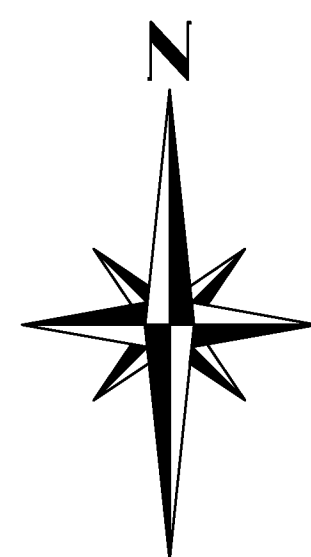
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to the exterior face of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



Supplied to StrataDocs 2021/08/10
Ordered by Troy Petersen 2022/04/20

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File: 24703-2

Server: Common\Colin\24963_PORT_RENFREW\24963LDDPRJ\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, February 24, 2015.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE EIGHT STRATA PLAN EPS1360

CROSS SECTIONS



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
Pt --- Denotes Part

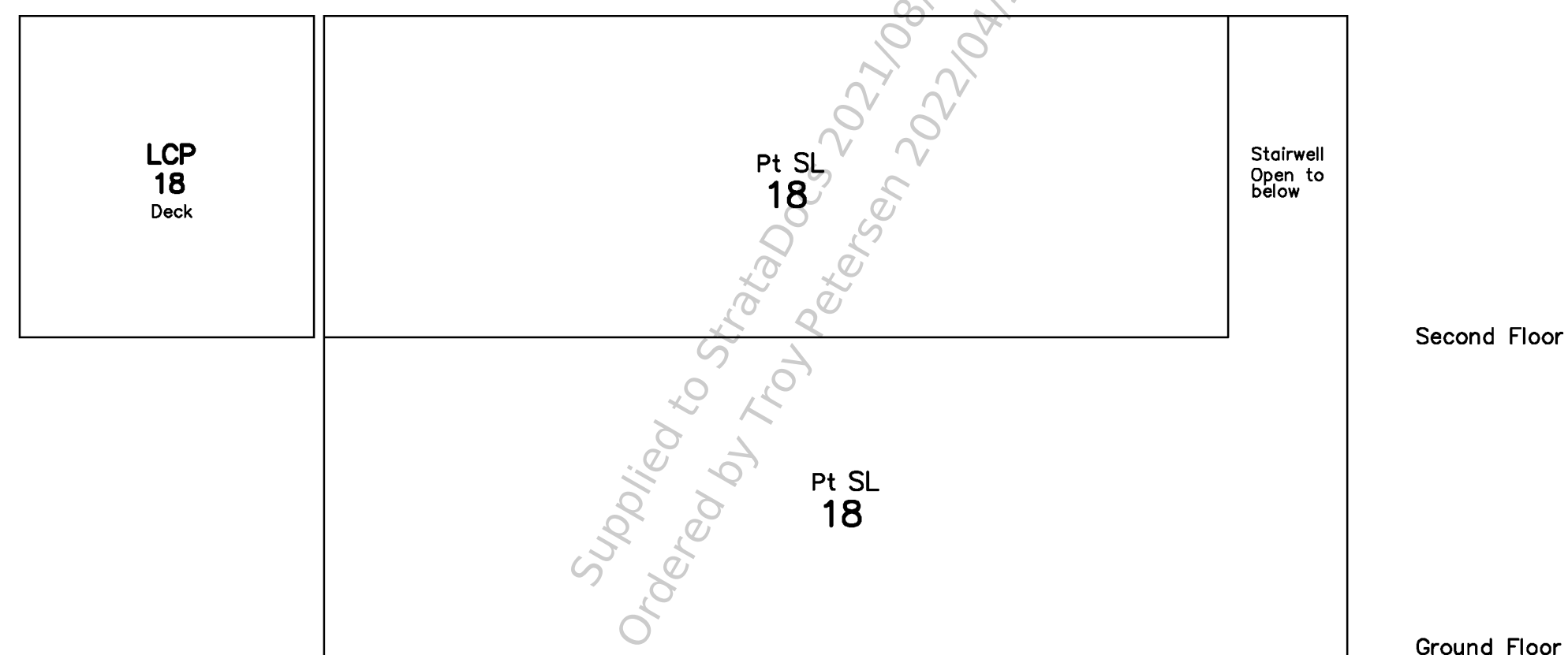
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to the exterior face of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Section A - A'



Uploaded: Aug 10, 2021 Verified: Aug 10, 2021

J.E. ANDERSON & ASSOCIATES
B.C. Land Surveyors - Consulting Engineers
Victoria, Nanaimo and Parksville, B.C.
Phone: 250-727-2214 Web: www.jeanderson.com
File: 24703-2

Server: Common\Colin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, February 24, 2015.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASED STRATA PLAN OF LOT B, DISTRICT LOT 17, RENFREW DISTRICT, PLAN VIP88597

PHASE NINE STRATA PLAN EPS1360

BCGS 92C.058



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 400.

LEGEND

- --- Denotes Standard Iron Post Found
- ▲ --- Denotes GNSS Traverse Hub Found

All distances shown are in metres.

Grid bearings are derived from differential carrier phase GNSS observations and are referred to the central meridian of UTM Zone 10. To obtain local astronomic bearings referred to the meridians through points 482 and 5430 subtract 1° 03' 42".

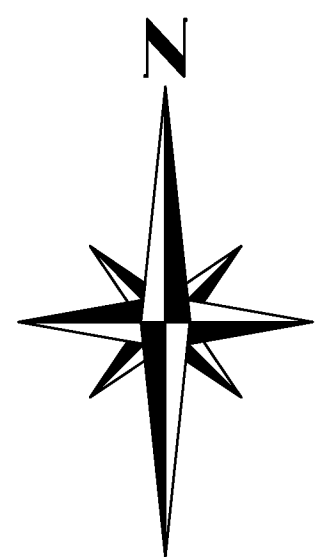
The UTM coordinates and estimated horizontal positional accuracy achieved are derived from GNSS dual frequency baseline ties to geodetic control monument 877025.

This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.99972912457. The average combined factor has been determined based on an average ellipsoidal elevation of 24.19 metres.

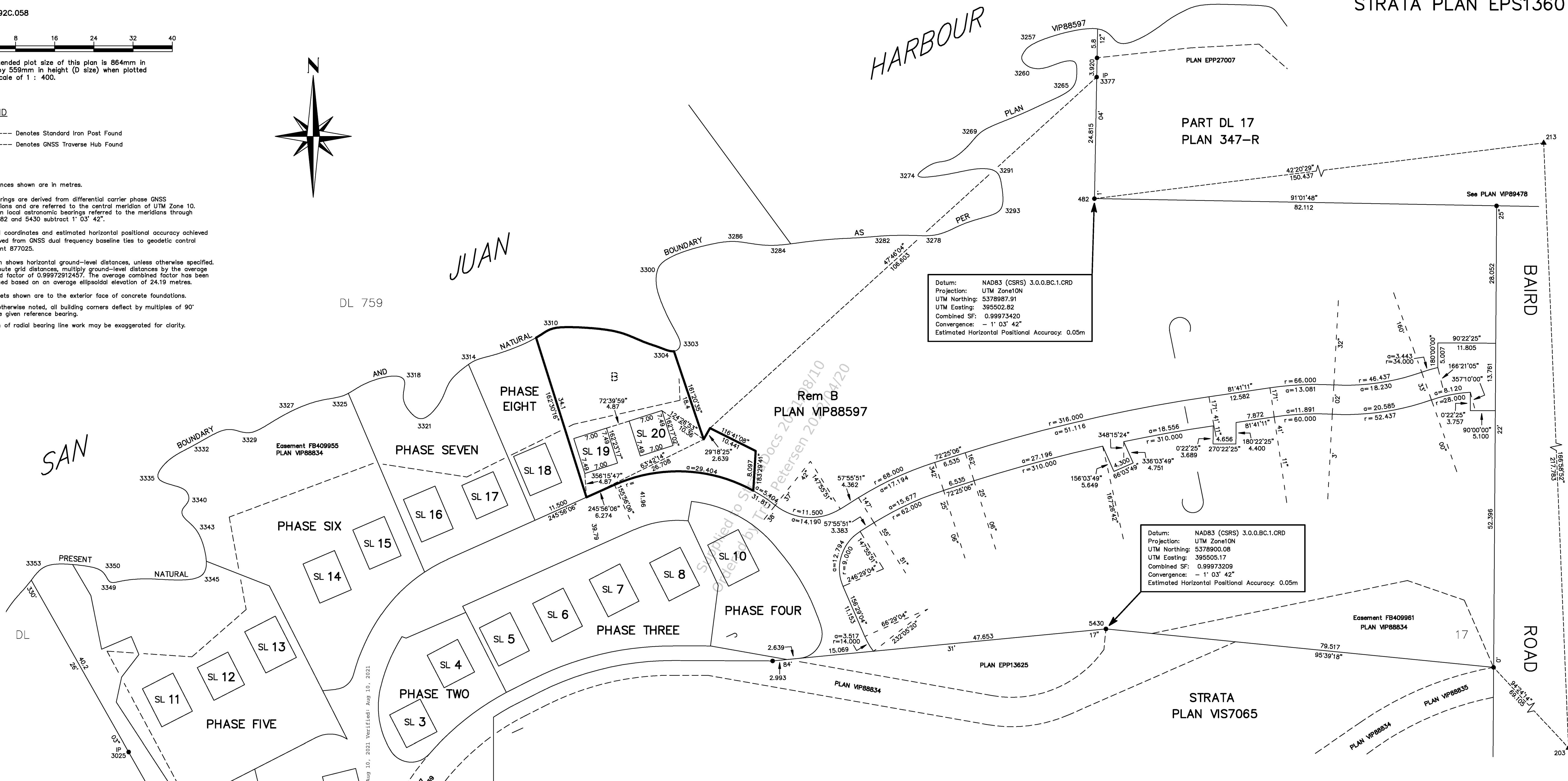
The offsets shown are to the exterior face of concrete foundations.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

Direction of radial bearing line work may be exaggerated for clarity.



DL 759



Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
 Projection: UTM Zone10N
 UTM Northing: 5378987.91
 UTM Easting: 395502.82
 Combined SF: 0.99973420
 Convergence: - 1° 03' 42"
 Estimated Horizontal Positional Accuracy: 0.05m

Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
 Projection: UTM Zone10N
 UTM Northing: 5378900.08
 UTM Easting: 395505.17
 Combined SF: 0.99973209
 Convergence: - 1° 03' 42"
 Estimated Horizontal Positional Accuracy: 0.05m

TRAVERSE TABLE OF PRESENT NATURAL BOUNDARY TIES AND TITLE BOUNDARY AS PER PLAN VIP88597

POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE
3377 to 3257	299°06'	15.13	3377 to 3286	245°44'	81.09	3025 to 3326	28°28'	81.88
3377 to 3259	283°00'	16.07	3377 to 3288	247°11'	91.36	3025 to 3327	25°35'	77.39
3377 to 3260	277°04'	13.97	3377 to 3300	246°22'	98.15	3025 to 3329	20°56'	68.96
3377 to 3261	278°17'	10.82	3377 to 3301	244°16'	100.10	3025 to 3330	17°45'	68.48
3377 to 3263	311°14'	5.40	3377 to 3303	237°08'	100.43	3025 to 3332	11°58'	63.84
3377 to 3265	238°51'	4.89	3377 to 3304	236°42'	103.01	3025 to 3334	6°59'	59.32
3377 to 3267	243°31'	17.05	3025 to 3306	51°33'	134.35	3025 to 3335	5°10'	55.93
3377 to 3269	244°31'	26.91	3025 to 3308	47°44'	128.60	3025 to 3339	12°32'	56.02
3377 to 3271	240°01'	34.61	3025 to 3310	44°52'	122.15	3025 to 3340	13°55'	52.67
3377 to 3272	242°21'	37.13	3025 to 3312	44°10'	115.97	3025 to 3341	12°11'	50.82
3377 to 3274	241°26'	42.16	3025 to 3313	42°48'	110.45	3025 to 3342	12°45'	49.04
3377 to 3275	239°49'	41.10	3025 to 3314	41°31'	107.10	3025 to 3343	17°15'	47.77
3377 to 3280	232°38'	30.42	3025 to 3319	40°40'	99.85	3025 to 3345	24°31'	36.76
3377 to 3291	228°42'	27.52	3025 to 3320	41°48'	96.62	3025 to 3347	4°55'	33.66
3377 to 3293	214°40'	32.93	3025 to 3321	41°56'	90.16	3025 to 3349	353°08'	34.37
3377 to 3295	222°11'	40.02	3025 to 3317	37°30'	91.00	3025 to 3350	352°28'	37.62
3377 to 3278	225°50'	46.72	3025 to 3318	36°48'	95.44	3025 to 3352	339°38'	41.08
3377 to 3280	233°03'	53.77	3025 to 3323	34°45'	93.79	3025 to 3353	334°47'	41.93
3377 to 3282	238°24'	62.99	3025 to 3324	32°13'	88.66			
3377 to 3284	242°06'	73.68	3025 to 3325	31°25'	84.76			

Civic Address:
 Strata Lot 19 is at 98-6574 Baird Road,
 Strata Lot 20 is at 96-6574 Baird Road,
 Port Renfrew, B.C.

This plan lies within the Capital Assessment Area.
 This plan lies within the Capital Regional District.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within the external boundaries of the land that is the subject of the strata plan.

The field survey represented by this plan was completed on the 20th day of April, 2015.
 Colin W. Grover, BCLS 827

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 Victoria, Nanaimo and Parksville, B.C.
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 File: 24703-2

Server:\Common\Colin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
 Layout: StrataB_Compground

This plan is Phase Nine of a Twenty One phase strata plan under section 224 of the Strata Property Act lying within the jurisdiction of the Approving Officer for the Ministry of Transportation and Infrastructure.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE NINE STRATA PLAN EPS1360

GROUND FLOOR – Part of Strata Lots 19 and 20



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 150.

LEGEND

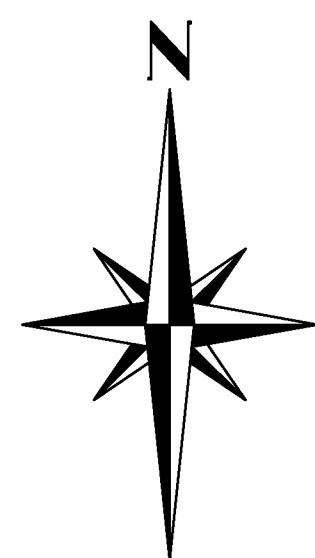
- CP --- Denotes Common Property
- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



See Sheet 1 for complete PNB dimensions

Supplied by StrataDocs 2022/08/10
Ordered by Troy Petersen 2022/04/20



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Server:\Common\Colin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
 Layout: StrataB_Campground

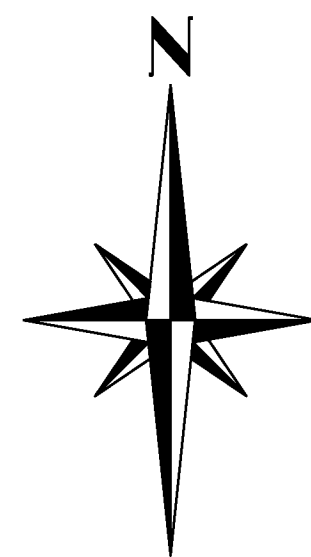
Colin W. Grover, BCLS 827, April 20, 2015.

SECOND FLOOR (TOP) – Part of Strata Lots 19 and 20

PHASE NINE STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.



LEGEND

- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

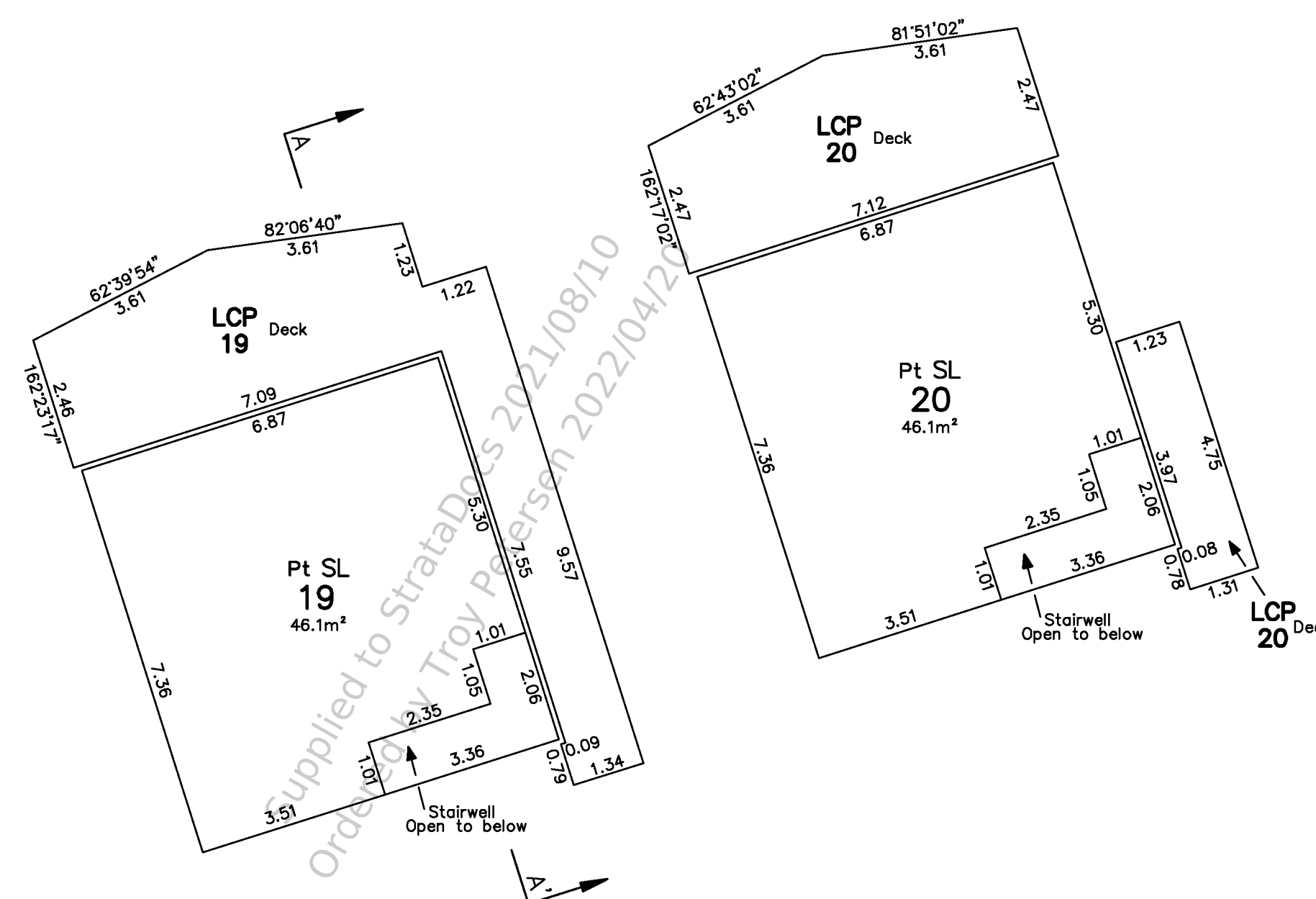
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to the exterior face of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



Uploaded: Aug 10, 2021 Verified: Aug 10, 2021

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Server: Common\Colin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
 Layout: StrataB_Campground

Colin W. Grover, BCLS 827, April 20, 2015.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE NINE
STRATA PLAN EPS1360

CROSS SECTIONS



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
Pt --- Denotes Part

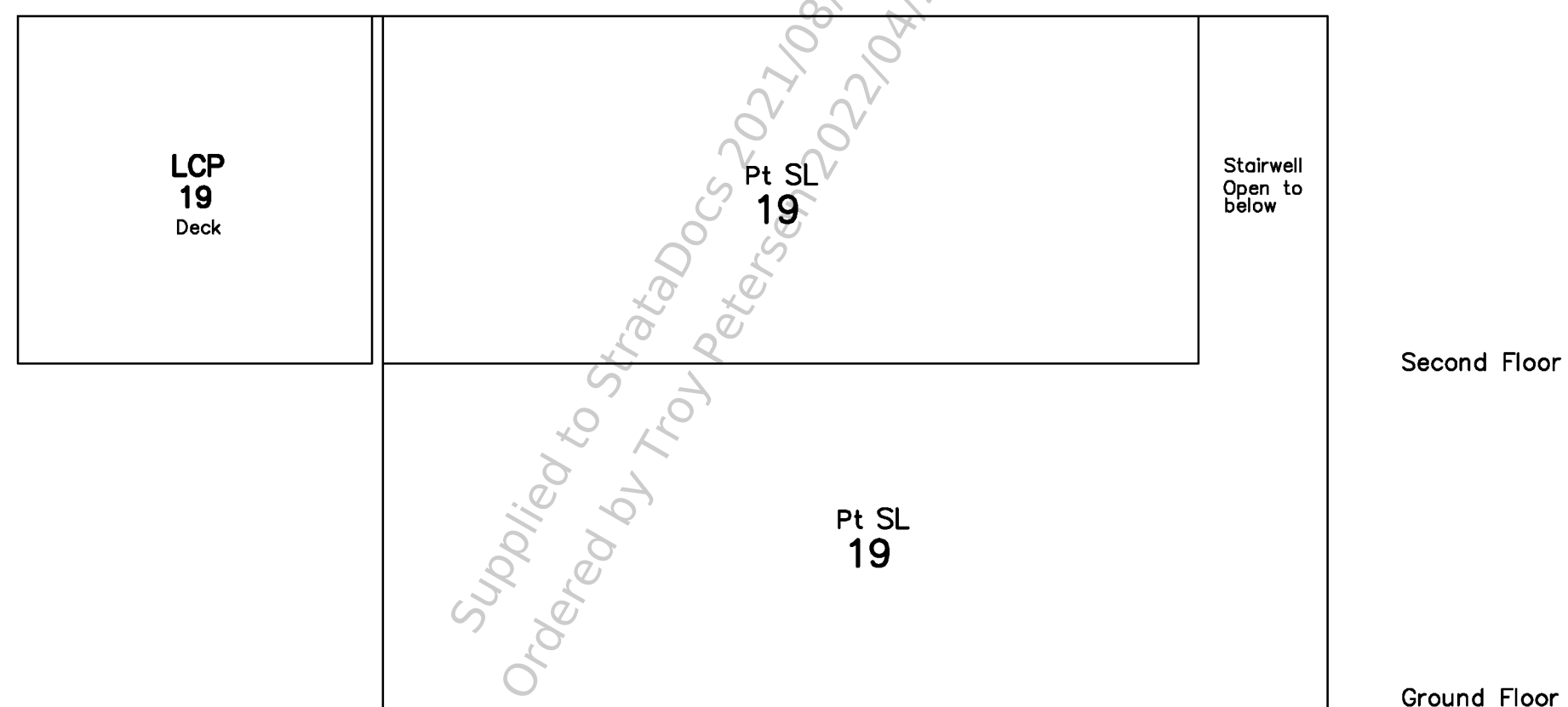
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to the exterior face of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Section A - A'
Typical Cross Section for Strata Lots 19 and 20



Supplied to StrataDocs 2021/08/10
Ordered by Troy Petersen 2022/04/20

Uploaded: Aug 10, 2021, Verified: Aug 10, 2021

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File: 24703-2

Server: Common\Colin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, April 20, 2015.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASED STRATA PLAN OF LOT B, DISTRICT LOT 17, RENFREW DISTRICT, PLAN VIP88597

PHASE TEN STRATA PLAN EPS1360

BCGS 92C.058



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 400.

LEGEND

- --- Denotes Standard Iron Post Found
- ▲ --- Denotes GNSS Traverse Hub Found
- Rk --- Denotes Short Iron Post Set in Rock

All distances shown are in metres.

Grid bearings are derived from differential carrier phase GNSS observations and are referred to the central meridian of UTM Zone 10.

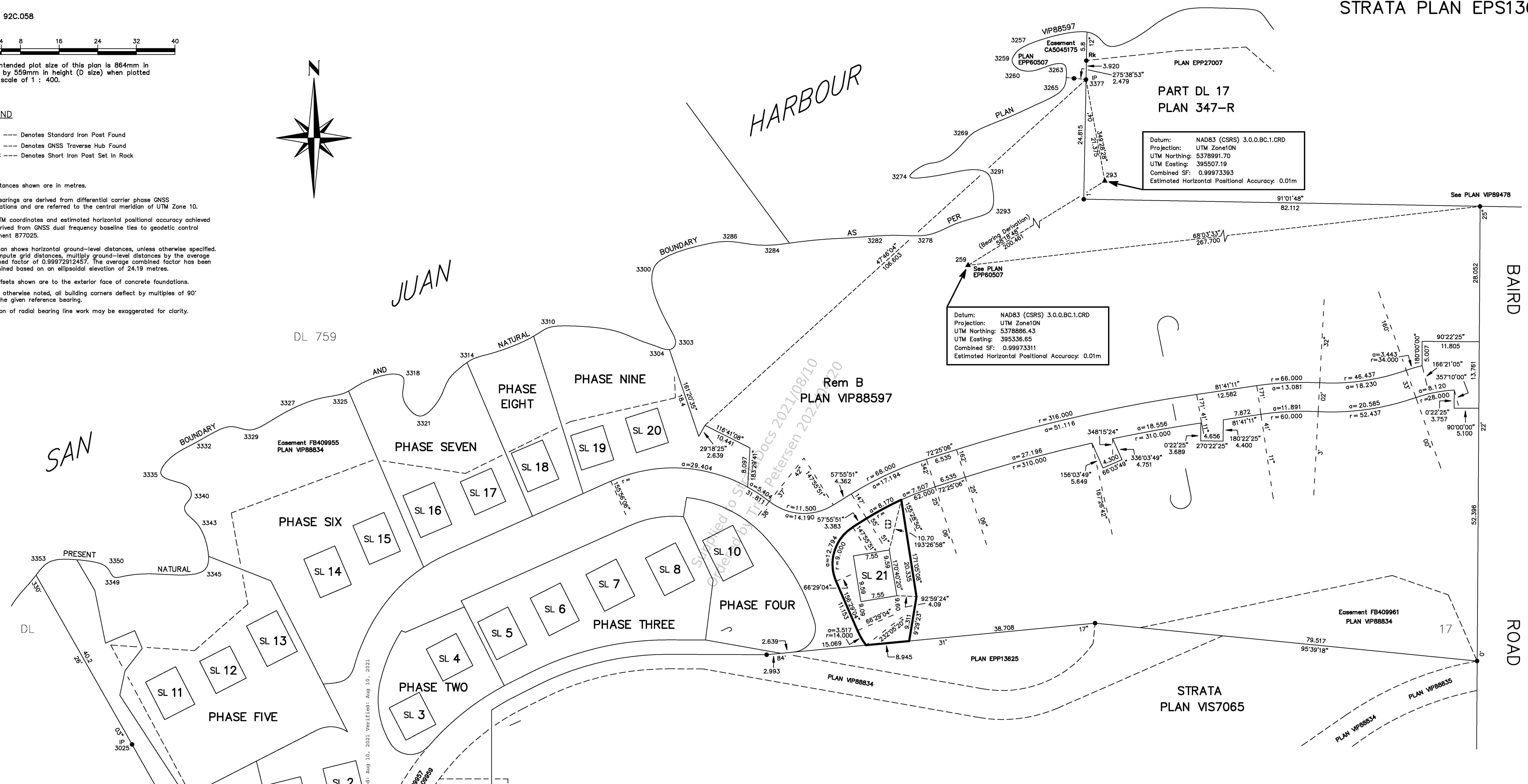
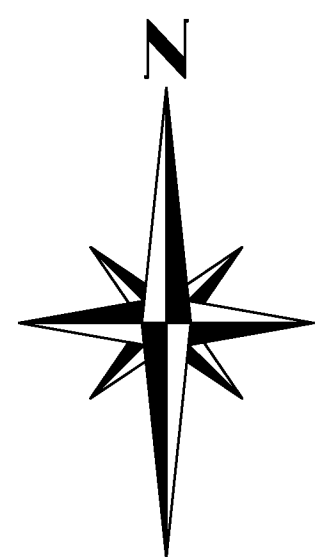
The UTM coordinates and estimated horizontal positional accuracy achieved are derived from GNSS dual frequency baseline ties to geodetic control monument 877025.

