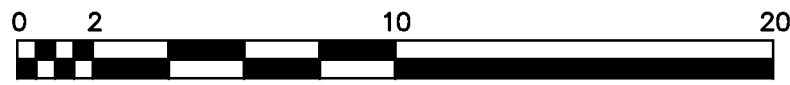


Strata Plan of Lot 1, Section 63, Victoria District, Plan EPP70198

STRATA PLAN EPS4157

BCGS 92B.044



All distances are shown in metres.

The intended plot size of this plan is 432mm in width by 560mm in height (C size) when plotted at a scale of 1:200.

LEGEND

Integrated Survey Area No. 30, The Corporation of the District of Saanich, NAD83(CSRS)3.0.0.BC.1.CRD

Grid bearings are derived from observations between geodetic control monuments 79H0622 and 79H0642.

The UTM coordinates and estimated horizontal positional accuracy achieved are derived from the MASCOT published coordinates and standard deviations for the geodetic control monuments 79H0622 and 79H0642.

This plan shows horizontal ground-level distances except where otherwise specified. To compute grid distances, multiply ground-level distances by combined factor of 0.9996092 which has been derived from control monument 79H0622.

Offsets and dimensions shown on this sheet are to exterior foundation walls unless otherwise indicated.

All angles defect by multiples of 45 degrees unless otherwise indicated.

- | | |
|-------|--------------------|
| Found | Denotes |
| ● | Standard Iron Post |
| ⊙ | Control Monument |

Civic Addresses:
1000 Inverness Road
Victoria, B.C.

Glasgow Avenue

building perimeter at ground level

Plan EPP70198

A
Plan EPP49839

Inverness Road

Section 63

2
Plan EPP70198

79H0622
Datum: NAD83(CSRS)3.0.0.BC.1.CRD
UTM Zone 10 coordinates
UTM Northing 5,366,617.657
UTM Easting 473,171.203
Point Combined Factor 0.9996092
Estimated horizontal positional accuracy is 0.01m.

79H0642
Datum: NAD83(CSRS)3.0.0.BC.1.CRD
UTM Zone 10 coordinates
UTM Northing 5,366,582,512
UTM Easting 473,308.439
Point Combined Factor 0.9996078
Estimated horizontal positional accuracy is 0.01m.

File : 11575 - 33
POWELL & ASSOCIATES
B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

The building included within this Strata Plan has not been previously occupied.

The building shown hereon is within the external boundaries of the land that is the subject of this Strata Plan.

This plan lies within the Capital Regional District within the Municipality of Saanich

The field survey represented by this plan was completed on the 14th day of March, 2017.
Scott T. Pearse, BCLS 951