This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.99972912457. The average combined factor has been determined based on an ellipsoidal elevation of 24.19 metres.

The offsets shown are to the exterior face of concrete foundations.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

Direction of radial bearing line work may be exaggerated for clarity.



TRAVERSE TABLE OF PRESENT NATURAL BOUNDARY TIES AND TITLE BOUNDARY AS PER PLAN VIP88597

POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE
3377 to 3257	299°06'	15.13	3377 to 3286	245°44'	81.09	3025 to 3326	28°28'	81.88
3377 to 3259	283°00'	16.07	3377 to 3288	247°11'	91.36	3025 to 3327	25°35'	77.39
3377 to 3260	277°04'	13.97	3377 to 3300	246°22'	98.15	3025 to 3329	20°56'	68.96
3377 to 3261	278°17'	10.82	3377 to 3301	244°16'	100.10	3025 to 3330	17°45'	69.48
3377 to 3263	311°14'	5.40	3377 to 3303	237°08'	100.43	3025 to 3332	11°58'	63.84
3377 to 3265	238°51'	4.89	3377 to 3304	236°42'	103.01	3025 to 3334	6°59'	59.32
3377 to 3267	243°31'	17.05	3025 to 3306	51°33'	134.35	3025 to 3335	5°10'	55.93
3377 to 3269	244°31'	26.91	3025 to 3308	47°44'	128.60	3025 to 3339	12°32'	55.02
3377 to 3271	240°01'	34.61	3025 to 3310	44°52'	122.15	3025 to 3340	13°55'	52.67
3377 to 3272	242°21'	37.13	3025 to 3312	44°10'	115.97	3025 to 3341	12°11'	50.82
3377 to 3274	241°26'	42.16	3025 to 3313	42°48'	110.45	3025 to 3342	12°45'	49.04
3377 to 3275	239°49'	41.10	3025 to 3314	41°31'	107.10	3025 to 3343	17°15'	47.77
3377 to 3276	232°38'	30.42	3025 to 3319	40°40'	99.85	3025 to 3345	24°31'	36.76
3377 to 3291	228°42'	27.52	3025 to 3320	41°48'	98.62	3025 to 3347	4°55'	35.66
3377 to 3293	214°40'	32.93	3025 to 3321	41°56'	90.16	3025 to 3349	35°08'	34.37
3377 to 3295	222°11'	40.02	3025 to 3317	37°30'	91.00	3025 to 3350	35°28'	37.62
3377 to 3278	225°50'	95.72	3025 to 3318	36°48'	95.44	3025 to 3352	33°38'	41.08
3377 to 3280	233°03'	53.77	3025 to 3323	34°45'	93.79	3025 to 3353	33°44'	41.93
3377 to 3282	238°24'	82.89	3025 to 3324	32°13'	88.66			
3377 to 3284	242°06'	73.68	3025 to 3325	31°25'	84.76			

This plan is Phase Ten of a Twenty One phase strata plan under section 224 of the Strata Property Act lying within the jurisdiction of the Approving Officer for the Ministry of Transportation and Infrastructure.

J.E. ANDERSON & ASSOCIATES
B.C. Land Surveyors - Consulting Engineers
Victoria, Nanaimo and Parksville, B.C.
Phone: 250-727-2214 Web: www.jeanderson.com
File: 24703-2

Civic Address:
Strata Lot 21 is at 121-6574 Baird Road,
Port Renfrew, B.C.

This plan lies within the Capital Assessment Area.
This plan lies within the Capital Regional District.

The buildings included in this strata plan
have not been previously occupied.

The buildings shown hereon are within the
external boundaries of the land that is
the subject of the strata plan.

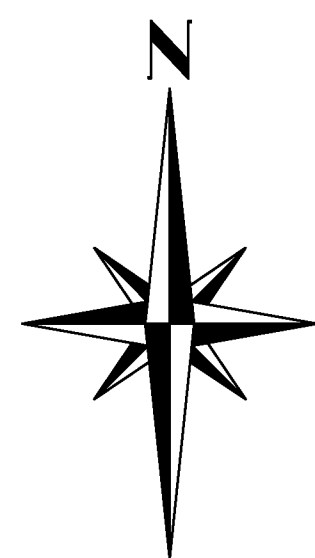
The field survey represented by this plan was
completed on the 22nd day of April, 2016.
Colin W. Grover, BCLS 827

Server:\Common\Colin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Compground

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

BASEMENT FLOOR – Part of Strata Lot 21

Sheet 2 of 5 Sheets
PHASE TEN
STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.

LEGEND

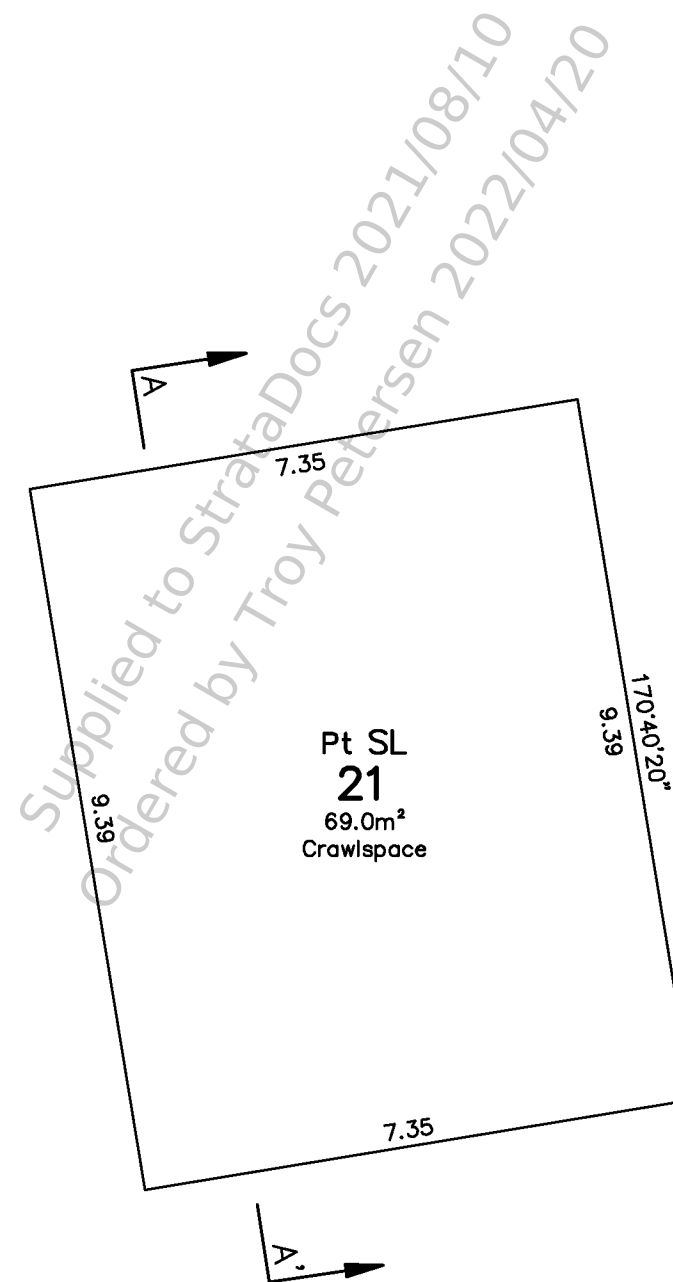
Pt --- Denotes Part

All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



Uploaded: Aug 10, 2021, Verified: Aug 10, 2021

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Server: Common\Colin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, April 22, 2016.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE TEN STRATA PLAN EPS1360

GROUND FLOOR – Part of Strata Lot 21



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 150.

LEGEND

- CP --- Denotes Common Property
- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

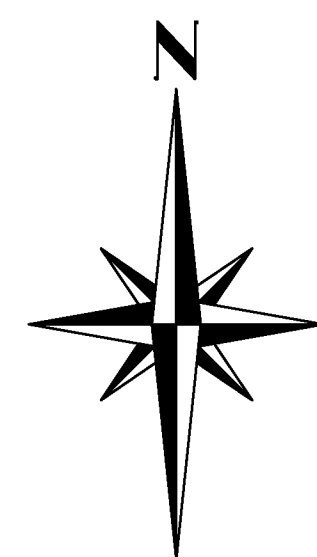
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to the exterior face of walls.

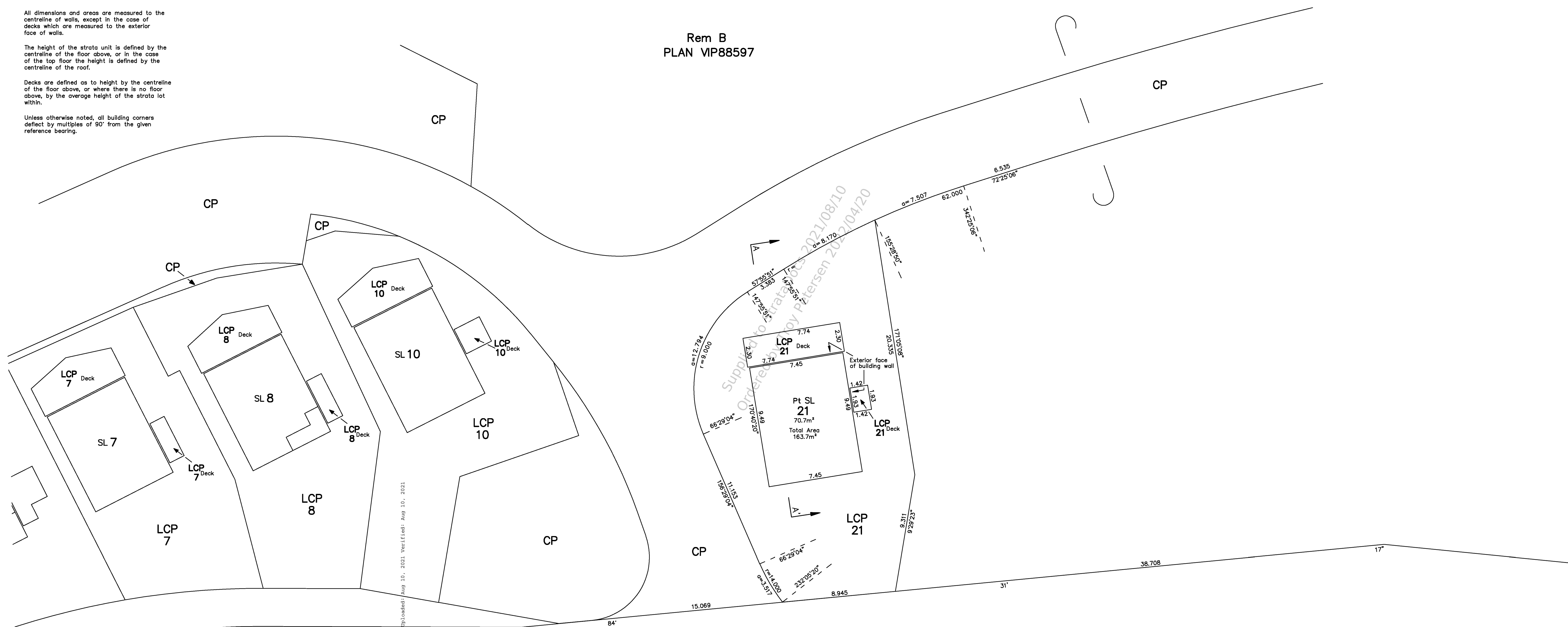
The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



Rem B
PLAN VIP88597



STRATA
PLAN VS7065

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 File: 24703-2

Server:\Common\Colln\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
 Layout: StrataB_Campground

Colin W. Grover, BCLS 827, April 22, 2016.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE TEN STRATA PLAN EPS1360

SECOND FLOOR (TOP) – Part of Strata Lot 21



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part
- --- Denotes Perimeter of Floor Below

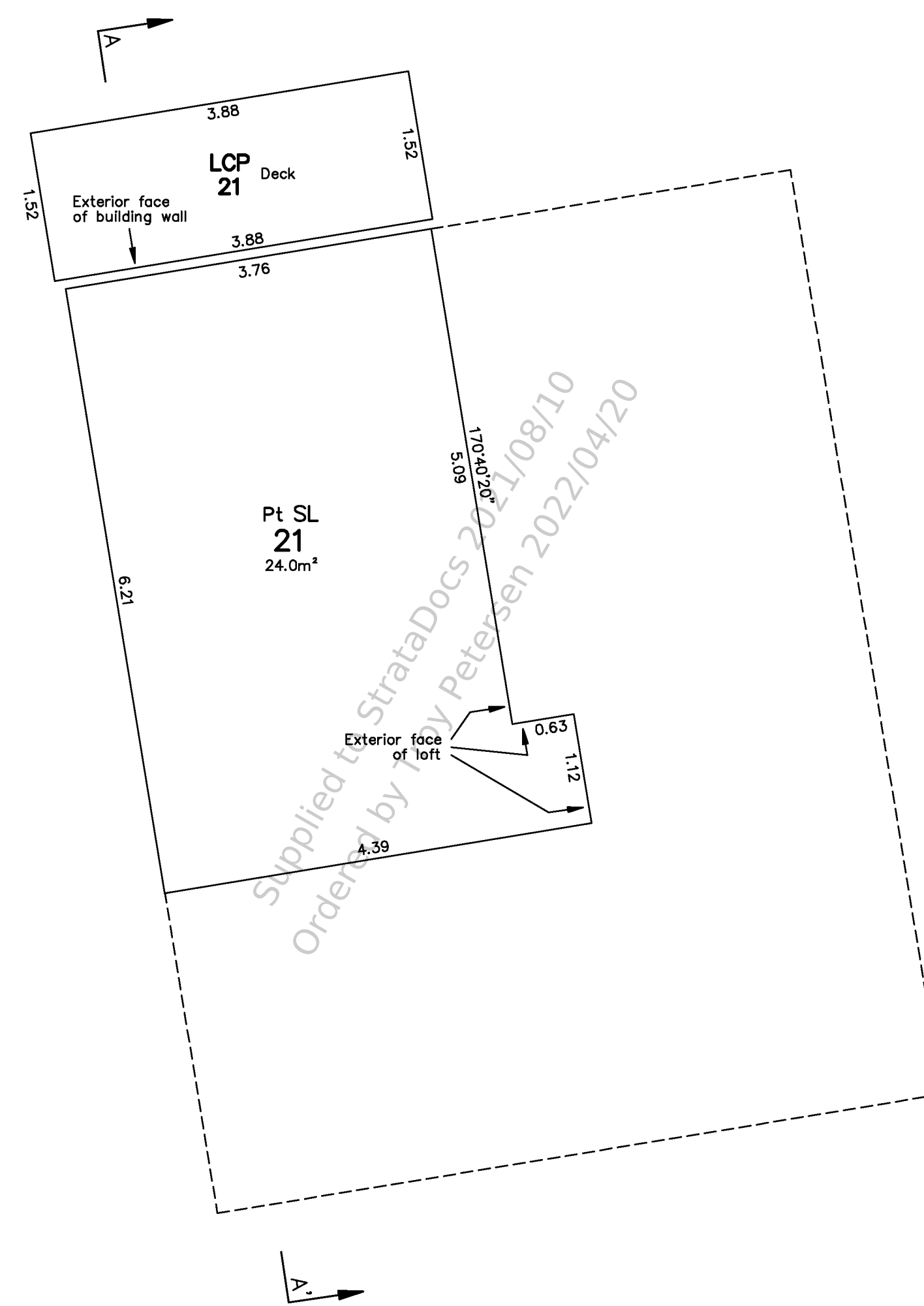
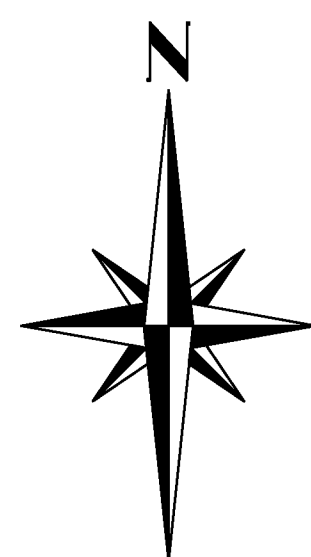
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to the exterior face of walls and lofts which are measured to the exterior face of their walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Unless otherwise noted, all building corners deflect by multiples of 90° from the given reference bearing.



Supplied to StrataDocs 2022/04/20
 Ordered by Troy Petersen 2022/04/20

Uploaded: Aug 10, 2021 Verified: Aug 10, 2021

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Server: Common\Colin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
 Layout: StrataB_Campground

Colin W. Grover, BCLS 827, April 22, 2016.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE TEN STRATA PLAN EPS1360

CROSS SECTIONS



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

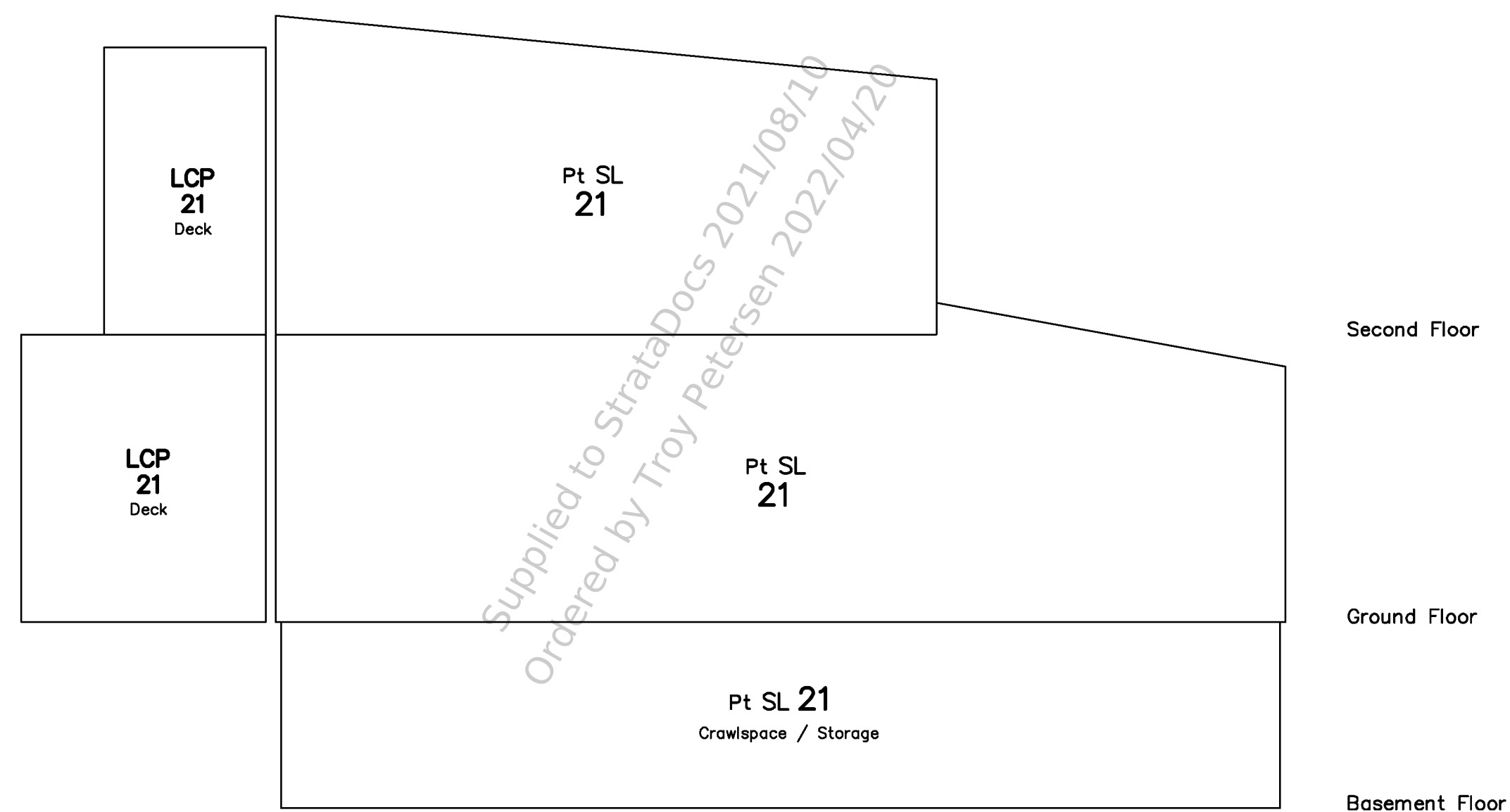
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to the exterior face of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Section A - A'



Supplied to StrataDocs 2021/08/10
Ordered by Troy Petersen 2022/04/20

Uploaded: Aug 10, 2021, Verified: Aug 10, 2021

PHASED STRATA PLAN OF LOT B, DISTRICT LOT 17, RENFREW DISTRICT, PLAN VIP88597

PHASE ELEVEN STRATA PLAN EPS1360

BCGS 92C.058



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 400.

LEGEND

- --- Denotes Standard Iron Post Found
- ▲ --- Denotes GNSS Traverse Hub Found
- Rk --- Denotes Short Iron Post Set In Rock

All distances shown are in metres.

Grid bearings are derived from differential carrier phase GNSS observations and are referred to the central meridian of UTM Zone 10.

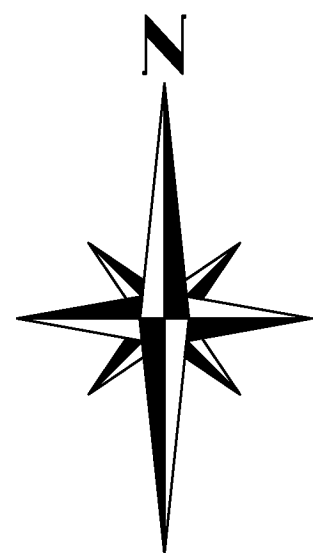
The UTM coordinates and estimated horizontal positional accuracy achieved are derived from GNSS dual frequency baseline ties to geodetic control monument 877025.

This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.99973312457. The average combined factor has been determined based on an ellipsoidal elevation of 24.19 metres.

The offsets shown are to the exterior face of concrete foundations.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

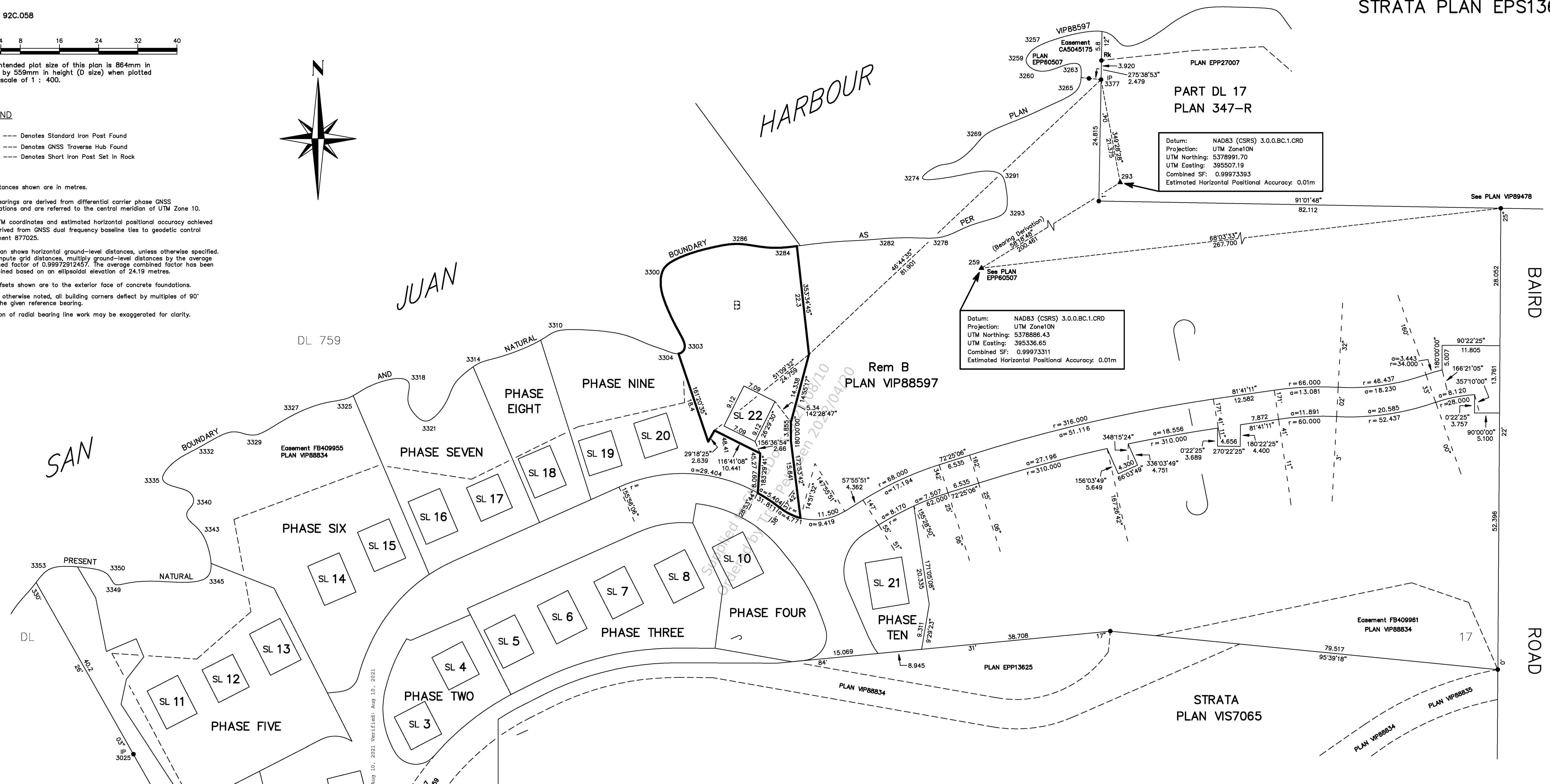
Direction of radial bearing line work may be exaggerated for clarity.



HARBOUR

JUAN

SAN



Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
 Projection: UTM Zone10N
 UTM Northing: 5378891.70
 UTM Easting: 395507.19
 Combined SF: 0.99973393
 Estimated Horizontal Positional Accuracy: 0.01m

Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
 Projection: UTM Zone10N
 UTM Northing: 5378886.43
 UTM Easting: 395336.65
 Combined SF: 0.99973311
 Estimated Horizontal Positional Accuracy: 0.01m

TRAVERSE TABLE OF PRESENT NATURAL BOUNDARY TIES AND TITLE BOUNDARY AS PER PLAN VIP88597

POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE
3377 to 3257	299°06'	15.13	3377 to 3286	245°44'	81.09	3025 to 3326	28°28'	81.88
3377 to 3259	283°00'	16.07	3377 to 3288	247°11'	91.36	3025 to 3327	25°35'	77.39
3377 to 3260	277°04'	13.97	3377 to 3300	246°22'	98.15	3025 to 3329	20°56'	68.96
3377 to 3261	278°17'	10.82	3377 to 3301	244°16'	100.10	3025 to 3330	17°45'	69.48
3377 to 3263	311°14'	5.40	3377 to 3303	237°08'	100.43	3025 to 3332	11°58'	63.84
3377 to 3265	238°51'	4.89	3377 to 3304	236°42'	103.01	3025 to 3334	6°59'	59.32
3377 to 3267	243°31'	17.05	3025 to 3306	51°33'	134.35	3025 to 3335	5°10'	55.93
3377 to 3269	244°31'	26.91	3025 to 3308	47°44'	128.60	3025 to 3339	12°32'	55.02
3377 to 3271	240°01'	34.61	3025 to 3310	44°52'	122.15	3025 to 3340	13°55'	52.67
3377 to 3272	242°21'	37.13	3025 to 3312	44°10'	115.97	3025 to 3341	12°11'	50.82
3377 to 3274	241°26'	42.16	3025 to 3313	42°48'	110.45	3025 to 3342	12°45'	49.04
3377 to 3275	239°49'	41.10	3025 to 3314	41°31'	107.10	3025 to 3343	17°15'	47.77
3377 to 3290	232°38'	30.42	3025 to 3319	40°40'	99.85	3025 to 3345	24°31'	38.76
3377 to 3291	225°42'	27.52	3025 to 3320	41°48'	98.62	3025 to 3347	4°55'	35.66
3377 to 3293	214°40'	32.93	3025 to 3321	41°56'	90.16	3025 to 3349	35°08'	34.37
3377 to 3295	222°11'	40.02	3025 to 3317	37°30'	91.00	3025 to 3350	35°28'	37.62
3377 to 3278	225°50'	46.72	3025 to 3318	36°48'	95.44	3025 to 3352	33°38'	41.06
3377 to 3280	233°03'	53.77	3025 to 3323	34°45'	83.79	3025 to 3353	33°47'	41.93
3377 to 3282	238°24'	62.99	3025 to 3324	32°13'	88.66			
3377 to 3284	242°06'	73.68	3025 to 3325	31°25'	84.76			

Civic Address: Strata Lot 22 is at 94-6574 Baird Road, Port Renfrew, B.C.

This plan lies within the Capital Assessment Area. This plan lies within the Capital Regional District.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within the external boundaries of the land that is the subject of the strata plan.

The field survey represented by this plan was completed on the 14th day of December, 2016. Colin W. Grover, BCLS 827

J.E. ANDERSON & ASSOCIATES
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 Victoria, Nanaimo and Parksville, B.C.
 Phone: 250-727-2214 Web: www.jeanderson.com
 File: 24703-2

Server:\Common\Coin\24963_PORT_RENFREW\24963LDDPRJ\dwg\PortRenfrew.dwg
 Layout: Strata_Campground

This plan is Phase Eleven of a Twenty One phase strata plan under section 224 of the Strata Property Act lying within the Jurisdiction of the Approving Officer for the Ministry of Transportation and Infrastructure.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE ELEVEN STRATA PLAN EPS1360

GROUND FLOOR – Part of Strata Lot 22



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 150.

LEGEND

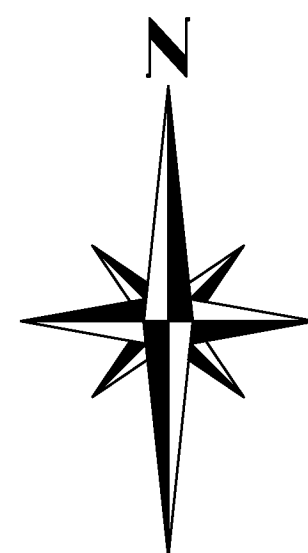
- CP --- Denotes Common Property
- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



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Layout: StrataB_Campground

Colin W. Grover, BCLS 827, December 14, 2016.

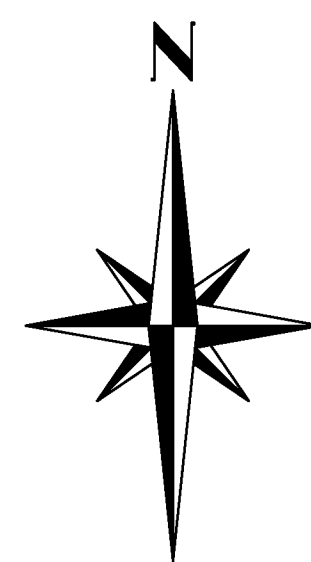
Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

SECOND FLOOR (TOP) – Part of Strata Lot 22

PHASE ELEVEN STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.



LEGEND

- LCP ---- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt ---- Denotes Part

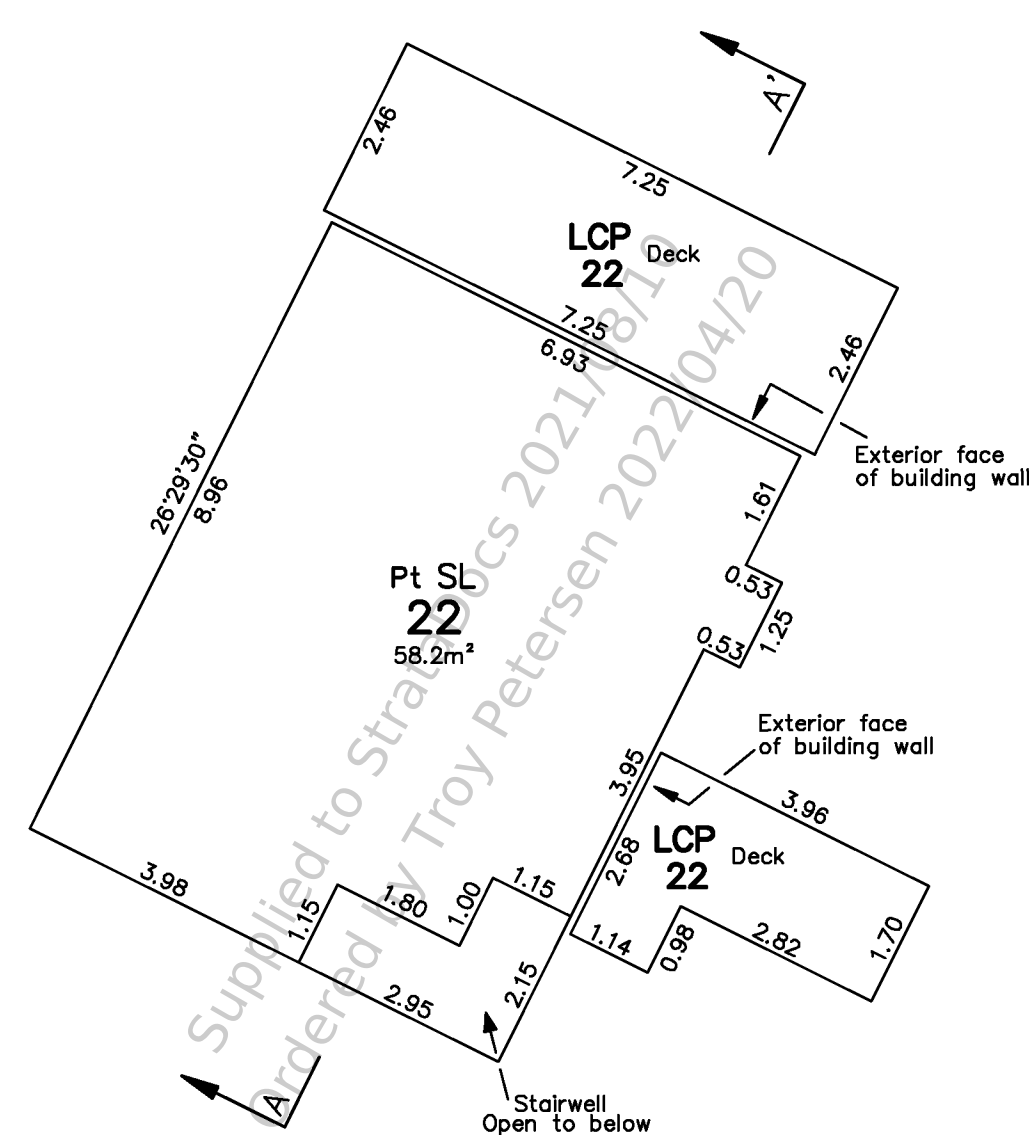
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to the exterior face of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Unless otherwise noted, all building corners deflect by multiples of 90° from the given reference bearing.



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Layout: StrataB_Campground

Colin W. Grover, BCLS 827, December 14, 2016.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE ELEVEN STRATA PLAN EPS1360

CROSS SECTIONS



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified

Pt --- Denotes Part

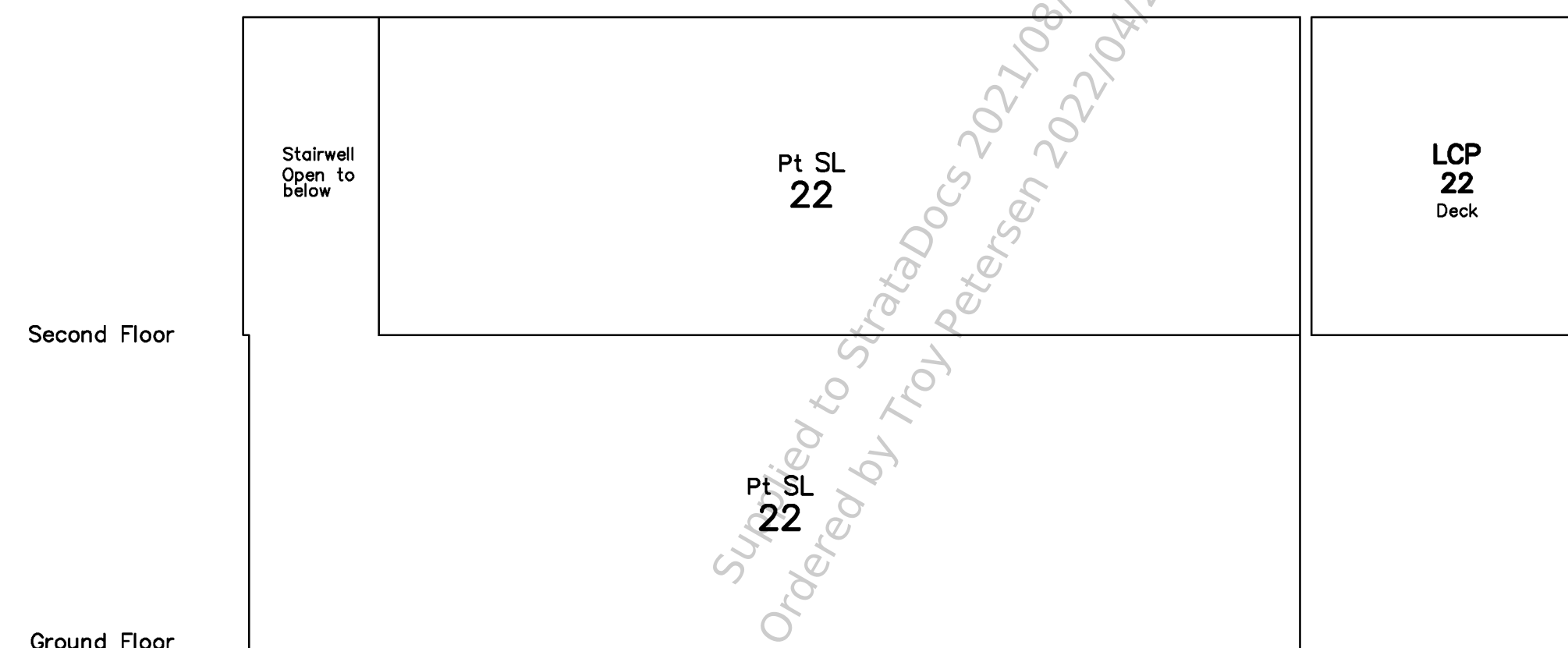
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to the exterior face of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Section A - A'



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Layout: StrataB_Campground

Colin W. Grover, BCLS B27, December 14, 2016.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASED STRATA PLAN OF LOT B, DISTRICT LOT 17, RENFREW DISTRICT, PLAN VIP88597

PHASE TWELVE STRATA PLAN EPS1360

BCGS 92C.058



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 400.

LEGEND

- --- Denotes Standard Iron Post Found
- ▲ --- Denotes GNSS Traverse Hub Found
- Rk --- Denotes Short Iron Post Set In Rock

All distances shown are in metres.

Grid bearings are derived from differential carrier phase GNSS observations and are referred to the central meridian of UTM Zone 10.

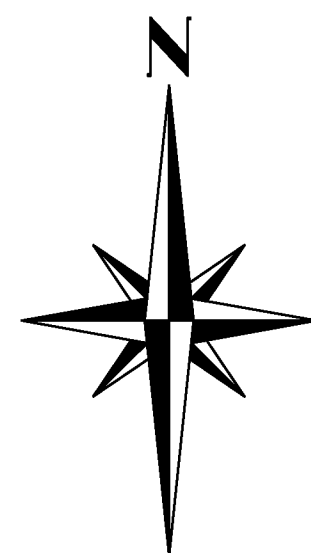
The UTM coordinates and estimated horizontal positional accuracy achieved are derived from GNSS dual frequency baseline ties to geodetic control monument 877025.

This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.99972512457. The average combined factor has been determined based on an ellipsoidal elevation of 24.19 metres.

The offsets shown are to the exterior face of concrete foundations.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

Direction of radial bearing line work may be exaggerated for clarity.



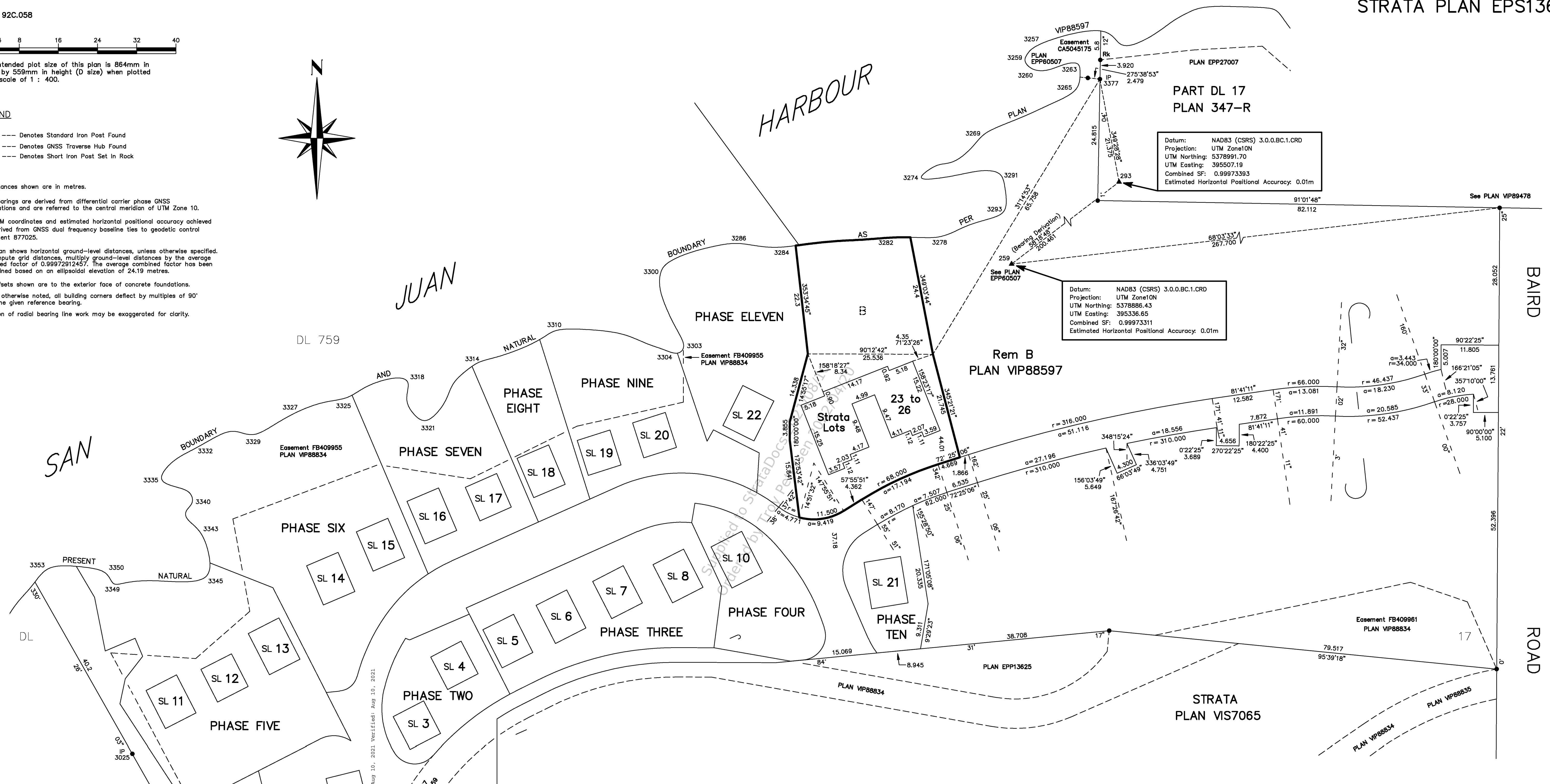
HARBOUR

JUAN

SAN

BAIRD

ROAD



TRAVERSE TABLE OF PRESENT NATURAL BOUNDARY TIES AND TITLE BOUNDARY AS PER PLAN VIP88597

POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE
3377 to 3257	299°06'	15.13	3377 to 3288	245°44'	81.09	3025 to 3326	28°28'	81.88
3377 to 3259	283°00'	16.07	3377 to 3289	247°11'	91.36	3025 to 3327	25°35'	77.39
3377 to 3260	277°04'	13.97	3377 to 3300	246°22'	98.15	3025 to 3329	20°56'	68.96
3377 to 3261	276°17'	10.82	3377 to 3301	244°16'	100.10	3025 to 3330	17°45'	69.48
3377 to 3263	311°14'	5.40	3377 to 3303	237°08'	100.43	3025 to 3332	11°58'	63.84
3377 to 3265	238°51'	4.89	3377 to 3304	236°42'	103.01	3025 to 3334	6°59'	59.32
3377 to 3267	243°31'	17.05	3025 to 3306	51°33'	134.35	3025 to 3335	5°10'	55.93
3377 to 3269	244°31'	26.91	3025 to 3308	47°44'	128.60	3025 to 3339	12°32'	55.02
3377 to 3271	240°01'	34.61	3025 to 3310	44°52'	122.15	3025 to 3340	13°55'	52.67
3377 to 3272	242°21'	37.13	3025 to 3312	44°10'	115.97	3025 to 3341	12°11'	50.82
3377 to 3274	241°26'	42.16	3025 to 3313	42°48'	110.45	3025 to 3342	12°45'	49.04
3377 to 3275	239°49'	41.10	3025 to 3314	41°31'	107.10	3025 to 3343	17°15'	47.77
3377 to 3290	232°36'	30.42	3025 to 3319	40°40'	99.85	3025 to 3345	24°31'	38.76
3377 to 3291	226°42'	27.52	3025 to 3320	41°48'	96.62	3025 to 3347	4°55'	35.66
3377 to 3293	214°40'	32.93	3025 to 3321	41°56'	90.16	3025 to 3349	35°08'	34.37
3377 to 3295	222°11'	40.02	3025 to 3317	37°30'	91.00	3025 to 3350	35°28'	37.62
3377 to 3278	225°50'	46.72	3025 to 3318	36°48'	95.44	3025 to 3352	33°38'	41.08
3377 to 3280	233°03'	53.77	3025 to 3323	34°45'	93.79	3025 to 3353	33°47'	41.93
3377 to 3282	238°24'	62.99	3025 to 3324	32°13'	88.66			
3377 to 3284	242°06'	73.68	3025 to 3325	31°25'	84.76			

Civic Address:

Strata Lot 23 is at 236-6596 Baird Road, Strata Lot 24 is at 234-6596 Baird Road, Strata Lot 25 is at 232-6596 Baird Road, Strata Lot 26 is at 230-6596 Baird Road, Port Renfrew, B.C.

This plan lies within the Capital Assessment Area. This plan lies within the Capital Regional District.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within the external boundaries of the land that is the subject of the strata plan.

The field survey represented by this plan was completed on the 23rd day of May, 2017. Colin W. Grover, BCLS 827

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File: 24703-2

Server:\Common\Coin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Compground

This plan is Phase Twelve of a Twenty One phase strata plan under section 224 of the Strata Property Act lying within the jurisdiction of the Approving Officer for the Ministry of Transportation and Infrastructure.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE TWELVE STRATA PLAN EPS1360

BASEMENT FLOOR – Part of Strata Lots 23, 24, 25 and 26



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.

LEGEND

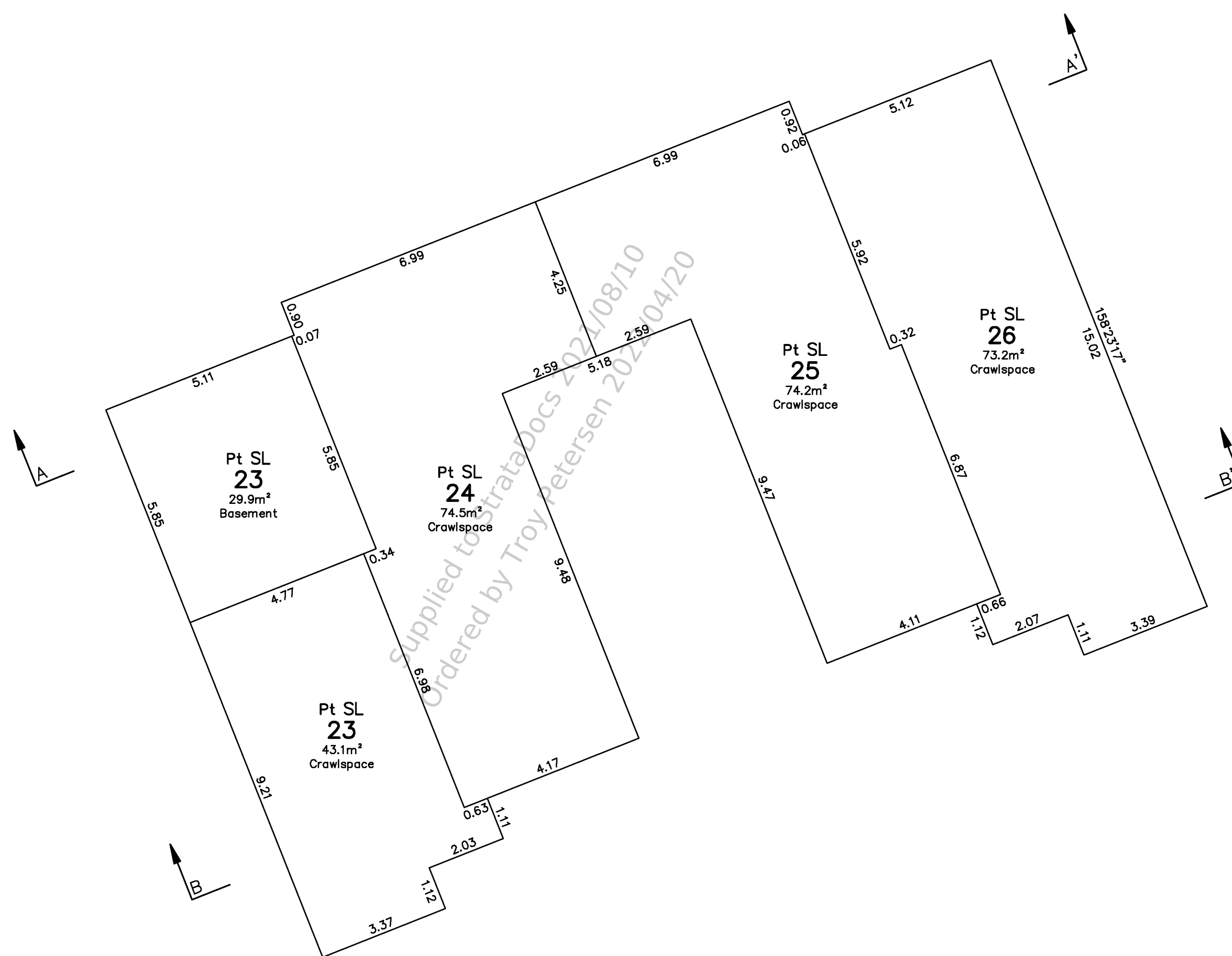
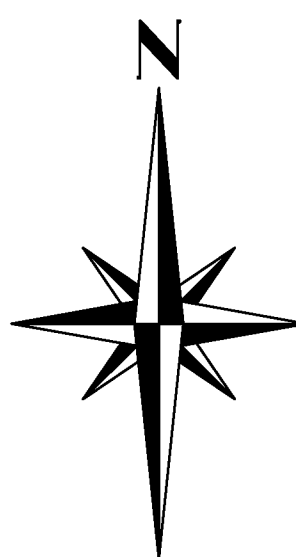
Pt --- Denotes Part

All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



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Layout: StrataB_Campground

Colin W. Grover, BCLS 827, May 23, 2017.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

GROUND FLOOR (TOP) – Part of Strata Lots 23, 24, 25 and 26

PHASE TWELVE STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 150.

LEGEND

- CP --- Denotes Common Property
- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

All distances shown are in metres.

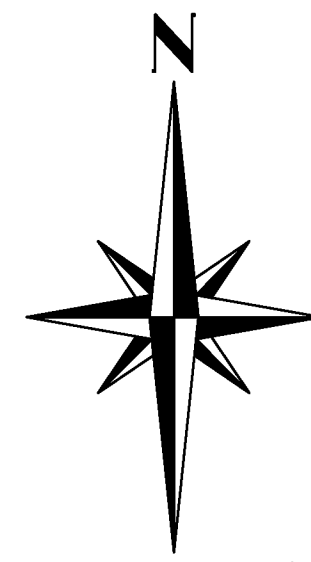
All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to their outermost edge and the exterior face of building walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

See Sheet 1 for complete PNB dimensions



Rem B
PLAN VIP88597

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 Layout: StrataB_Compground

Colin W. Grover, BCLS 827, May 23, 2017.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE TWELVE STRATA PLAN EPS1360

CROSS SECTIONS



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

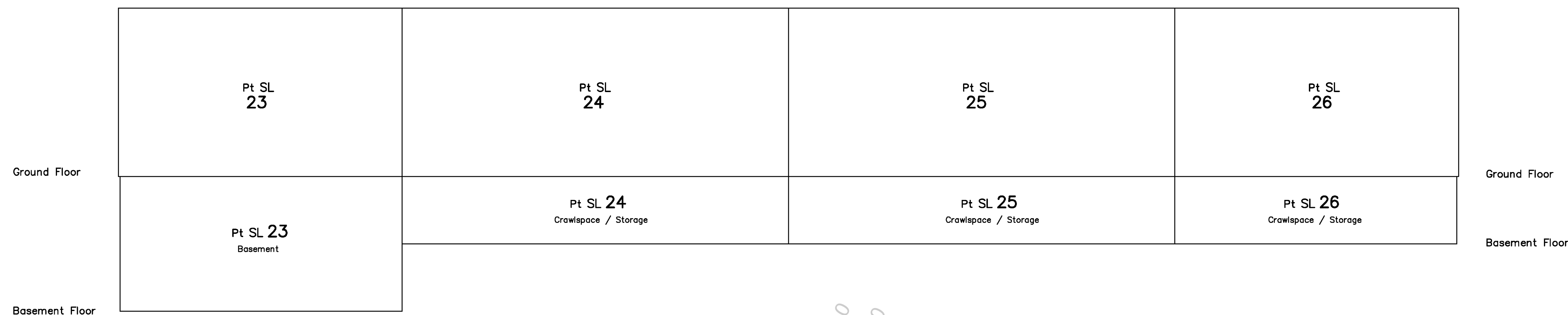
Pt --- Denotes Part

All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Section A – A'



Supplied to StrataDocs 2021/08/10
Ordered by Troy Petersen 2022/04/20

Section B – B'



PHASED STRATA PLAN OF LOT B, DISTRICT LOT 17, RENFREW DISTRICT, PLAN VIP88597

PHASE THIRTEEN STRATA PLAN EPS1360

BCGS 92C.058



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 400.

LEGEND

- Denotes Standard Iron Post Found
- Denotes GNSS Traverse Hub Found
- Rk --- Denotes Short Iron Post Set in Rock

All distances shown are in metres.

Grid bearings are derived from differential carrier phase GNSS observations and are referred to the central meridian of UTM Zone 10.

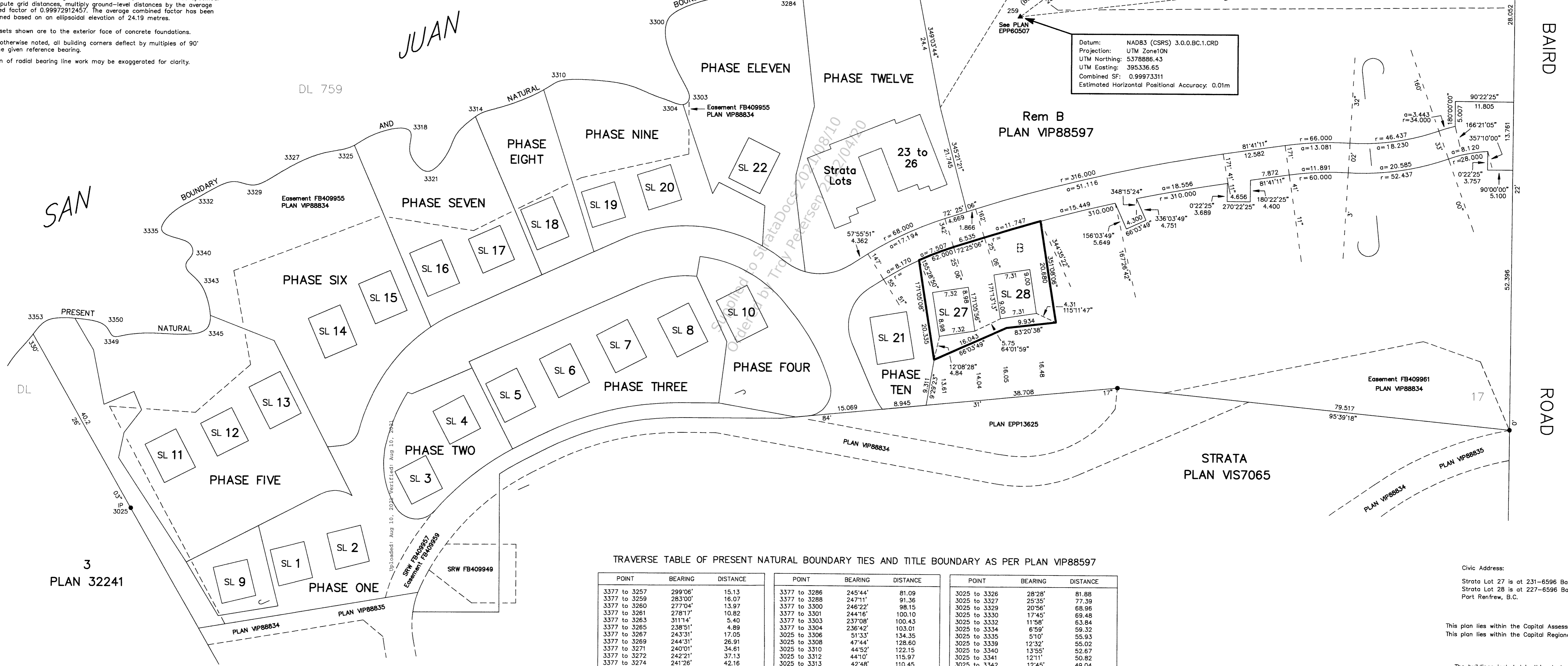
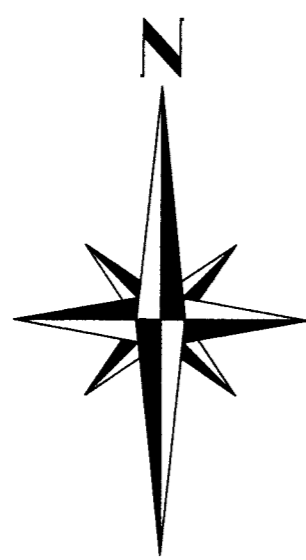
The UTM coordinates and estimated horizontal positional accuracy achieved are derived from GNSS dual frequency baseline ties to geodetic control monument 877025.

This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.99972912457. The average combined factor has been determined based on an ellipsoidal elevation of 24.19 metres.

The offsets shown are to the exterior face of concrete foundations.

Unless otherwise noted, all building corners deflect by multiples of 90° from the given reference bearing.

Direction of radial bearing line work may be exaggerated for clarity.



TRAVERSE TABLE OF PRESENT NATURAL BOUNDARY TIES AND TITLE BOUNDARY AS PER PLAN VIP88597

POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE
3377 to 3257	299°06'	15.13	3377 to 3288	245°44'	81.09	3025 to 3326	28°28'	81.88
3377 to 3259	283°00'	16.07	3377 to 3288	247°11'	91.36	3025 to 3327	25°35'	77.39
3377 to 3260	277°04'	13.97	3377 to 3300	246°22'	98.15	3025 to 3329	20°56'	68.96
3377 to 3261	278°17'	10.82	3377 to 3301	244°16'	100.10	3025 to 3330	17°45'	69.48
3377 to 3263	311°14'	5.40	3377 to 3303	237°08'	100.43	3025 to 3332	11°58'	63.84
3377 to 3265	238°51'	4.89	3377 to 3304	236°42'	103.01	3025 to 3334	6°58'	59.32
3377 to 3267	243°31'	17.05	3025 to 3306	51°33'	134.35	3025 to 3335	5°10'	55.93
3377 to 3269	244°31'	26.91	3025 to 3308	47°44'	128.60	3025 to 3339	12°32'	55.02
3377 to 3271	240°01'	34.61	3025 to 3310	44°52'	122.15	3025 to 3340	13°55'	52.67
3377 to 3272	242°21'	37.13	3025 to 3312	44°10'	115.97	3025 to 3341	12°11'	50.82
3377 to 3274	241°26'	42.16	3025 to 3313	42°48'	110.45	3025 to 3342	12°45'	49.04
3377 to 3275	239°49'	41.10	3025 to 3314	41°31'	107.10	3025 to 3343	17°15'	47.77
3377 to 3276	232°38'	30.42	3025 to 3319	40°40'	99.85	3025 to 3345	24°31'	38.76
3377 to 3278	228°42'	27.52	3025 to 3320	41°48'	96.62	3025 to 3347	4°55'	35.66
3377 to 3279	214°40'	32.93	3025 to 3321	41°56'	90.16	3025 to 3349	35°30'8"	34.37
3377 to 3295	222°11'	40.02	3025 to 3317	37°30'	91.00	3025 to 3350	35°22'8"	37.62
3377 to 3278	225°50'	46.72	3025 to 3318	36°48'	95.44	3025 to 3352	33°38'	41.08
3377 to 3280	233°03'	53.77	3025 to 3323	34°45'	93.79	3025 to 3353	33°47'	41.93
3377 to 3282	238°24'	62.99	3025 to 3324	32°13'	88.66			
3377 to 3284	242°06'	73.68	3025 to 3325	31°25'	84.76			

Civic Address:

Strata Lot 27 is at 231-6596 Baird Road,
Strata Lot 28 is at 227-6596 Baird Road,
Port Renfrew, B.C.

This plan lies within the Capital Assessment Area.
This plan lies within the Capital Regional District.

The buildings included in this strata plan
have not been previously occupied.

The buildings shown hereon are within the
external boundaries of the land that is
the subject of the strata plan.

The field survey represented by this plan was
completed on the 20th day of September, 2017.
Colin W. Grover, BCLS 827

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B.C. Land Surveyors - Consulting Engineers
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File: 24703-2

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Layout: StrataB_Compound

BASEMENT FLOOR – Part of Strata Lots 27 and 28

Sheet 2 of 5 Sheets

PHASE THIRTEEN STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.

LEGEND

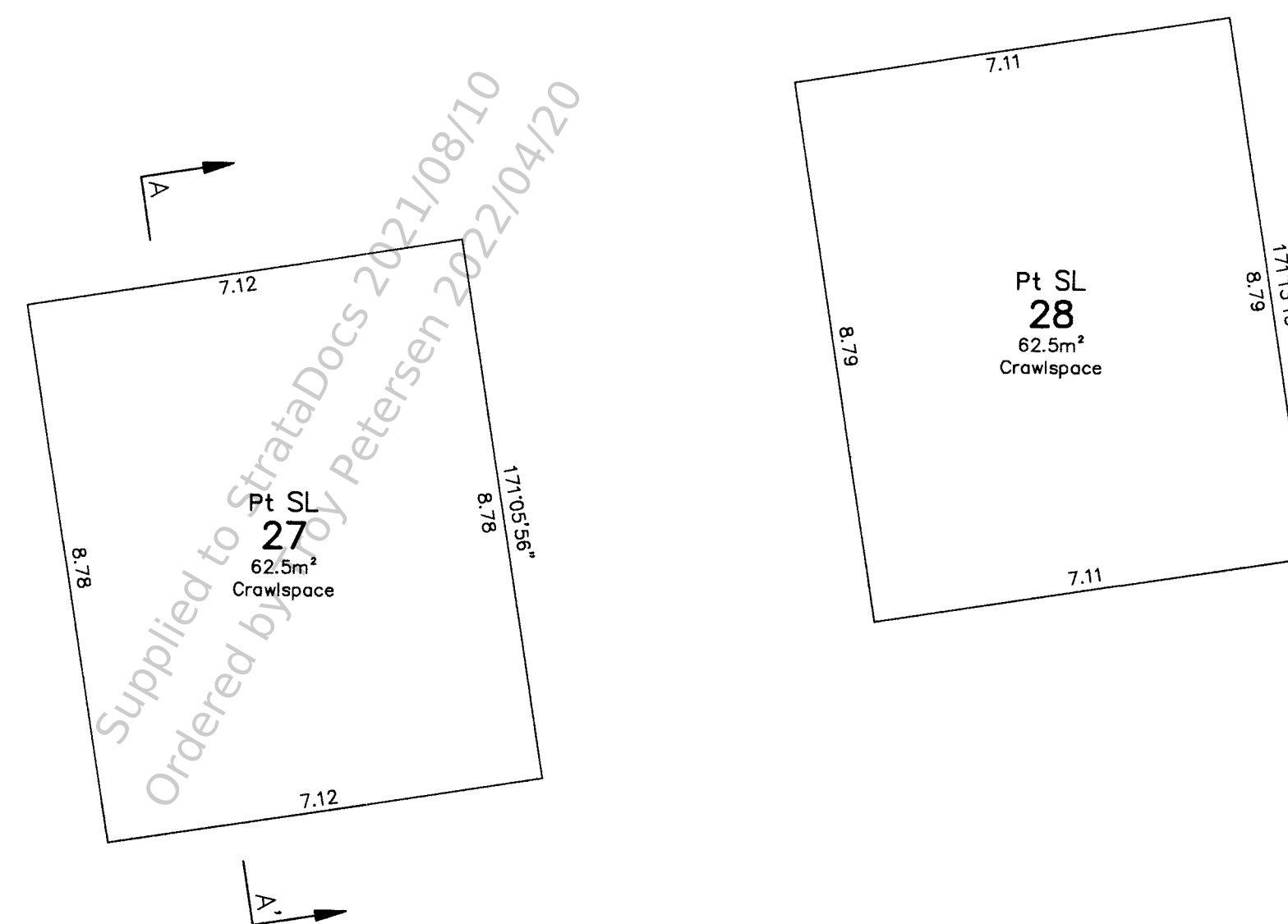
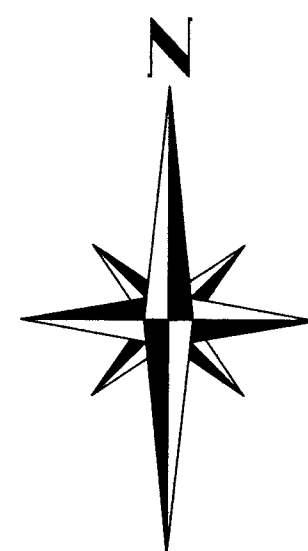
Pt --- Denotes Part

All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



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Layout: StrataB_Compground

Colin W. Grover, BCLS 827, September 20, 2017.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

GROUND FLOOR – Part of Strata Lots 27 and 28

PHASE THIRTEEN STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 150.

LEGEND

- CP --- Denotes Common Property
- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

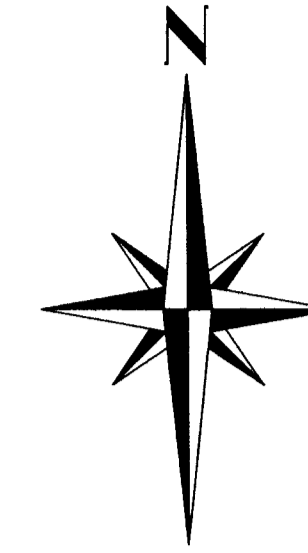
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to their outermost edge and the exterior face of building walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



Supplied to Strata Plan 2021/08/10
Ordered by Troy Petersen 2021/04/20

Rem B
PLAN VIP88597

STRATA
PLAN VIS7065

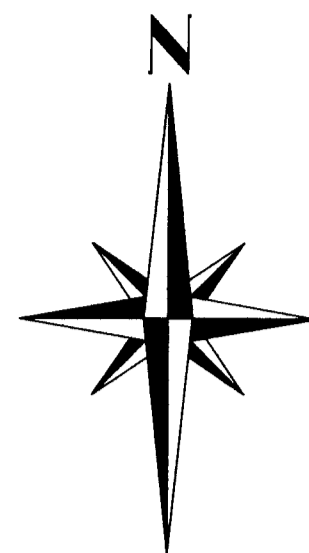
SECOND FLOOR (TOP) – Part of Strata Lots 27 and 28

Sheet 4 of 5 Sheets

PHASE THIRTEEN STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.



LEGEND

LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
Pt --- Denotes Part

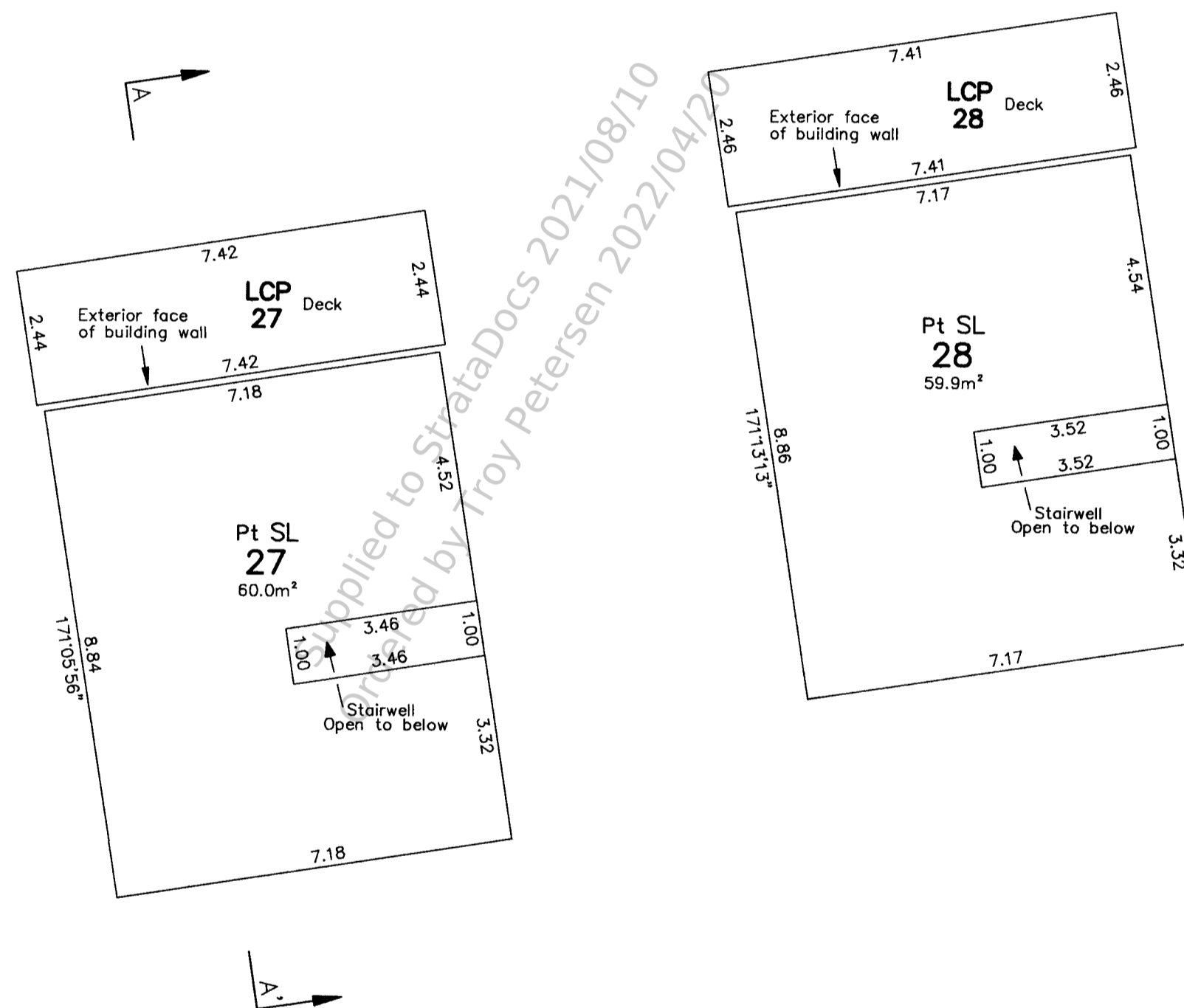
All distances shown are in metres.

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Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



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J.E. ANDERSON & ASSOCIATES
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Phone: 250-727-2214 Web: www.jeanderson.com
File: 24703-2

Server:\Common\Colin\24963_PORT_RENFREW\24963.LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, September 20, 2017.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

CROSS SECTIONS

PHASE THIRTEEN STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
Pt --- Denotes Part

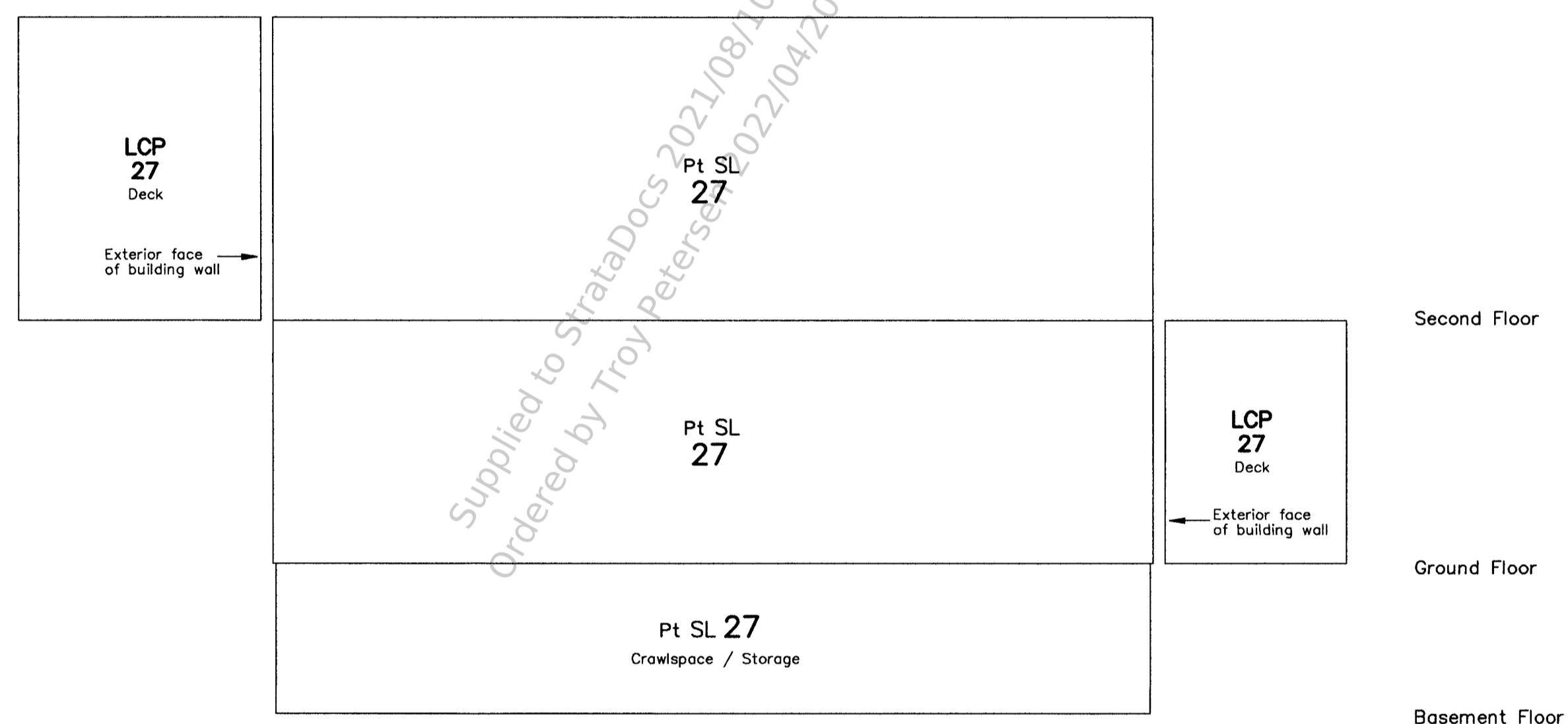
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to their outermost edge and the exterior face of building walls.

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Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Section A - A'
Typical Cross Section for Strata Lots 27 and 28



UpLoaded: Aug 10, 2021 Verified: Aug 10, 2021

PHASED STRATA PLAN OF LOT B, DISTRICT LOT 17, RENFREW DISTRICT, PLAN VP88597

PHASE FOURTEEN STRATA PLAN EPS1360

BCGS 92C.058



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 400.

LEGEND

- --- Denotes Standard Iron Post Found
- ▲ --- Denotes GNSS Traverse Hub Found
- Rk --- Denotes Short Iron Post Set in Rock

All distances shown are in metres.

Grid bearings are derived from differential carrier phase GNSS observations and are referred to the central meridian of UTM Zone 10.

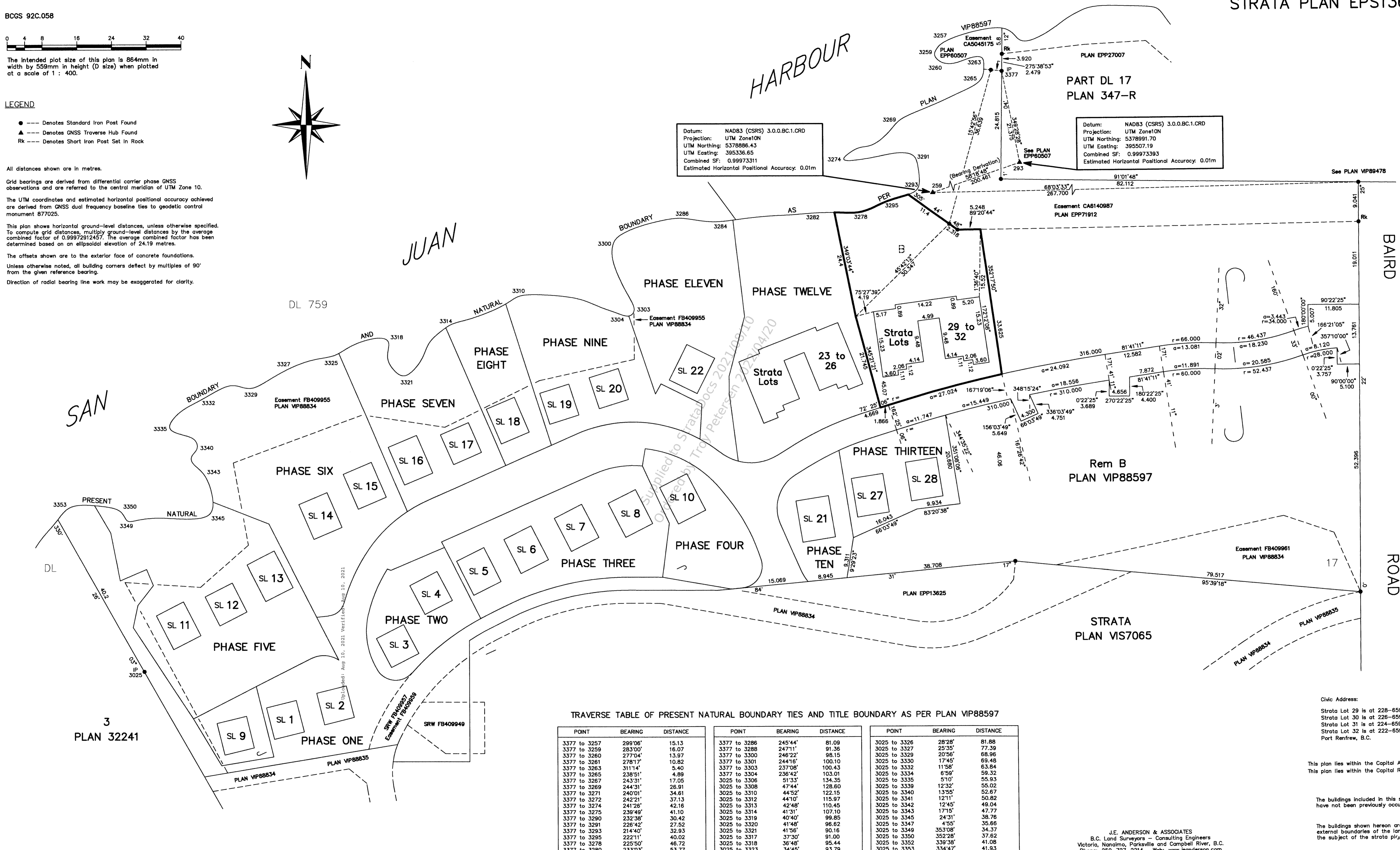
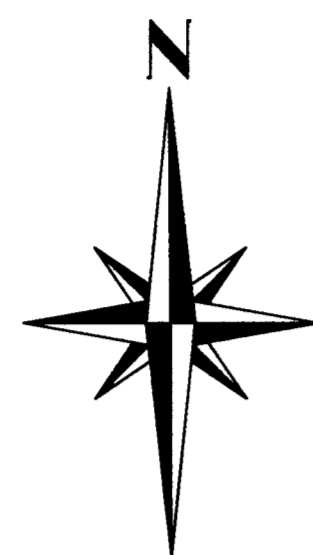
The UTM coordinates and estimated horizontal positional accuracy achieved are derived from GNSS dual frequency baseline ties to geodetic control monument 877025.

This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.99972912457. The average combined factor has been determined based on an ellipsoidal elevation of 24.19 metres.

The offsets shown are to the exterior face of concrete foundations.

Unless otherwise noted, all building corners deflect by multiples of 90° from the given reference bearing.

Direction of radial bearing line work may be exaggerated for clarity.



Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
 Projection: UTM Zone10N
 UTM Northing: 5378886.43
 UTM Easting: 395336.65
 Combined SF: 0.99973311
 Estimated Horizontal Positional Accuracy: 0.01m

Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
 Projection: UTM Zone10N
 UTM Northing: 5378991.70
 UTM Easting: 395507.19
 Combined SF: 0.99973393
 Estimated Horizontal Positional Accuracy: 0.01m

TRAVERSE TABLE OF PRESENT NATURAL BOUNDARY TIES AND TITLE BOUNDARY AS PER PLAN VP88597

POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE
3377 to 3257	299°06'	15.13	3377 to 3286	245°44'	81.09	3025 to 3326	28°28'	81.88
3377 to 3259	283°00'	16.07	3377 to 3288	247°11'	91.36	3025 to 3327	25°35'	77.39
3377 to 3260	277°04'	13.97	3377 to 3300	246°22'	98.15	3025 to 3328	20°56'	68.96
3377 to 3261	278°17'	10.82	3377 to 3301	244°16'	100.10	3025 to 3330	17°45'	69.48
3377 to 3263	311°14'	5.40	3377 to 3303	237°08'	100.43	3025 to 3332	11°58'	63.84
3377 to 3265	238°51'	4.89	3377 to 3304	236°42'	103.01	3025 to 3334	6°59'	59.32
3377 to 3267	243°31'	17.05	3025 to 3306	51°33'	134.35	3025 to 3335	5°10'	55.93
3377 to 3269	244°31'	26.91	3025 to 3308	47°44'	128.60	3025 to 3339	12°32'	55.02
3377 to 3271	240°01'	34.61	3025 to 3310	44°52'	122.15	3025 to 3340	13°55'	52.67
3377 to 3272	242°21'	37.13	3025 to 3312	44°10'	115.97	3025 to 3341	12°11'	50.82
3377 to 3274	241°26'	42.16	3025 to 3313	42°48'	110.45	3025 to 3342	12°45'	49.04
3377 to 3275	239°49'	41.10	3025 to 3314	41°31'	107.10	3025 to 3343	17°15'	47.77
3377 to 3276	232°38'	30.42	3025 to 3319	40°40'	99.85	3025 to 3345	24°31'	38.78
3377 to 3279	228°42'	27.52	3025 to 3320	41°48'	96.82	3025 to 3347	4°55'	35.66
3377 to 3281	214°40'	32.93	3025 to 3321	41°56'	90.16	3025 to 3349	35°08'	34.37
3377 to 3285	222°11'	40.02	3025 to 3317	37°30'	91.00	3025 to 3350	35°28'	37.62
3377 to 3280	225°50'	46.72	3025 to 3318	36°48'	95.44	3025 to 3352	33°38'	41.08
3377 to 3282	238°24'	62.99	3025 to 3324	32°13'	88.68	3025 to 3353	33°47'	41.93
3377 to 3284	242°06'	73.68	3025 to 3325	31°25'	84.76			

Civic Address:
 Strata Lot 29 is at 228-6596 Baird Road,
 Strata Lot 30 is at 226-6596 Baird Road,
 Strata Lot 31 is at 224-6596 Baird Road,
 Strata Lot 32 is at 222-6596 Baird Road,
 Port Renfrew, B.C.

This plan lies within the Capital Assessment Area. This plan lies within the Capital Regional District.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within the external boundaries of the land that is the subject of the strata plan.

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 File: 24703-2

Server/Common/Colin/24963_PORT_RENFREW/24963.LDDPR/dwg/PortRenfrew.dwg
 Layout: StrataB_Campground

The field survey represented by this plan was completed on the 30th day of November, 2017.
 Colin W. Grover, B.C.S. 827

This plan is Phase Fourteen of a Twenty One phase strata plan under section 224 of the Strata Property Act lying within the jurisdiction of the Approving Officer for the Ministry of Transportation and Infrastructure.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE FOURTEEN STRATA PLAN EPS1360

BASEMENT FLOOR – Part of Strata Lots 29, 30, 31 and 32



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.

LEGEND

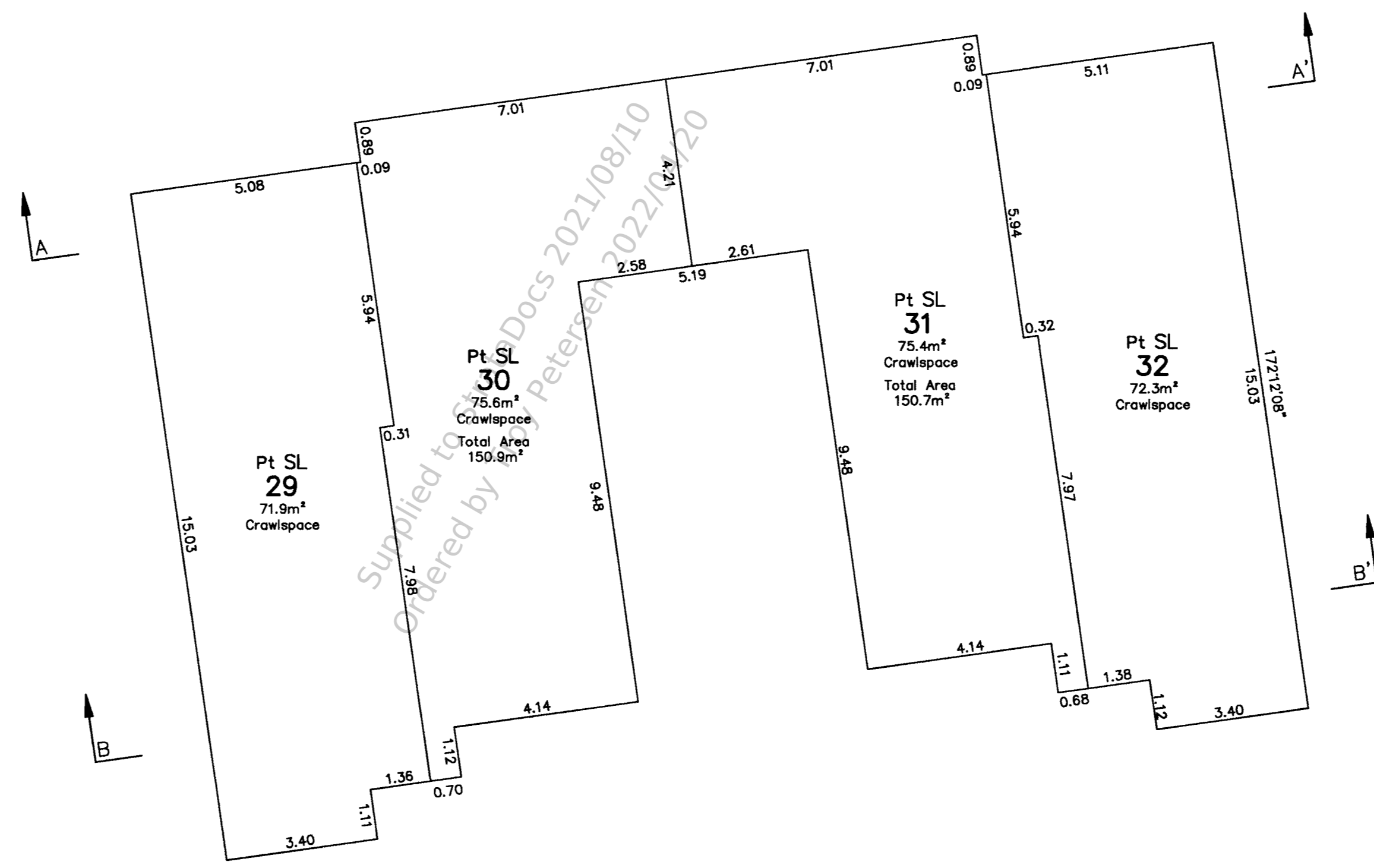
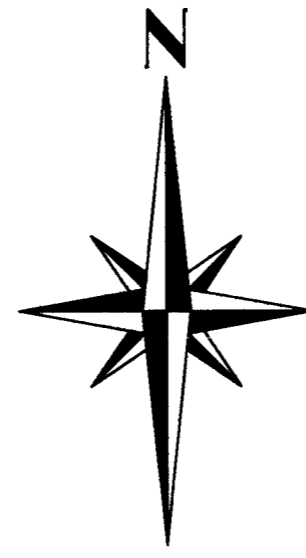
Pt --- Denotes Part

All distances shown are in metres.

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Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



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Server:\Common\Colin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, November 30, 2017.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

GROUND FLOOR (TOP) – Part of Strata Lots 29, 30, 31 and 32

PHASE FOURTEEN STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 150.

LEGEND

- CP --- Denotes Common Property
- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

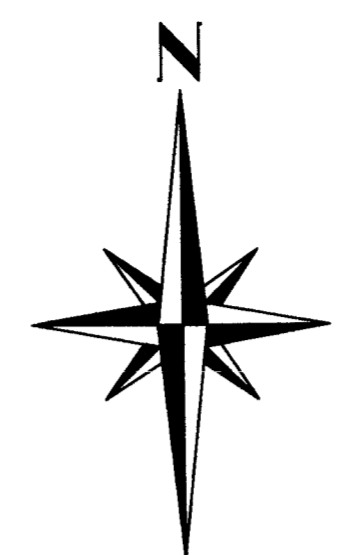
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See Sheet 1 for for complete PNB dimensions



Rem B
PLAN VIP88597

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 Victoria, Nanaimo and Parksville, B.C.
 Phone: 250-727-2214 Web: www.jeanderson.com
 Fax: 250-727-2214 File: 24703-2

Colin W. Grover, BCLS 827, November 30, 2017.

Server:\Common\Coin\24963_PORT_RENFREW\24963LDDPRJ\dwg\FortRenfrew.dwg
Layout: StrataB_Compground

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASED STRATA PLAN OF LOT B, DISTRICT LOT 17, RENFREW DISTRICT, PLAN VIP88597

PHASE FOURTEEN STRATA PLAN EPS1360

BCGS 92C.058



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 400.

LEGEND

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All distances shown are in metres.

Grid bearings are derived from differential carrier phase GNSS observations and are referred to the central meridian of UTM Zone 10.

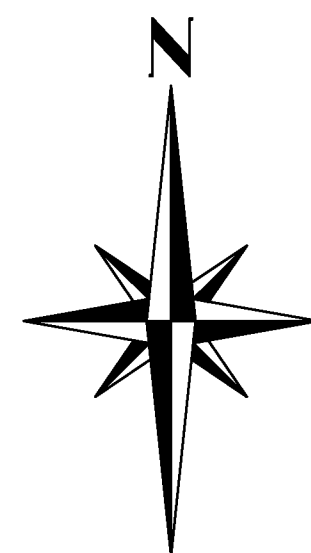
The UTM coordinates and estimated horizontal positional accuracy achieved are derived from GNSS dual frequency baseline ties to geodetic control monument 877025.

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Direction of radial bearing line work may be exaggerated for clarity.



HARBOUR

JUAN

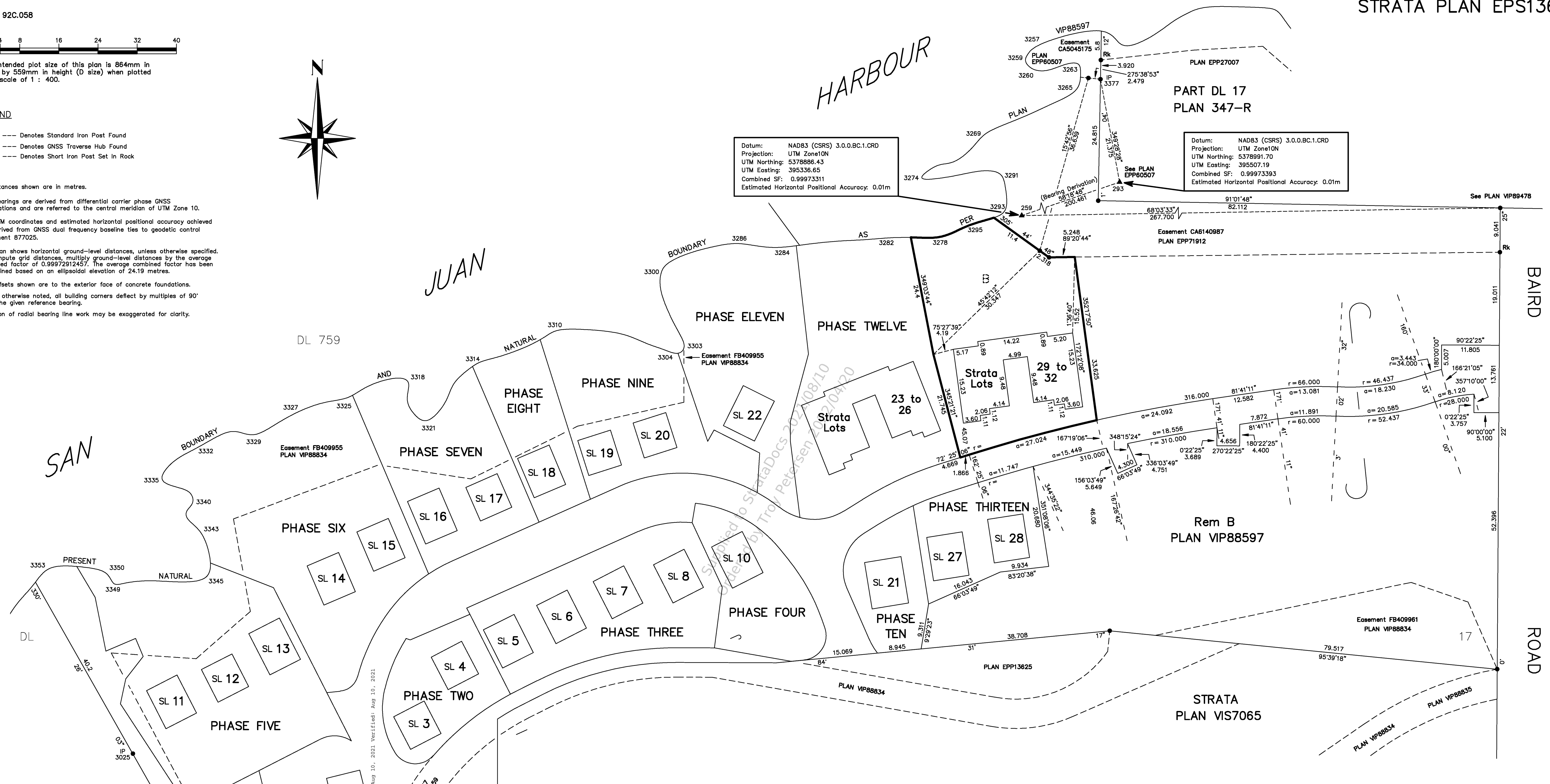
SAN

BAIRD

ROAD

Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
 Projection: UTM Zone10N
 UTM Northing: 5378886.43
 UTM Easting: 395336.65
 Combined SF: 0.99973311
 Estimated Horizontal Positional Accuracy: 0.01m

Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
 Projection: UTM Zone10N
 UTM Northing: 5378991.70
 UTM Easting: 395507.19
 Combined SF: 0.99973393
 Estimated Horizontal Positional Accuracy: 0.01m



TRAVERSE TABLE OF PRESENT NATURAL BOUNDARY TIES AND TITLE BOUNDARY AS PER PLAN VIP88597

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3377 to 3282	238°24'	62.99	3025 to 3324	32°13'	88.66			
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Civic Address:
 Strata Lot 29 is at 228-6596 Baird Road,
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This plan lies within the Capital Assessment Area.
 This plan lies within the Capital Regional District.

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 Colin W. Grover, BCLS 827

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Server:\Common\Colin\24963_PORT_RENFREW\24963LDDPRJ\dwg\PortRenfrew.dwg
 Layout: StrataCompground

This plan is Phase Fourteen of a Twenty One phase strata plan under section 224 of the Strata Property Act lying within the jurisdiction of the Approving Officer for the Ministry of Transportation and Infrastructure.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

BASEMENT FLOOR – Part of Strata Lots 29, 30, 31 and 32

PHASE FOURTEEN STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.

LEGEND

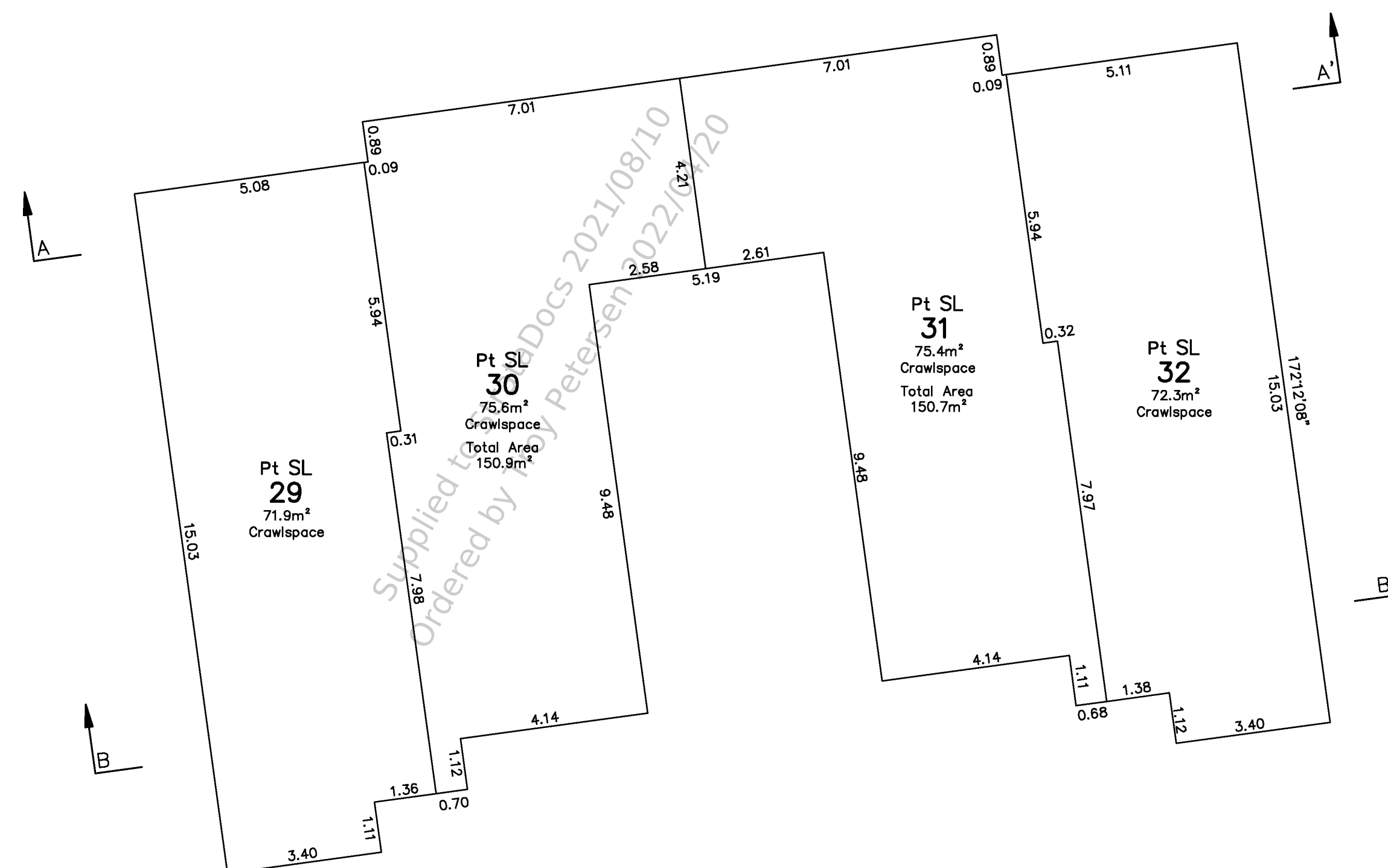
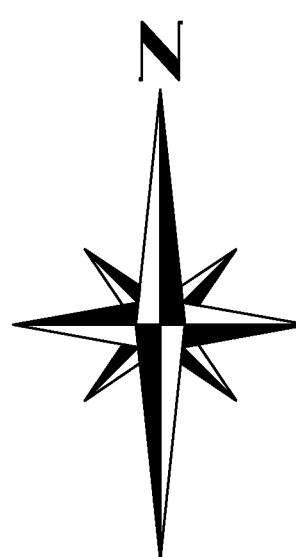
Pt --- Denotes Part

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Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



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Server: Common\Cain\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS B27, November 30, 2017.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE FOURTEEN STRATA PLAN EPS1360

GROUND FLOOR (TOP) – Part of Strata Lots 29, 30, 31 and 32



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 150.

- LEGEND**
- CP --- Denotes Common Property
 - LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
 - Pt --- Denotes Part

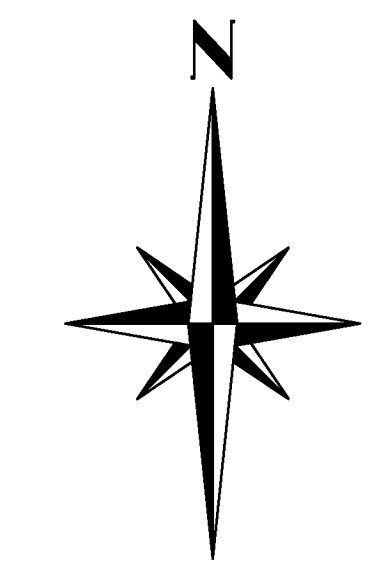
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Server: Common\Colin\24963_PORT_RENFREW\24963LDDPRJ\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, November 30, 2017.

Ordered By: Troy Peterson of Sutton Group West Coast Realty on 2022/04/20

PHASE FOURTEEN
STRATA PLAN EPS1360

CROSS SECTIONS



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

Pt --- Denotes Part

All distances shown are in metres.

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The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Section A – A'

	Pt SL 29	Pt SL 30	Pt SL 31	Pt SL 32	
Ground Floor					Ground Floor
Basement Floor	Pt SL 29 Crawlspace / Storage	Pt SL 30 Crawlspace / Storage	Pt SL 31 Crawlspace / Storage	Pt SL 32 Crawlspace / Storage	Basement Floor

Supplied to StrataDocs 2021/08/10
Ordered by Troy Petersen 2022/04/20

Section B – B'

	Pt SL 29	Pt SL 30		Pt SL 31	Pt SL 32	
Ground Floor						Ground Floor
Basement Floor	Pt SL 29 Crawlspace / Storage	Pt SL 30 Crawlspace / Storage		Pt SL 31 Crawlspace / Storage	Pt SL 32 Crawlspace / Storage	Basement Floor

PHASED STRATA PLAN OF LOT B, DISTRICT LOT 17, RENFREW DISTRICT, PLAN VIP88597

PHASE FIFTEEN STRATA PLAN EPS1360

BCGS 92C.058



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 400.

LEGEND

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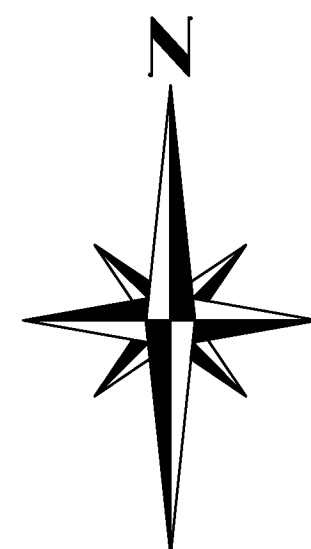
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Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

Direction of radial bearing line work may be exaggerated for clarity.



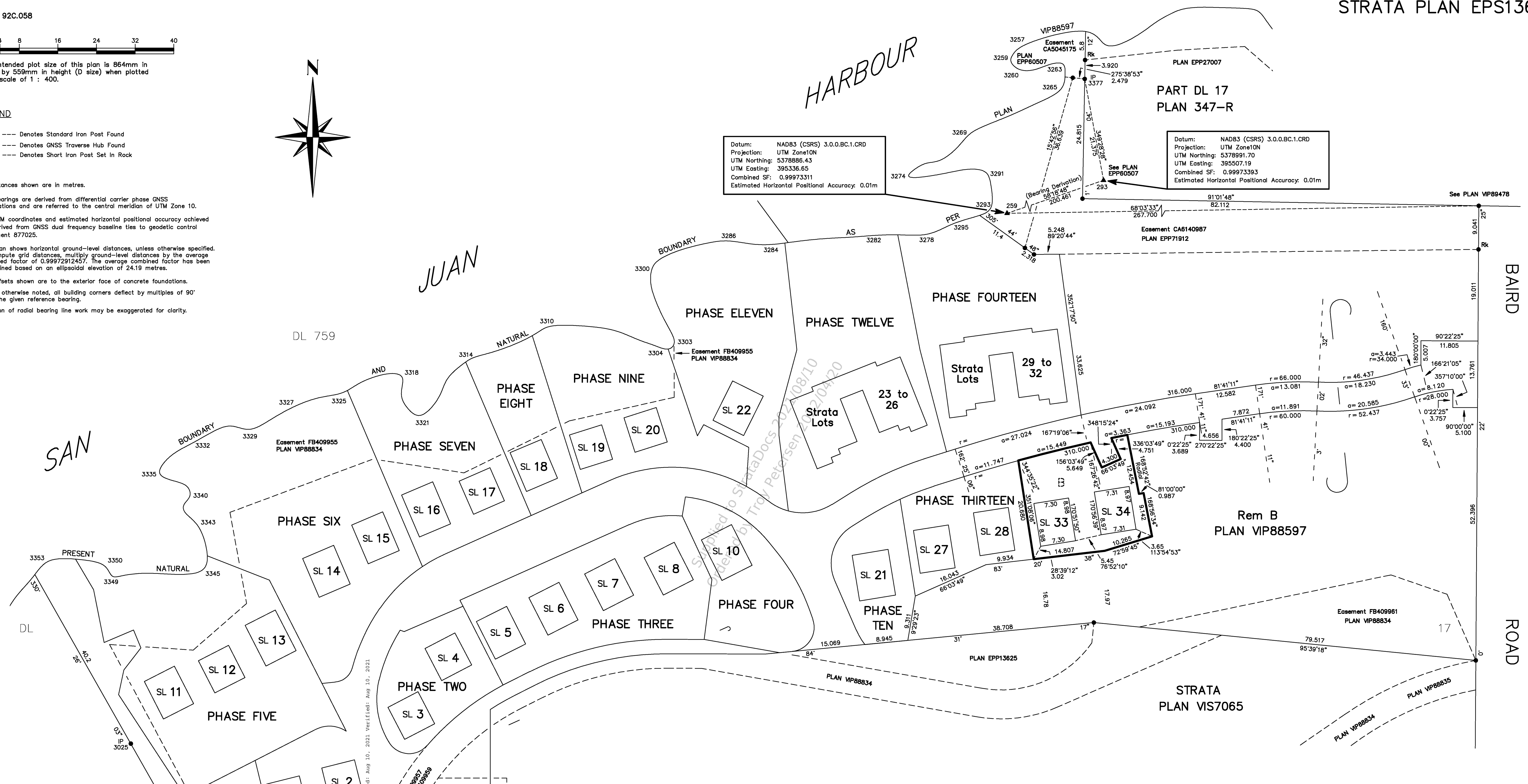
HARBOUR

JUAN

SAN

Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
 Projection: UTM Zone10N
 UTM Northing: 5378886.43
 UTM Easting: 395336.65
 Combined SF: 0.99973311
 Estimated Horizontal Positional Accuracy: 0.01m

Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
 Projection: UTM Zone10N
 UTM Northing: 5378991.70
 UTM Easting: 395507.19
 Combined SF: 0.99973393
 Estimated Horizontal Positional Accuracy: 0.01m



TRAVERSE TABLE OF PRESENT NATURAL BOUNDARY TIES AND TITLE BOUNDARY AS PER PLAN VIP88597

POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE
3377 to 3257	299°06'	15.13	3377 to 3288	245°44'	81.09	3025 to 3326	28°28'	81.88
3377 to 3259	283°00'	16.07	3377 to 3289	247°11'	91.36	3025 to 3327	25°35'	77.39
3377 to 3260	277°04'	13.97	3377 to 3300	246°22'	98.15	3025 to 3329	20°56'	68.96
3377 to 3261	278°17'	10.62	3377 to 3301	244°16'	100.10	3025 to 3330	17°45'	68.48
3377 to 3263	311°14'	5.40	3377 to 3303	237°08'	100.43	3025 to 3332	11°58'	63.84
3377 to 3265	238°51'	4.89	3377 to 3304	236°42'	103.01	3025 to 3334	6°59'	59.32
3377 to 3267	243°31'	17.05	3025 to 3306	51°33'	134.35	3025 to 3335	5°10'	55.93
3377 to 3269	244°31'	26.91	3025 to 3308	47°44'	128.60	3025 to 3339	12°32'	55.02
3377 to 3271	240°01'	54.61	3025 to 3310	44°52'	122.15	3025 to 3340	13°55'	52.67
3377 to 3272	242°21'	37.13	3025 to 3312	44°10'	115.97	3025 to 3341	12°11'	50.82
3377 to 3274	241°26'	42.16	3025 to 3313	42°48'	110.45	3025 to 3342	12°45'	49.04
3377 to 3275	239°49'	41.10	3025 to 3314	41°31'	107.10	3025 to 3343	17°15'	47.77
3377 to 3280	232°38'	30.42	3025 to 3319	40°40'	99.85	3025 to 3345	24°31'	38.76
3377 to 3281	228°42'	27.52	3025 to 3320	41°48'	86.82	3025 to 3347	4°55'	35.66
3377 to 3283	214°40'	32.93	3025 to 3321	41°56'	90.16	3025 to 3349	35°08'	34.37
3377 to 3285	222°11'	40.02	3025 to 3317	37°30'	91.00	3025 to 3350	35°28'	37.62
3377 to 3280	233°03'	53.77	3025 to 3318	36°48'	95.44	3025 to 3352	33°38'	41.08
3377 to 3282	238°24'	62.99	3025 to 3323	34°45'	93.79	3025 to 3353	33°47'	41.93
3377 to 3284	242°06'	73.68	3025 to 3324	32°13'	88.66			
			3025 to 3325	31°25'	84.76			

Civic Address:
Strata Lot 33 is at 223-6596 Baird Road,
Strata Lot 34 is at 221-6596 Baird Road,
Port Renfrew, B.C.

This plan lies within the Capital Assessment Area.
This plan lies within the Capital Regional District.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within the external boundaries of the land that is the subject of the strata plan.

The field survey represented by this plan was completed on the 25th day of May, 2018.
Colin W. Grover, BCLS 827

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B.C. Land Surveyors - Consulting Engineers
Victoria, Nanaimo, Parksville and Campbell River, B.C.
Phone: 250-727-2214 Web: www.jeanderson.com
File: 24703-2

Server:\Common\Coin\24963_PORT_RENFREW\24963LDDPRU\dwg\PortRenfrew.dwg
Layout: StrataCompground

This plan is Phase Fifteen of a Twenty phase strata plan under section 224 of the Strata Property Act lying within the Jurisdiction of the Approving Officer for the Ministry of Transportation and Infrastructure.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

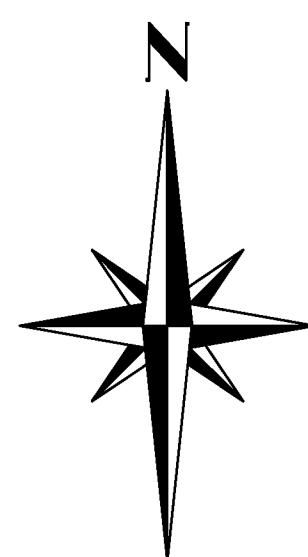
BASEMENT FLOOR – Part of Strata Lots 33 and 34

Sheet 2 of 5 Sheets

PHASE FIFTEEN STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.



LEGEND

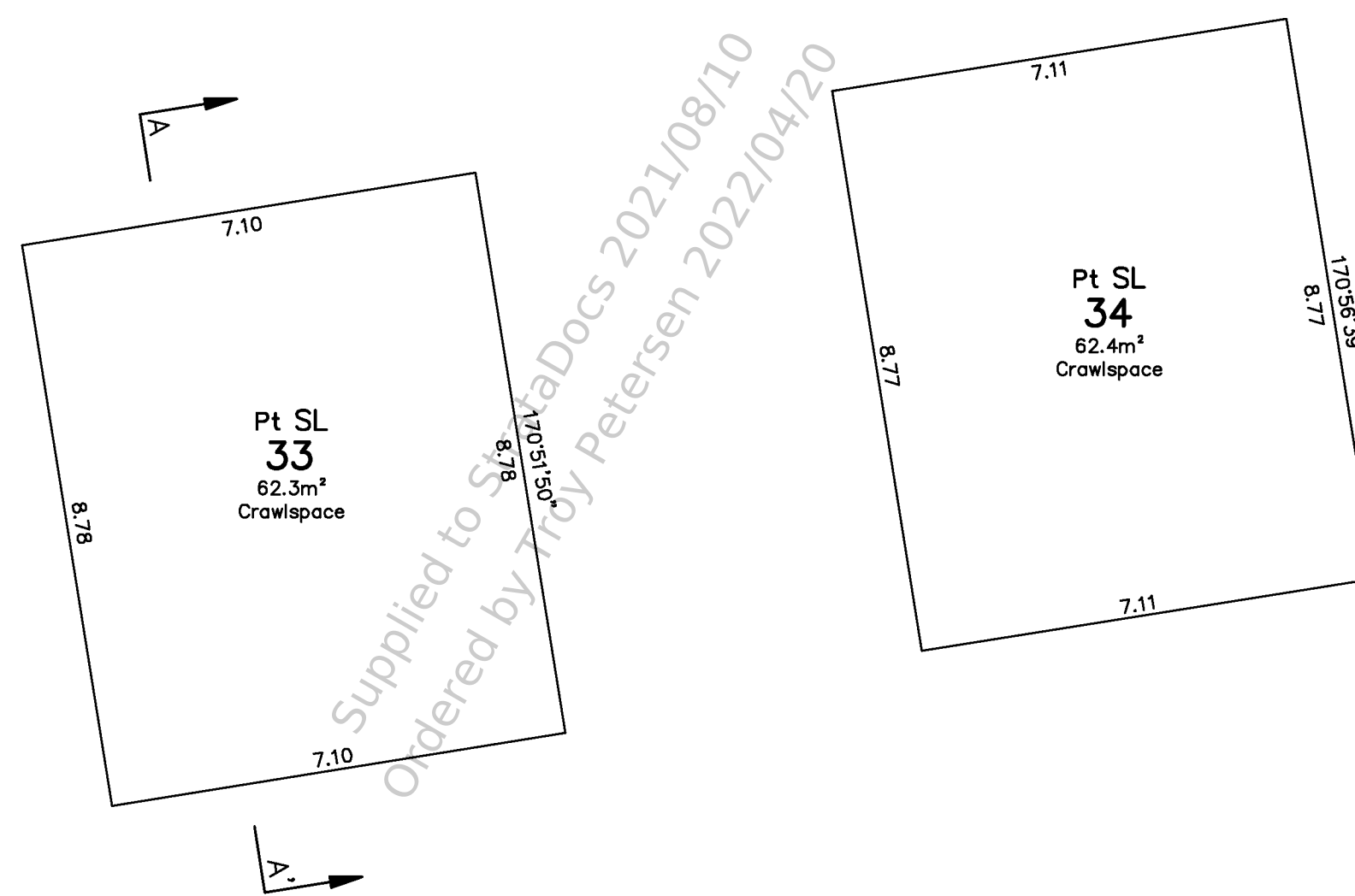
Pt --- Denotes Part

All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



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Server: Common\Colin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, May 25, 2018.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

GROUND FLOOR – Part of Strata Lots 33 and 34

PHASE FIFTEEN STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 150.

LEGEND

- CP --- Denotes Common Property
- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

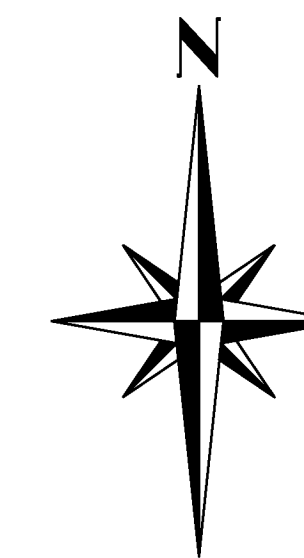
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to their outermost edge and the exterior face of building walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



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Ordered by Troy Petersen 2022/04/20

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STRATA
PLAN VIS7065

Server: Common\Colin\24963_PORT_RENFREW\24963LDDPRJ\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, May 25, 2018.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE FIFTEEN STRATA PLAN EPS1360

SECOND FLOOR (TOP) – Part of Strata Lots 33 and 34



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.

LEGEND

- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

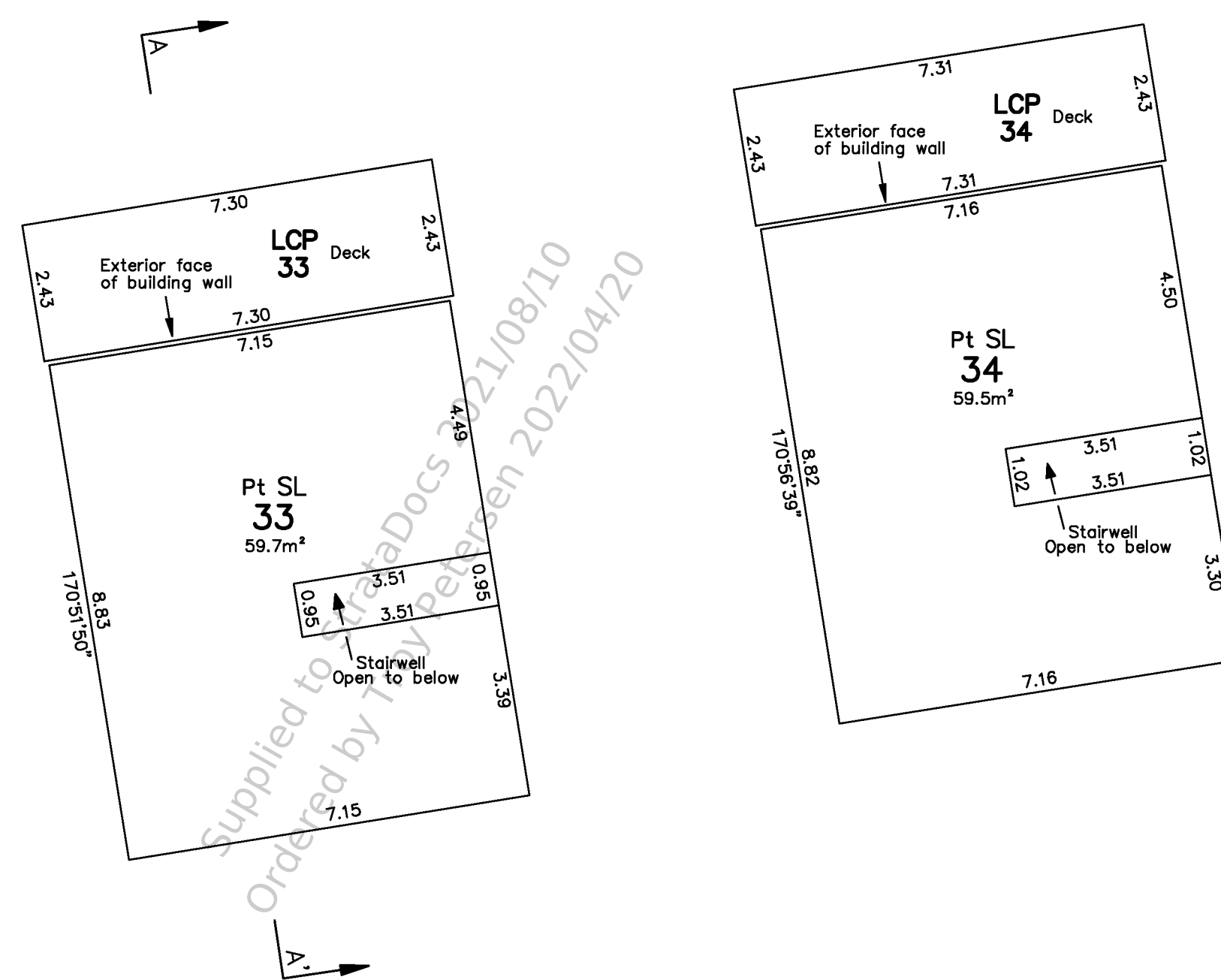
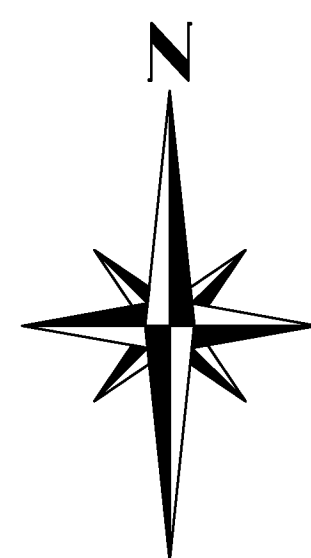
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to their outermost edge and the exterior face of building walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



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Server: Common\Colln\24963_PORT_RENFREW\24963LDDPR.dwg\PortRenfrew.dwg
 Layout: StrataB_Campground

Colin W. Grover, BCLS 827, May 25, 2018.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE FIFTEEN
STRATA PLAN EPS1360

CROSS SECTIONS



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
Pt --- Denotes Part

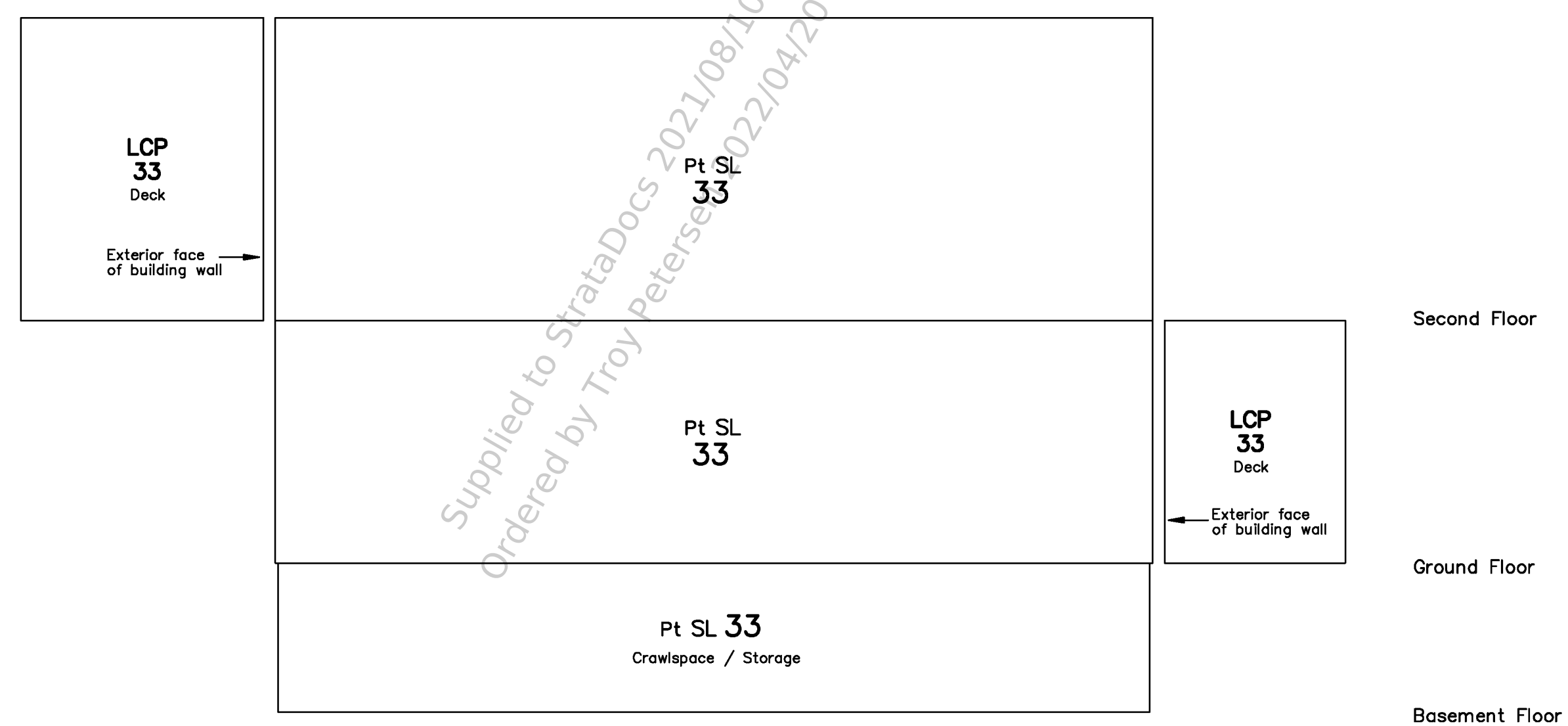
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to their outermost edge and the exterior face of building walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Section A - A'
Typical Cross Section for Strata Lots 33 and 34



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Server: Common\Collin\24963_PORT_RENFREW\24963LDDPRJ\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCL.S 827, May 25, 2018.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASED STRATA PLAN OF LOT B, DISTRICT LOT 17, RENFREW DISTRICT, PLAN VIP88597

PHASE SIXTEEN STRATA PLAN EPS1360

BCGS 92C.058



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 400.

LEGEND

- --- Denotes Standard Iron Post Found
- ▲ --- Denotes GNSS Traverse Hub Found
- Rk --- Denotes Short Iron Post Set In Rock

All distances shown are in metres.

Grid bearings are derived from differential carrier phase GNSS observations and are referred to the central meridian of UTM Zone 10.

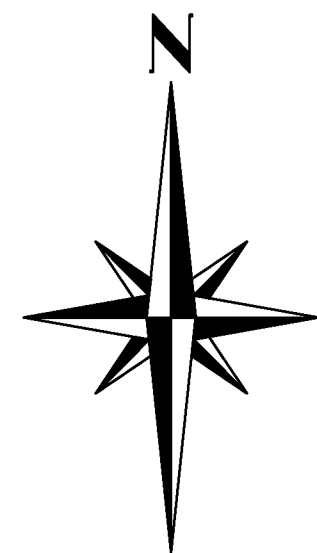
The UTM coordinates and estimated horizontal positional accuracy achieved are derived from GNSS dual frequency baseline ties to geodetic control monument 877025.

This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9997812457. The average combined factor has been determined based on an ellipsoidal elevation of 24.19 metres.

The offsets shown are to the exterior face of concrete foundations.

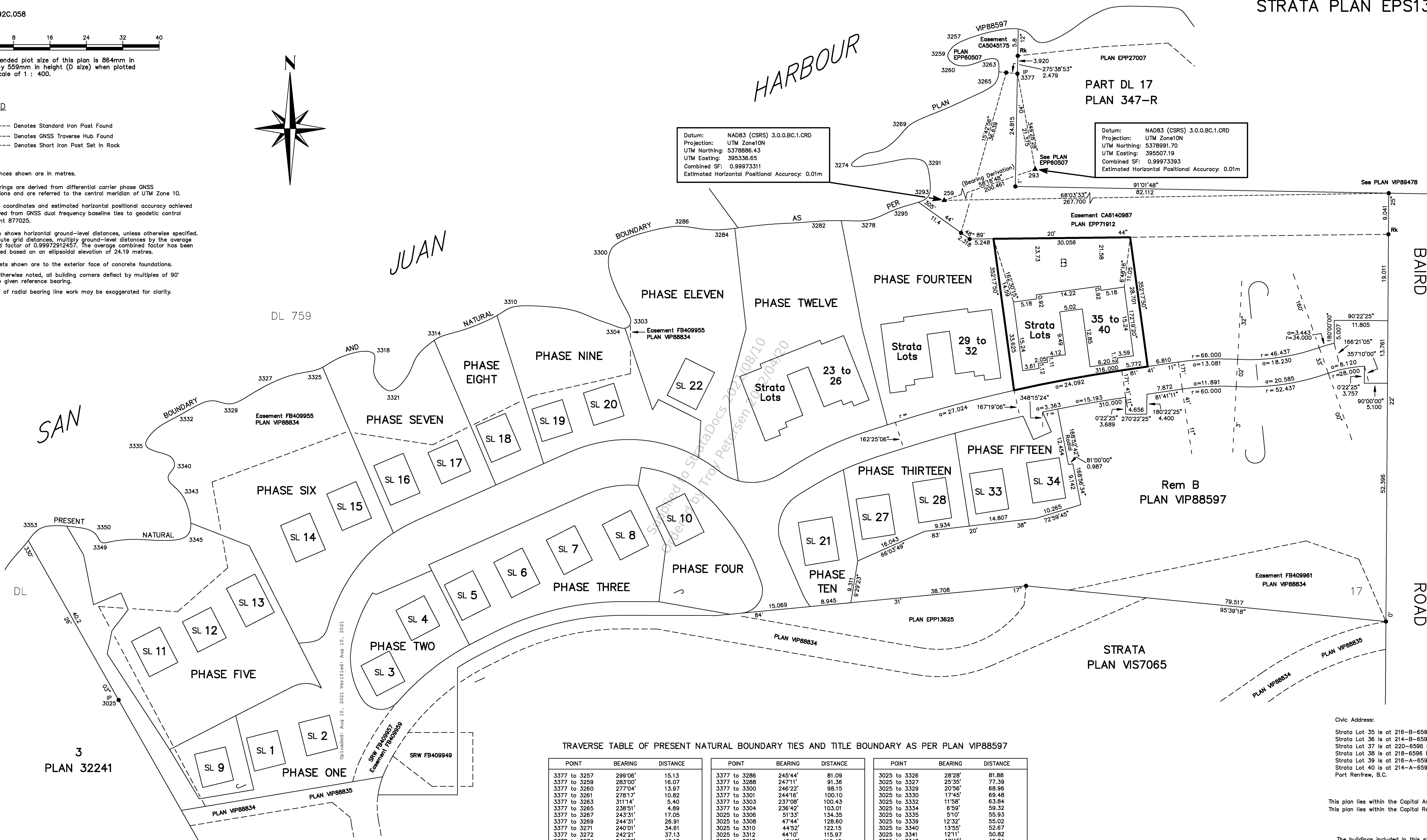
Unless otherwise noted, all building corners deflect by 90° from the given reference bearing.

Direction of radial bearing line work may be exaggerated for clarity.



Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
 Projection: UTM Zone10N
 UTM Northing: 5378886.43
 UTM Easting: 395336.65
 Combined SF: 0.99973311
 Estimated Horizontal Positional Accuracy: 0.01m

Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
 Projection: UTM Zone10N
 UTM Northing: 5378991.70
 UTM Easting: 395507.19
 Combined SF: 0.99973393
 Estimated Horizontal Positional Accuracy: 0.01m



TRAVERSE TABLE OF PRESENT NATURAL BOUNDARY TIES AND TITLE BOUNDARY AS PER PLAN VIP88597

POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE
3377 to 3257	299°06'	15.13	3377 to 3288	245°44'	81.09	3025 to 3326	28°28'	81.88
3377 to 3259	283°00'	16.07	3377 to 3289	247°11'	91.36	3025 to 3327	25°35'	77.39
3377 to 3260	277°04'	13.97	3377 to 3300	246°22'	98.15	3025 to 3329	20°56'	68.96
3377 to 3261	278°17'	10.82	3377 to 3301	244°16'	100.10	3025 to 3330	17°45'	69.48
3377 to 3263	311°14'	5.40	3377 to 3303	237°08'	100.43	3025 to 3332	11°58'	63.84
3377 to 3265	238°51'	4.89	3377 to 3304	236°42'	103.01	3025 to 3334	6°59'	59.32
3377 to 3267	243°31'	17.05	3025 to 3306	51°33'	134.35	3025 to 3335	5°10'	55.93
3377 to 3269	244°31'	26.91	3025 to 3308	47°44'	128.60	3025 to 3339	12°32'	55.02
3377 to 3271	240°01'	34.61	3025 to 3310	44°52'	122.15	3025 to 3340	13°55'	52.67
3377 to 3272	242°21'	37.13	3025 to 3312	44°10'	115.97	3025 to 3341	12°11'	50.82
3377 to 3274	241°26'	42.16	3025 to 3313	42°48'	110.45	3025 to 3342	12°45'	49.04
3377 to 3275	239°49'	41.10	3025 to 3314	41°31'	107.10	3025 to 3343	17°15'	47.77
3377 to 3280	232°38'	30.42	3025 to 3319	40°40'	99.85	3025 to 3345	24°31'	38.76
3377 to 3281	226°42'	27.52	3025 to 3320	41°48'	96.62	3025 to 3347	4°55'	35.66
3377 to 3283	214°40'	32.93	3025 to 3321	41°56'	90.16	3025 to 3349	35°08'	34.37
3377 to 3285	222°11'	40.02	3025 to 3317	37°30'	91.00	3025 to 3350	35°28'	37.62
3377 to 3278	225°50'	46.72	3025 to 3318	36°48'	95.44	3025 to 3352	33°38'	41.08
3377 to 3280	233°03'	53.77	3025 to 3323	34°45'	83.79	3025 to 3353	33°47'	41.93
3377 to 3282	238°24'	62.99	3025 to 3324	32°13'	88.66			
3377 to 3284	242°06'	73.68	3025 to 3325	31°25'	84.76			

Civic Address:
 Strata Lot 35 is at 216-B-6596 Baird Road,
 Strata Lot 36 is at 214-B-6596 Baird Road,
 Strata Lot 37 is at 220-6596 Baird Road,
 Strata Lot 38 is at 218-6596 Baird Road,
 Strata Lot 39 is at 216-A-6596 Baird Road,
 Strata Lot 40 is at 214-A-6596 Baird Road,
 Port Renfrew, B.C.

This plan lies within the Capital Assessment Area.
 This plan lies within the Capital Regional District.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within the external boundaries of the land that is the subject of the strata plan.

The field survey represented by this plan was completed on the 3rd day of December, 2018.
 Colin W. Grover, BCLS 827

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 Victoria, Nanaimo, Parksville and Campbell River, B.C.
 Phone: 250-727-2214 Web: www.jeanderson.com
 File: 24703-2

Server:\Common\Coin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
 Layout: StrataB_Compground

This plan is Phase Sixteen of a Twenty phase strata plan under section 224 of the Strata Property Act lying within the jurisdiction of the Approving Officer for the Ministry of Transportation and Infrastructure.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

GROUND FLOOR – Strata Lots 35 and 36 and Part of Strata Lots 37 and 38

PHASE SIXTEEN STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 150.

LEGEND

- CP --- Denotes Common Property
- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part
- M --- Denotes Mechanical Room (Common Property)

All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to their outermost edge and the exterior face of building walls and patios which are measured to the inside of foundation walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

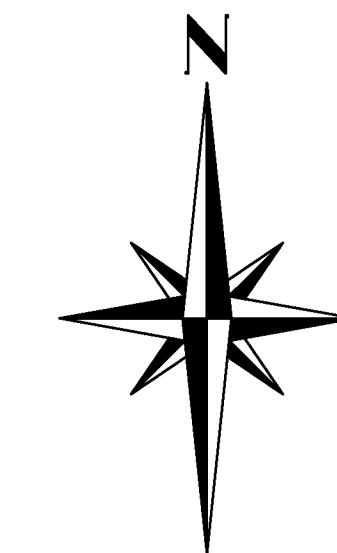
LCP Decks and LCP Patios are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

LCP Yards are defined as to height by the centreline of the floor of the strata lot above, or where there is no strata lot above, by the average height of the strata lot within.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

See Sheet 1 for complete PNB dimensions

PART DL 17
PLAN 347-R



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Server: Common\Collin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
 Layout: StrataB_Campground

Colin W. Grover, BCLS 827, December 3, 2018.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE SIXTEEN STRATA PLAN EPS1360

SECOND FLOOR (TOP) – Part of Strata Lots 37 and 38 and Strata Lots 39 and 40



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.

LEGEND

- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part
- --- Denotes Perimeter of Floor Below

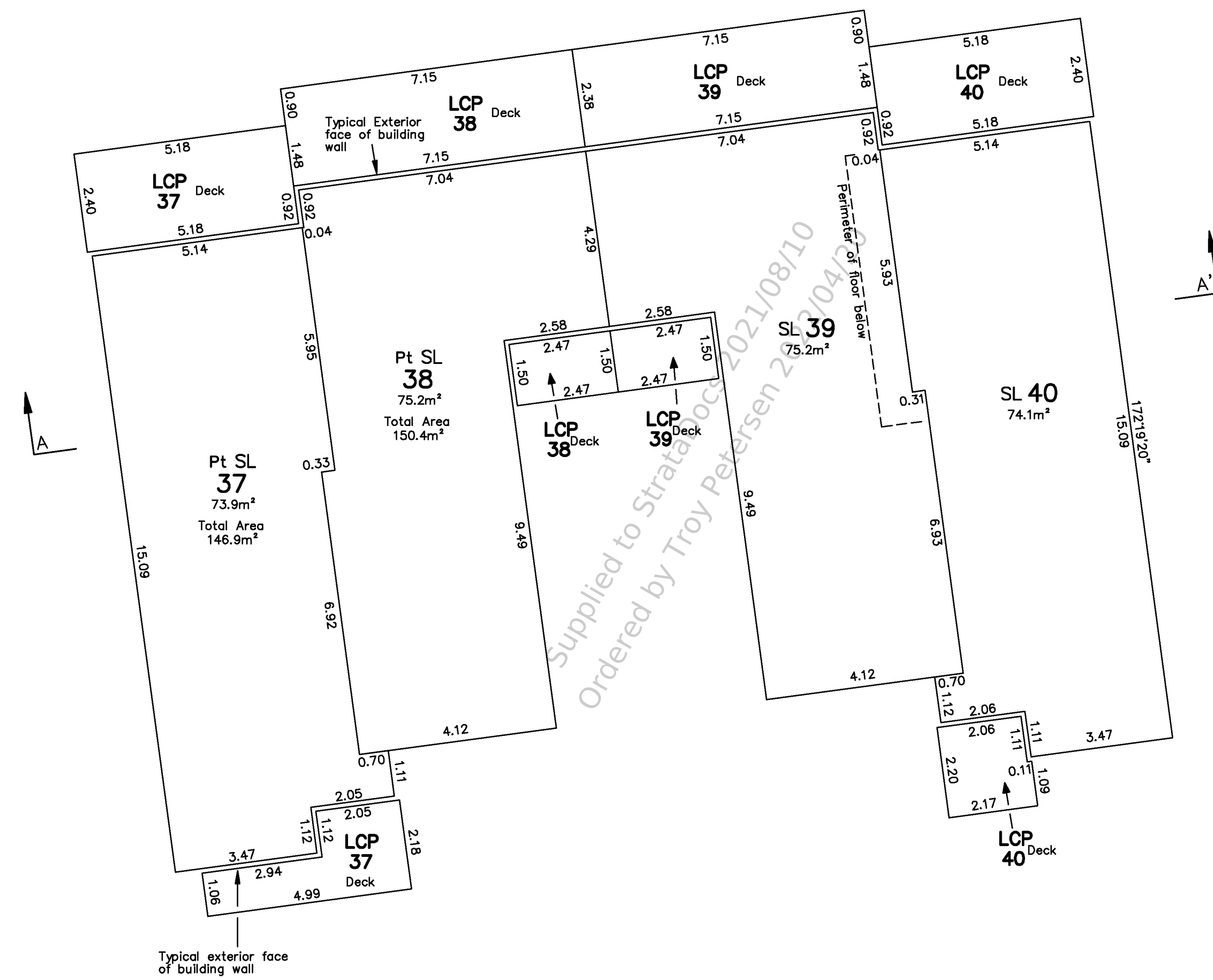
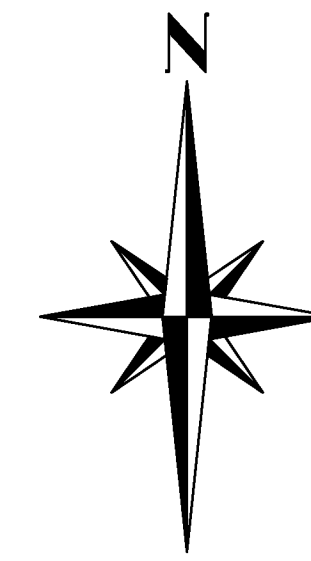
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to their outermost edge and the exterior face of building walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

LCP Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



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File: 24703-2

Server: Common\Colin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, December 3, 2018.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE SIXTEEN STRATA PLAN EPS1360

CROSS SECTIONS



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
Pt --- Denotes Part

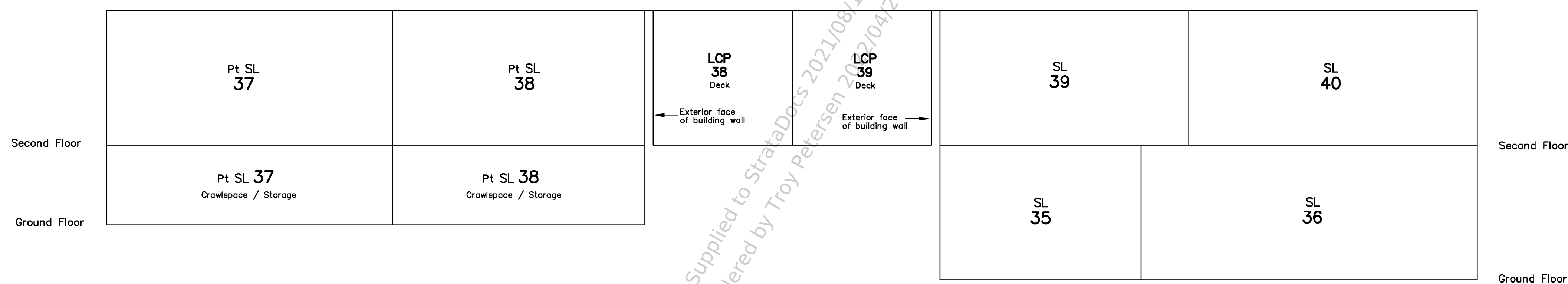
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to their outermost edge and the exterior face of building walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

LCP Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Section A - A'



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Server: Common\Colin\24963_PORT_RENFREW\24963LDDPRJ\dwg\PortRenfrew.dwg
Layout: StrataB_Campground

Colin W. Grover, BCLS 827, December 3, 2018.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASED STRATA PLAN OF LOT B, DISTRICT LOT 17, RENFREW DISTRICT, PLAN VIP88597

PHASE SEVENTEEN STRATA PLAN EPS1360

BCGS 92C.058



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 400.

LEGEND

- --- Denotes Standard Iron Post Found
- ▲ --- Denotes GNSS Traverse Hub Found
- Rk --- Denotes Short Iron Post Set In Rock

All distances shown are in metres.

Grid bearings are derived from differential carrier phase GNSS observations and are referred to the central meridian of UTM Zone 10.

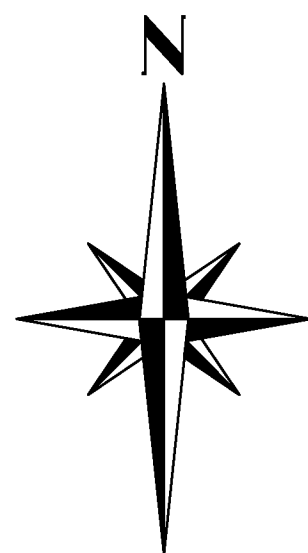
The UTM coordinates and estimated absolute accuracy achieved are derived from GNSS dual frequency baseline ties to geodetic control monument 877025.

This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground level distances by the average combined factor of 0.99973311. The average combined factor has been determined based on an ellipsoidal elevation of 24.19 metres.

The offsets shown are to the exterior face of concrete foundations.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.

Direction of radial bearing line work may be exaggerated for clarity.



HARBOUR

JUAN

SAN



Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
 Projection: UTM Zone10N
 UTM Northing: 5378886.43
 UTM Easting: 395336.65
 Combined SF: 0.99973311
 Estimated Absolute Accuracy: 0.01m

Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
 Projection: UTM Zone10N
 UTM Northing: 5378891.70
 UTM Easting: 395507.19
 Combined SF: 0.99973393
 Estimated Absolute Accuracy: 0.01m

TRAVERSE TABLE OF PRESENT NATURAL BOUNDARY TIES AND TITLE BOUNDARY AS PER PLAN VIP88597

POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE
3377 to 3257	299°06'	15.13	3377 to 3288	245°44'	81.09	3025 to 3326	28°28'	81.88
3377 to 3259	283°00'	16.07	3377 to 3288	247°11'	91.36	3025 to 3327	25°35'	77.39
3377 to 3260	277°04'	13.97	3377 to 3300	246°22'	98.15	3025 to 3329	20°56'	68.96
3377 to 3261	278°17'	10.82	3377 to 3301	244°16'	100.10	3025 to 3330	17°45'	69.48
3377 to 3263	311°14'	5.40	3377 to 3303	237°08'	100.43	3025 to 3332	11°58'	63.84
3377 to 3265	238°51'	4.89	3377 to 3304	236°42'	103.01	3025 to 3334	6°59'	59.32
3377 to 3267	243°31'	17.05	3025 to 3306	51°33'	134.35	3025 to 3335	5°10'	55.93
3377 to 3269	244°31'	26.91	3025 to 3308	47°44'	128.60	3025 to 3339	12°32'	55.02
3377 to 3271	240°01'	34.61	3025 to 3310	44°52'	122.15	3025 to 3340	13°55'	52.67
3377 to 3272	242°21'	37.13	3025 to 3312	44°10'	115.97	3025 to 3341	12°11'	50.82
3377 to 3274	241°26'	42.16	3025 to 3313	42°48'	110.45	3025 to 3342	12°45'	49.04
3377 to 3275	239°49'	41.10	3025 to 3314	41°31'	107.10	3025 to 3343	17°15'	47.77
3377 to 3280	232°38'	30.42	3025 to 3319	40°40'	99.85	3025 to 3345	24°31'	38.76
3377 to 3281	226°42'	27.52	3025 to 3320	41°48'	96.62	3025 to 3347	4°55'	35.66
3377 to 3283	214°40'	32.93	3025 to 3321	41°56'	90.16	3025 to 3349	35°08'	34.37
3377 to 3285	222°11'	40.02	3025 to 3317	37°30'	91.00	3025 to 3350	35°28'	37.62
3377 to 3286	233°03'	53.77	3025 to 3318	36°48'	95.44	3025 to 3352	33°38'	41.08
3377 to 3282	238°24'	62.99	3025 to 3323	34°45'	93.79	3025 to 3353	33°47'	41.93
3377 to 3284	242°06'	73.68	3025 to 3324	32°13'	88.66			
			3025 to 3325	31°25'	84.76			

Civic Address:
 Strata Lot 41 is at 212-6596 Baird Road,
 Strata Lot 42 is at 210-6596 Baird Road,
 Strata Lot 43 is at 208-B-6596 Baird Road,
 Strata Lot 44 is at 206-B-6596 Baird Road,
 Strata Lot 45 is at 208-A-6596 Baird Road,
 Strata Lot 46 is at 206-A-6596 Baird Road,
 Port Renfrew, B.C.

This plan lies within the Capital Assessment Area. This plan lies within the Capital Regional District.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within the external boundaries of the land that is the subject of the strata plan.

The field survey represented by this plan was completed on the 2nd day of October, 2019. Colin W. Grover, BCLS 827

J.E. ANDERSON & ASSOCIATES
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 File: 24703-2

Server:\Common\Coin\24963_PORT_RENFREW\24963LDDPRJ\dwg\PortRenfrew.dwg
 Layout: StrataB_Campground

This plan is Phase Seventeen of a Twenty phase strata plan under section 224 of the Strata Property Act lying within the jurisdiction of the Approving Officer for the Ministry of Transportation and Infrastructure.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

SECOND FLOOR (TOP) – Part of Strata Lots 41 and 42 and Strata Lots 45 and 46

PHASE SEVENTEEN STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.

LEGEND

- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part

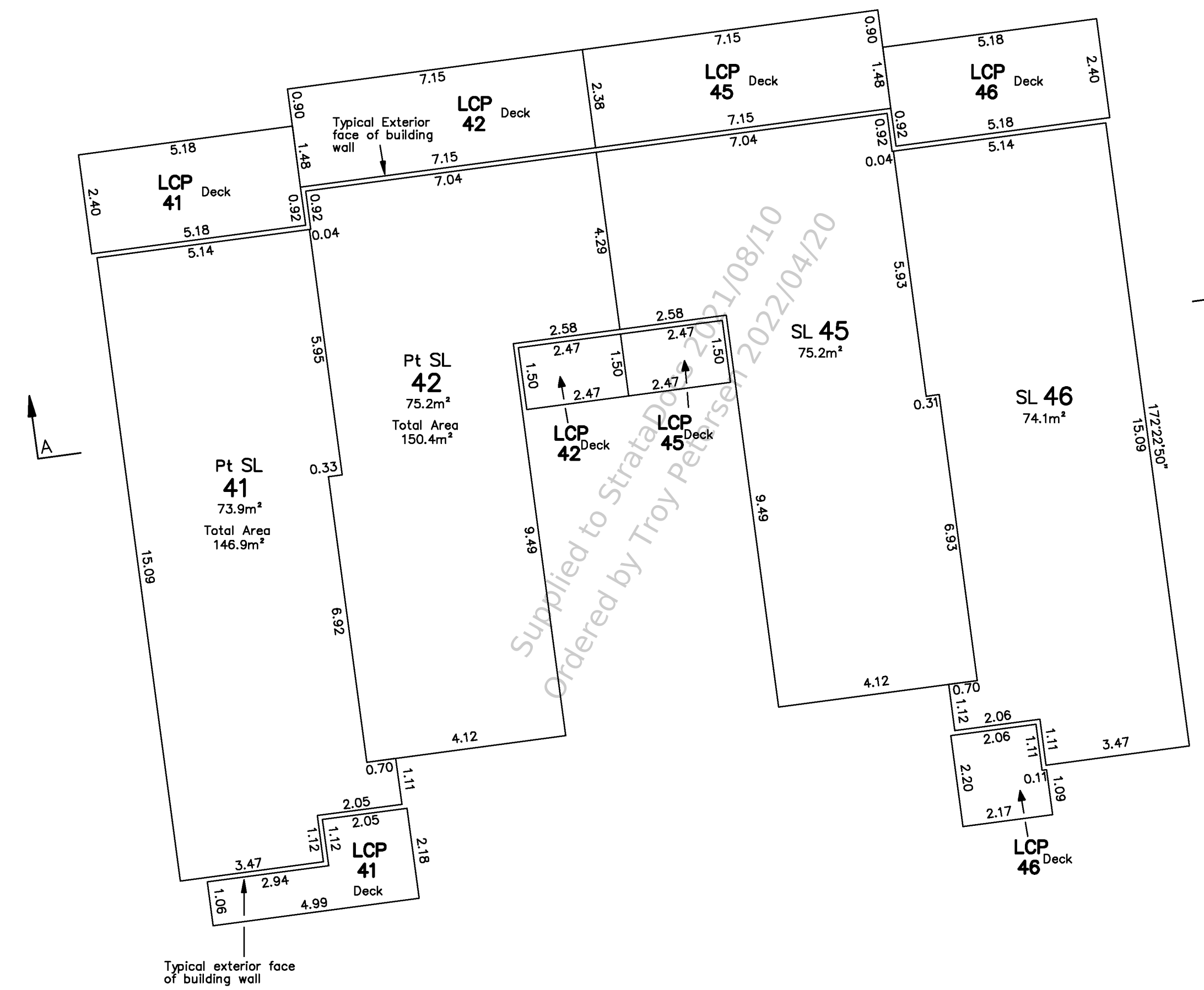
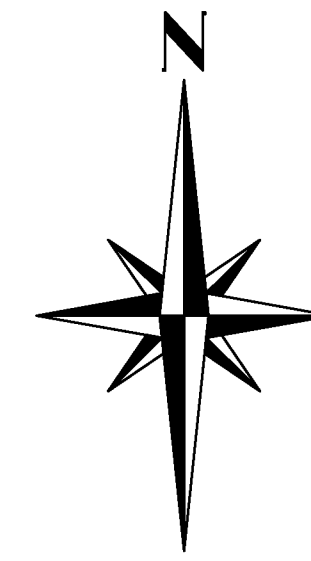
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to their outermost edge and the exterior face of building walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

LCP Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



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 Layout: StrataB_Campground

Colin W. Grover, BCLS 827, October 2 2019.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE SEVENTEEN STRATA PLAN EPS1360

CROSS SECTIONS



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
 Pt --- Denotes Part

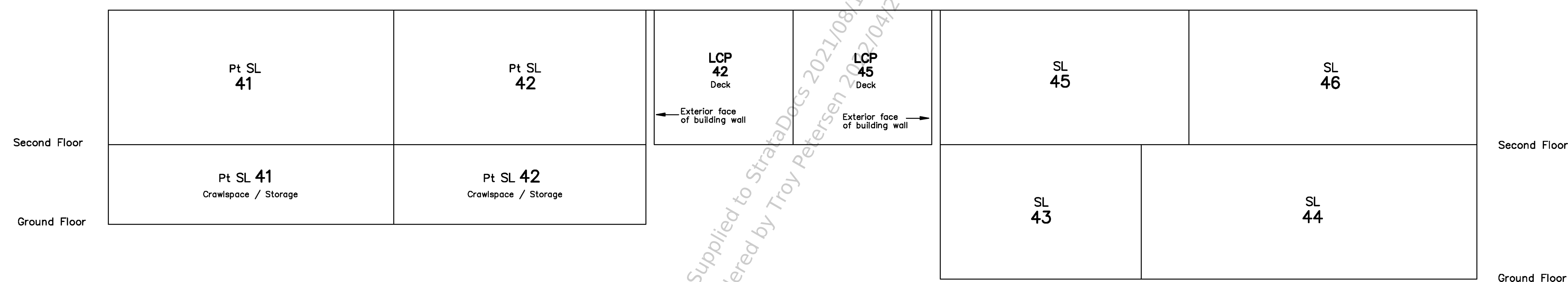
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks which are measured to their outermost edge and the exterior face of building walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

LCP Decks are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Section A - A'



Supplied to StrataDocs 2021/08/10
Ordered by Troy Petersen 2022/04/20

Uploaded: Aug 10, 2021, Verified: Aug 10, 2021

PHASED STRATA PLAN OF LOT B, DISTRICT LOT 17, RENFREW DISTRICT, PLAN VIP88597

PHASE EIGHTEEN STRATA PLAN EPS1360

BCGS 92C.058



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 400.

LEGEND

- --- Denotes Standard Iron Post Found
- ▲ --- Denotes GNSS Traverse Hub Found
- Rk --- Denotes Short Iron Post Placed in Rock

All distances shown are in metres.

Grid bearings are derived from differential carrier phase GNSS observations and are referred to the central meridian of UTM Zone 10.

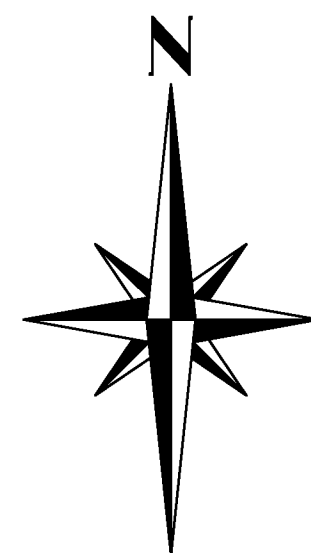
The UTM coordinates and estimated absolute accuracy achieved are derived from GNSS dual frequency baseline ties to geodetic control monument B77025.

This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground level distances by the average combined factor of 0.9997212457. The average combined factor has been determined based on an ellipsoidal elevation of 24.19 metres.

Measurements and offsets from property lines shown on this sheet are to the exterior face of concrete foundation.

Unless otherwise noted, all building corners deflect by multiples of 90° from the given reference bearing.

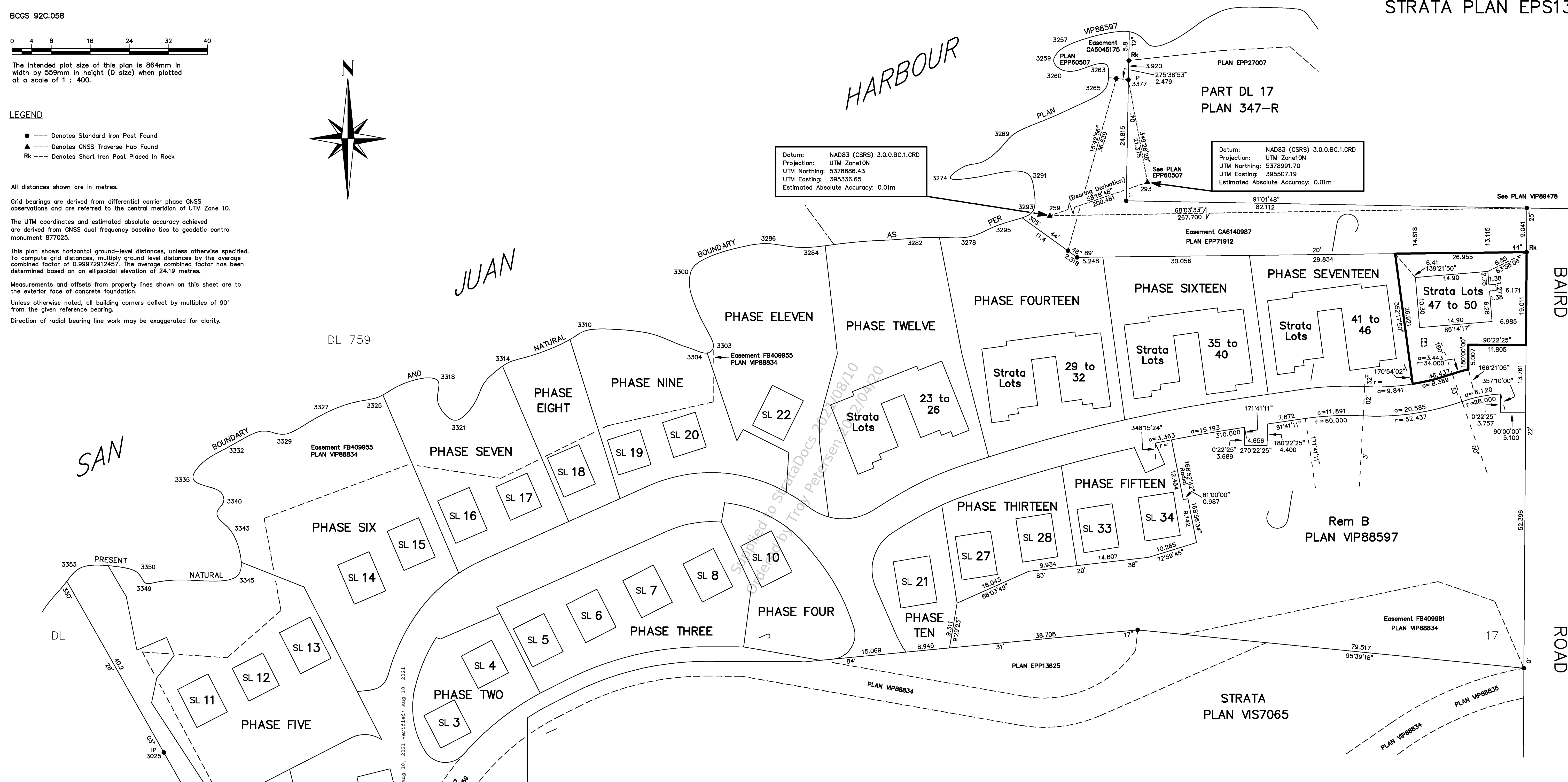
Direction of radial bearing line work may be exaggerated for clarity.



HARBOUR

JUAN

SAN



TRAVERSE TABLE OF PRESENT NATURAL BOUNDARY TIES AND TITLE BOUNDARY AS PER PLAN VIP88597

POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE	POINT	BEARING	DISTANCE
3377 to 3257	299°06'	15.13	3377 to 3288	245°44'	81.09	3025 to 3326	28°28'	81.88
3377 to 3259	283°00'	16.07	3377 to 3288	247°11'	91.36	3025 to 3327	25°35'	77.39
3377 to 3260	277°04'	13.97	3377 to 3300	246°22'	98.15	3025 to 3329	20°56'	68.96
3377 to 3261	278°17'	10.82	3377 to 3301	244°16'	100.10	3025 to 3330	17°45'	68.48
3377 to 3263	311°14'	5.40	3377 to 3303	237°08'	100.43	3025 to 3332	11°58'	63.84
3377 to 3265	238°51'	4.89	3377 to 3304	236°42'	103.01	3025 to 3334	6°59'	59.32
3377 to 3267	243°31'	17.05	3025 to 3306	51°33'	134.35	3025 to 3335	5°10'	55.93
3377 to 3269	244°31'	26.91	3025 to 3308	47°44'	128.60	3025 to 3339	12°32'	55.02
3377 to 3271	240°01'	34.61	3025 to 3310	44°52'	122.15	3025 to 3340	13°55'	52.67
3377 to 3272	242°21'	37.13	3025 to 3312	44°10'	115.97	3025 to 3341	12°11'	50.82
3377 to 3274	241°26'	42.16	3025 to 3313	42°48'	110.45	3025 to 3342	12°45'	49.04
3377 to 3275	239°49'	41.10	3025 to 3314	41°31'	107.10	3025 to 3343	17°15'	47.77
3377 to 3280	232°38'	30.42	3025 to 3319	40°40'	99.85	3025 to 3345	24°31'	38.76
3377 to 3281	226°42'	27.52	3025 to 3320	41°48'	96.62	3025 to 3347	4°55'	35.66
3377 to 3283	214°40'	32.93	3025 to 3321	41°56'	90.16	3025 to 3349	35°08'	34.37
3377 to 3285	222°11'	40.02	3025 to 3317	37°30'	91.00	3025 to 3350	35°28'	37.62
3377 to 3278	225°50'	46.72	3025 to 3318	36°48'	95.44	3025 to 3352	33°38'	41.08
3377 to 3280	233°03'	53.77	3025 to 3323	34°45'	93.79	3025 to 3353	33°47'	41.93
3377 to 3282	238°24'	62.99	3025 to 3324	32°13'	88.66			
3377 to 3284	242°06'	73.68	3025 to 3325	31°25'	84.76			

This plan is Phase Eighteen of a Twenty phase strata plan under section 224 of the Strata Property Act lying within the jurisdiction of the Approving Officer for the Ministry of Transportation and Infrastructure.

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File: 24703-2

Server:\Common\Coin\24963_PORT_RENFREW\24963LDDPR\dwg\PortRenfrew.dwg
Layout: StrataB_Compground

Civic Address:
Strata Lot 47 is at 204-B-6596 Baird Road,
Strata Lot 48 is at 202-B-6596 Baird Road,
Strata Lot 49 is at 204-A-6596 Baird Road,
Strata Lot 50 is at 202-A-6596 Baird Road,
Port Renfrew, B.C.

This plan lies within the Capital Assessment Area.
This plan lies within the Capital Regional District.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within the external boundaries of the land that is the subject of the strata plan.

The field survey represented by this plan was completed on the 10th day of December, 2020.
Colin W. Grover, BCLS 827

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE EIGHTEEN STRATA PLAN EPS1360

BASEMENT FLOOR – Part of Strata Lots 47 and 48



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.

LEGEND

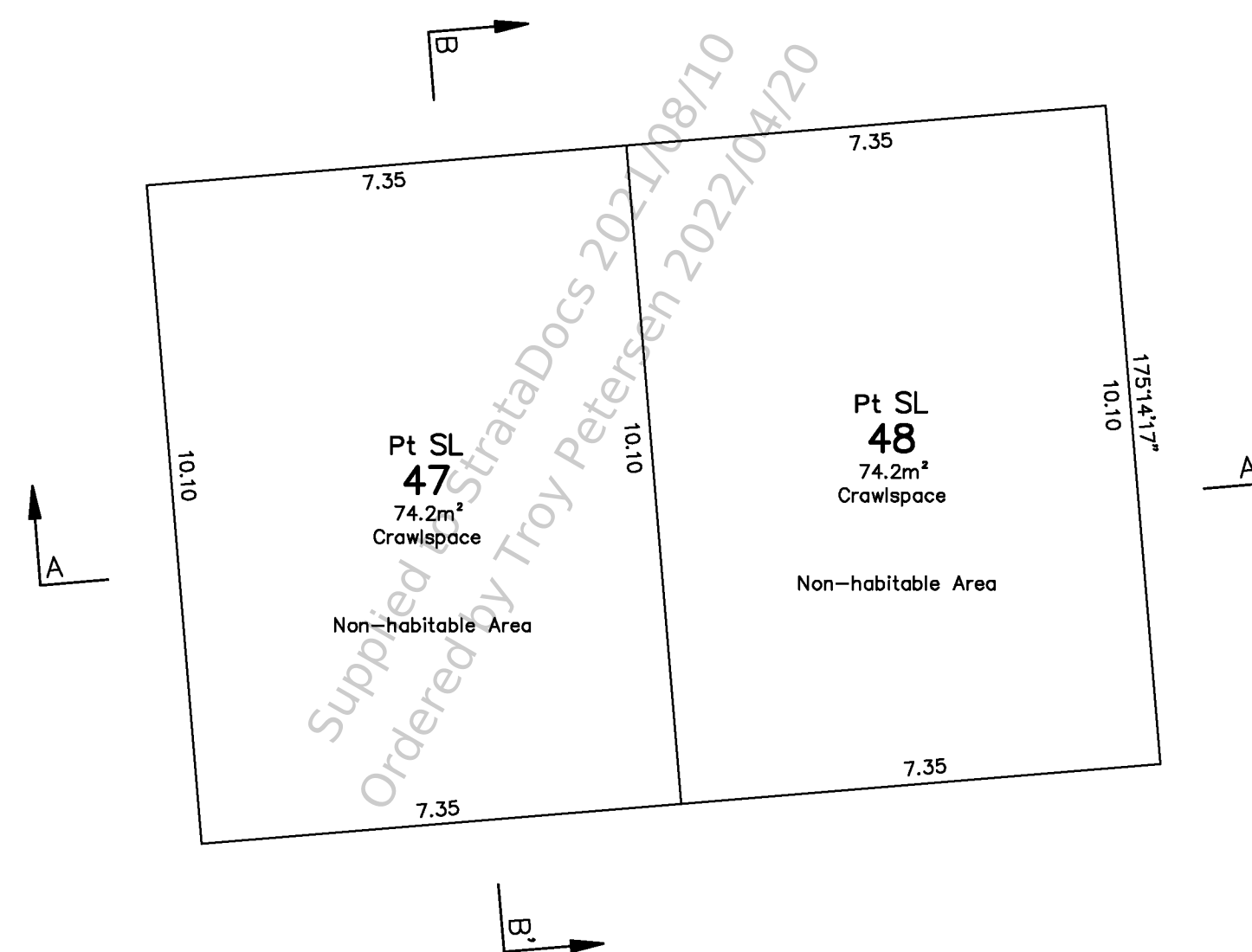
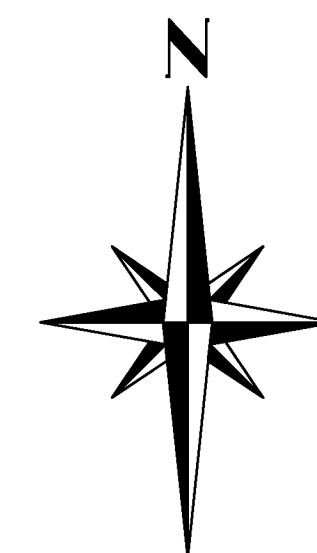
- Pt --- Denotes Part
- SL --- Denotes Strata Lot

All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Unless otherwise noted, all building corners deflect by multiples of 90° from the given reference bearing.



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Layout: StrataB_Campground

Colin W. Grover, BCLS 827, December 10, 2020.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

GROUND FLOOR – Part of Strata Lots 47 and 48

PHASE EIGHTEEN STRATA PLAN EPS1360



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 150.

LEGEND

- CP --- Denotes Common Property
- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part
- M --- Denotes Mechanical Room (Common Property)
- SL --- Denotes Strata Lot

All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks and stairs which are measured to their outermost edge and the exterior face of building walls.

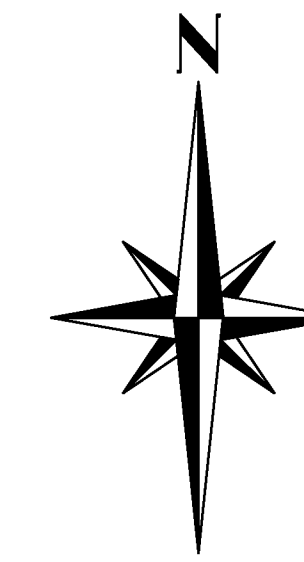
The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

LCP decks and stairs are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

LCP yards are defined as to height by the underside of LCP stairs above and the centreline of the floor of the strata lot above, or where there is no strata lot above, by the average height of the strata lot within.

Unless otherwise noted, all building, deck and stair corners deflect by multiples of 90° from the given reference bearing.

PART DL 17
PLAN 347-R



BAIRD

ROAD

Rem B
PLAN VIP88597

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 Layout: StrataB_Campground

Colin W. Grover, BCLS 827, December 10, 2020.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE EIGHTEEN STRATA PLAN EPS1360

SECOND FLOOR – Part of Strata Lots 49 and 50



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.

LEGEND

- CP --- Denotes Common Property
- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part
- SL --- Denotes Strata Lot
- Denotes Perimeter of Floor Below

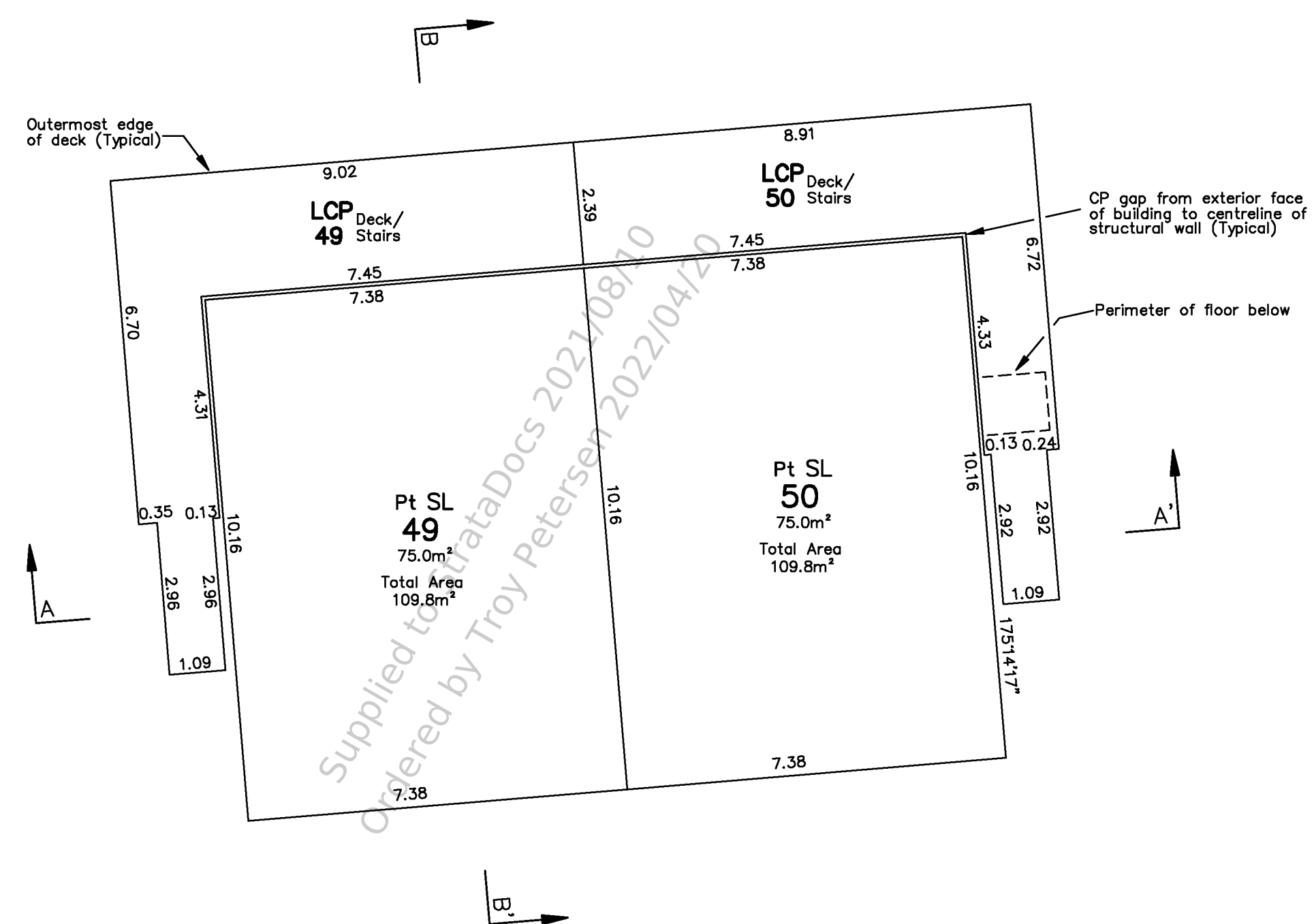
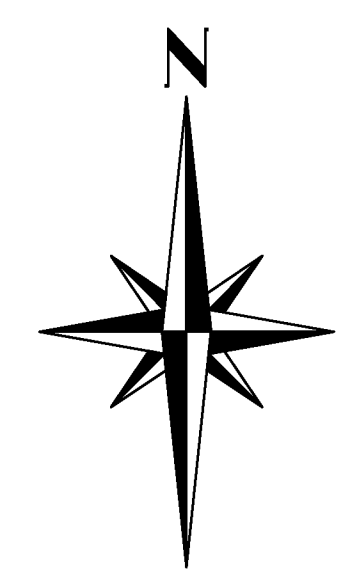
All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls, except in the case of decks and stairs which are measured to their outermost edge and the exterior face of building walls.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

LCP decks and stairs are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

Unless otherwise noted, all building, deck and stair corners deflect by multiples of 90° from the given reference bearing.



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Layout: StrataB_Campground

Colin W. Grover, BCLS 827, December 10, 2020.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE EIGHTEEN STRATA PLAN EPS1360

SECOND FLOOR STORAGE LOFTS (TOP) – Part of Strata Lots 49 and 50



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 100.

LEGEND

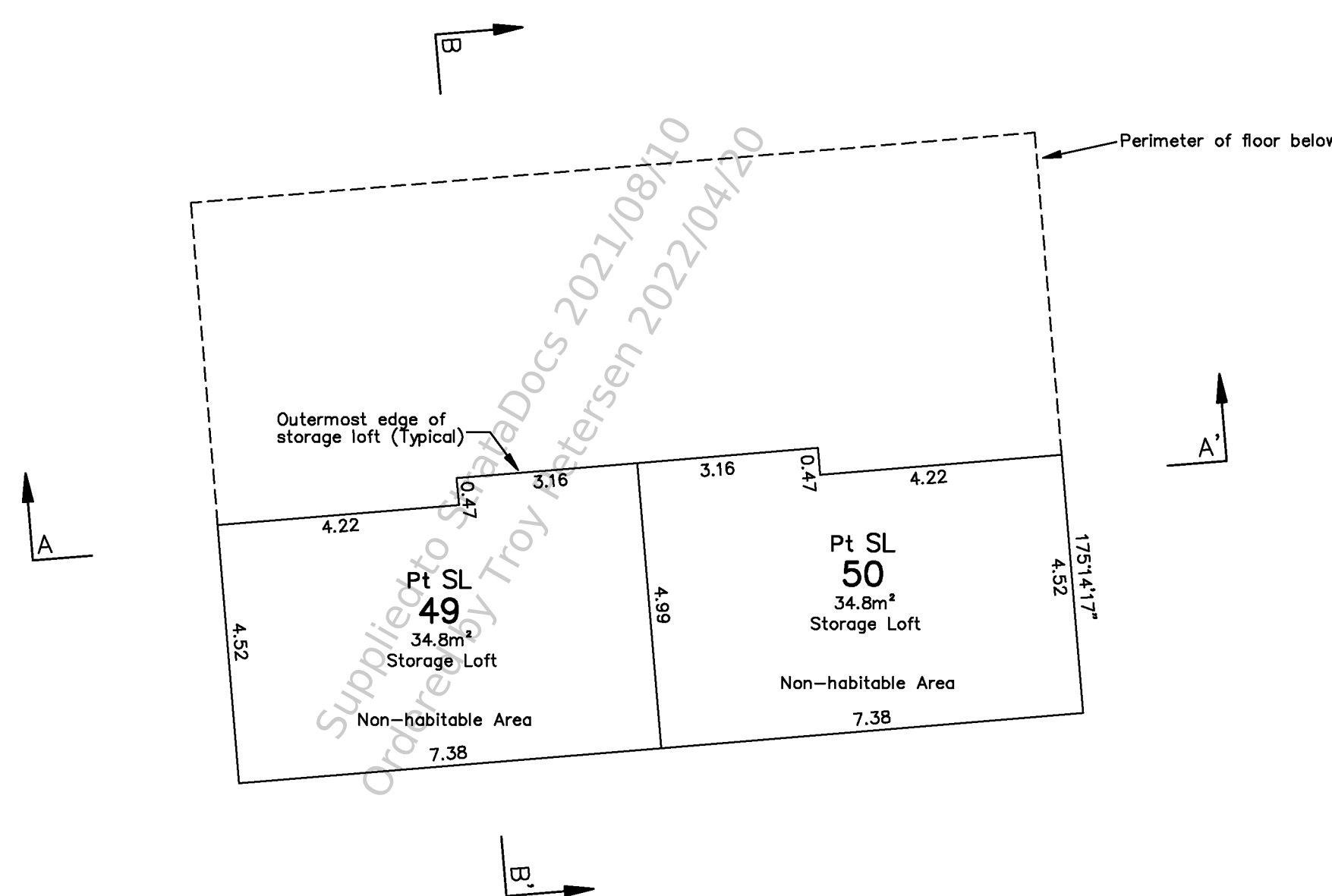
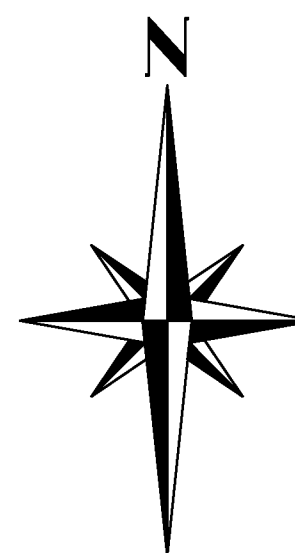
- Pt --- Denotes Part
- SL --- Denotes Strata Lot
- Denotes Perimeter of Floor Below

All distances shown are in metres.

All dimensions and areas are measured to the centreline of walls and outermost edge of storage lofts.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

Unless otherwise noted, all building corners defect by multiples of 90° from the given reference bearing.



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 Layout: StrataB_Compground

Colin W. Grover, BCLS 827, December 10, 2020.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20

PHASE EIGHTEEN STRATA PLAN EPS1360

CROSS SECTIONS



The intended plot size of this plan is 864mm in width by 559mm in height (D size) when plotted at a scale of 1 : 50.

LEGEND

- LCP --- Denotes Limited Common Property for the exclusive use of the Strata Lot specified
- Pt --- Denotes Part
- SL --- Denotes Strata Lot
- CP --- Denotes Common Property

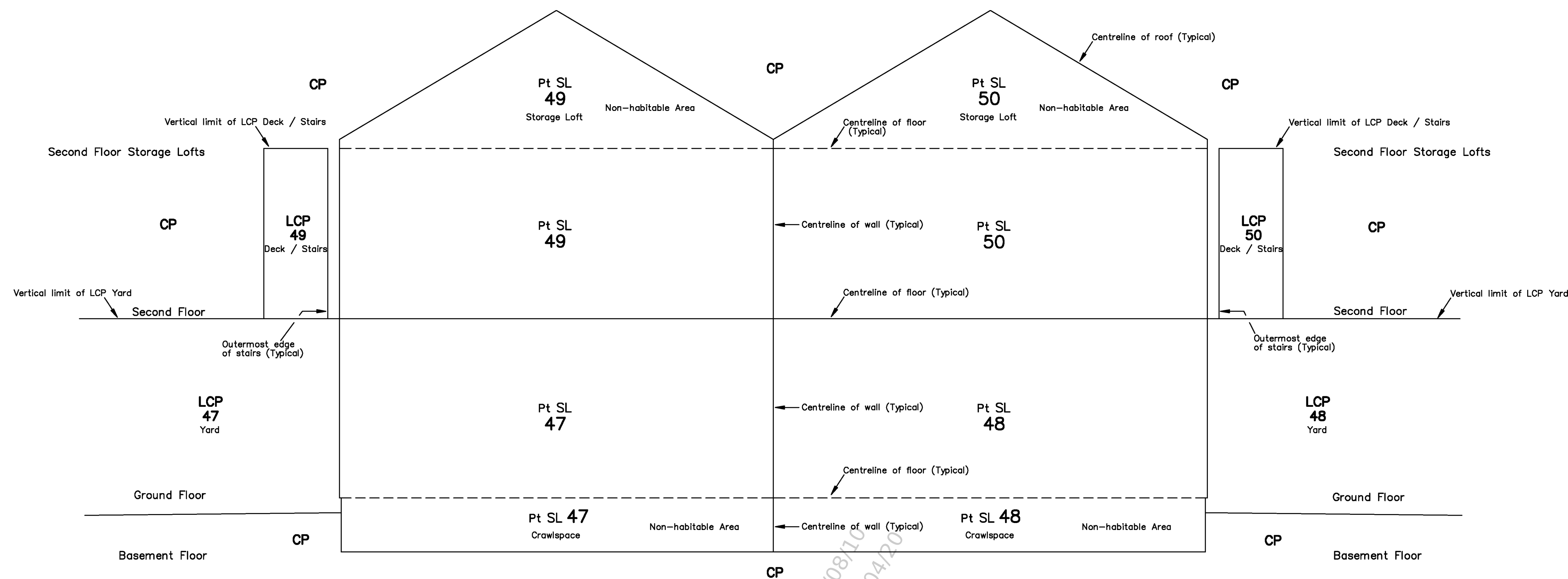
All dimensions and areas are measured to the centreline of walls, except in the case of decks and stairs which are measured to their outermost edge and the exterior face of building walls and except in the case of storage lofts which are measured to their outermost edge.

The height of the strata unit is defined by the centreline of the floor above, or in the case of the top floor the height is defined by the centreline of the roof.

LCP decks and stairs are defined as to height by the centreline of the floor above, or where there is no floor above, by the average height of the strata lot within.

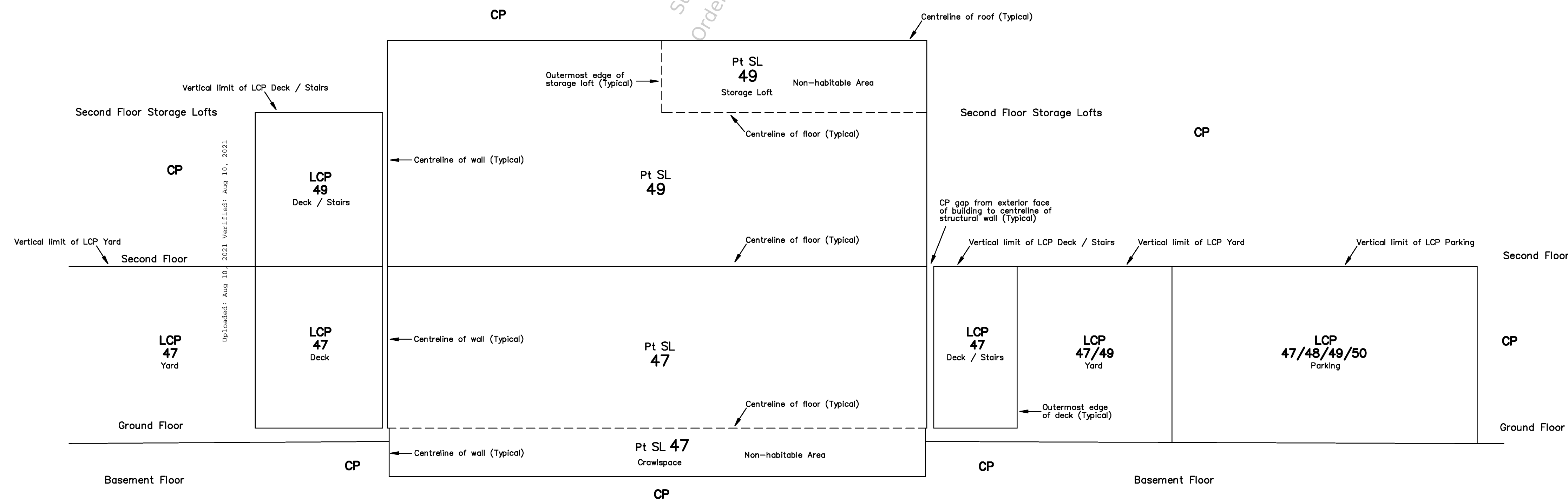
LCP yards are defined as to height by the underside of LCP stairs above and the centreline of the floor of the strata lot above, or where there is no strata lot above, by the average height of the strata lot within.

Cross Section A - A'



Cross Section B - B'

Typical Cross Section for Strata Lots 47/49 and 48/50



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Colin W. Grover, BCLS 827, December 10, 2020.

Ordered By: Troy Petersen of Sutton Group West Coast Realty on 2022/04/20