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Parkade

STRATA PLAN EPS4157

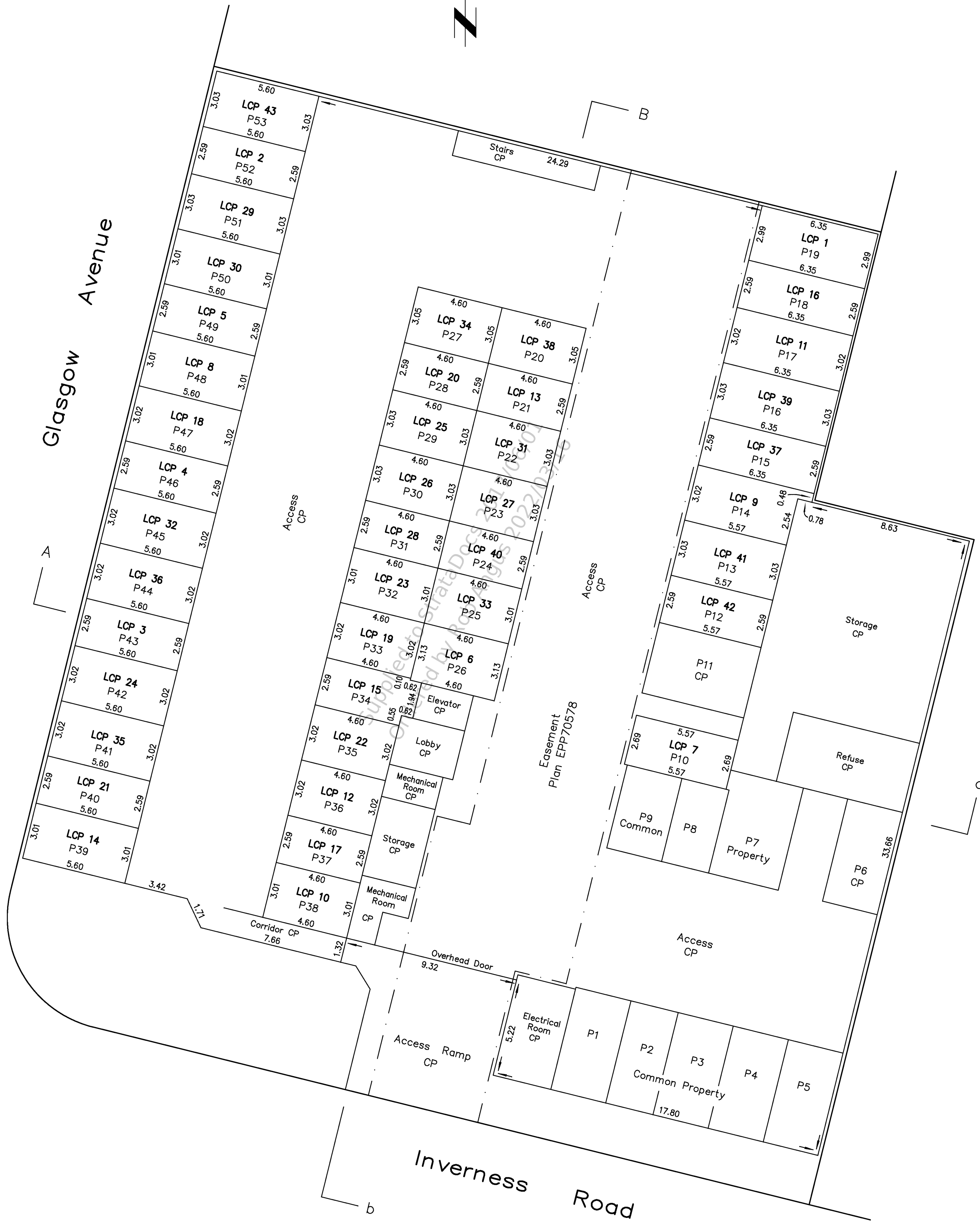


All distances are shown in metres.

The intended plot size of this plan is 432mm in width by 560mm in height (C size) when plotted at a scale of 1:150.

Legend

CP - denotes Common Property

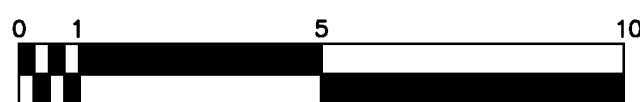


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STRATA PLAN EPS4157

Main Floor



All distances are shown in metres.
 The intended plot size of this plan is 432mm in width by 560mm in height (C size) when plotted at a scale of 1:125.

Legend

- CP - denotes Common Property
- LCP - denotes Limited Common Property for the Exclusive Use of Strata Lot
- SC - denotes Service Closet - Common Property
- V - denotes Ventilation shaft - Common Property



Glasgow Avenue

A



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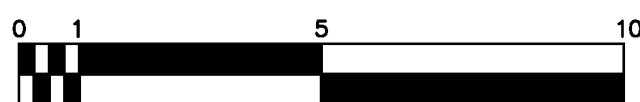
Dimensions are shown to the centerline of walls unless otherwise indicated.

All patios and balconies are defined as to height by the centre of the floor above, or its extensions or where there is no floor above by the average height of a strata lot within the same building unless otherwise indicated.

POWELL & Associates
 B C Land Surveyors
 File: 11575 - 33

Scott T. Pearse, BCLS
 March 14, 2017

Second Floor



All distances are shown in metres.
 The intended plot size of this plan is 432mm in width by 560mm in height (C size) when plotted at a scale of 1:125.

Legend

- CP - denotes Common Property
- LCP - denotes Limited Common Property for the Exclusive Use of Strata Lot
- SC - denotes Service Closet - Common Property
- V - denotes Ventilation shaft - Common Property



Dimensions are shown to the centerline of walls unless otherwise indicated.

All patios and balconies are defined as to height by the centre of the floor above, or its extensions or where there is no floor above by the average height of a strata lot within the same building unless otherwise indicated.

POWELL & Associates
 B C Land Surveyors
 File: 11575 - 33

Scott T. Pearse, BCLS
 March 14, 2017

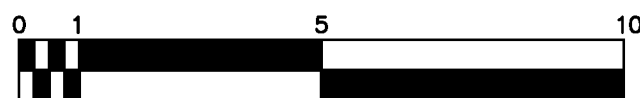
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Third Floor

STRATA PLAN EPS4157



All distances are shown in metres.
 The intended plot size of this plan is 432mm in width by 560mm in height (C size) when plotted at a scale of 1:125.

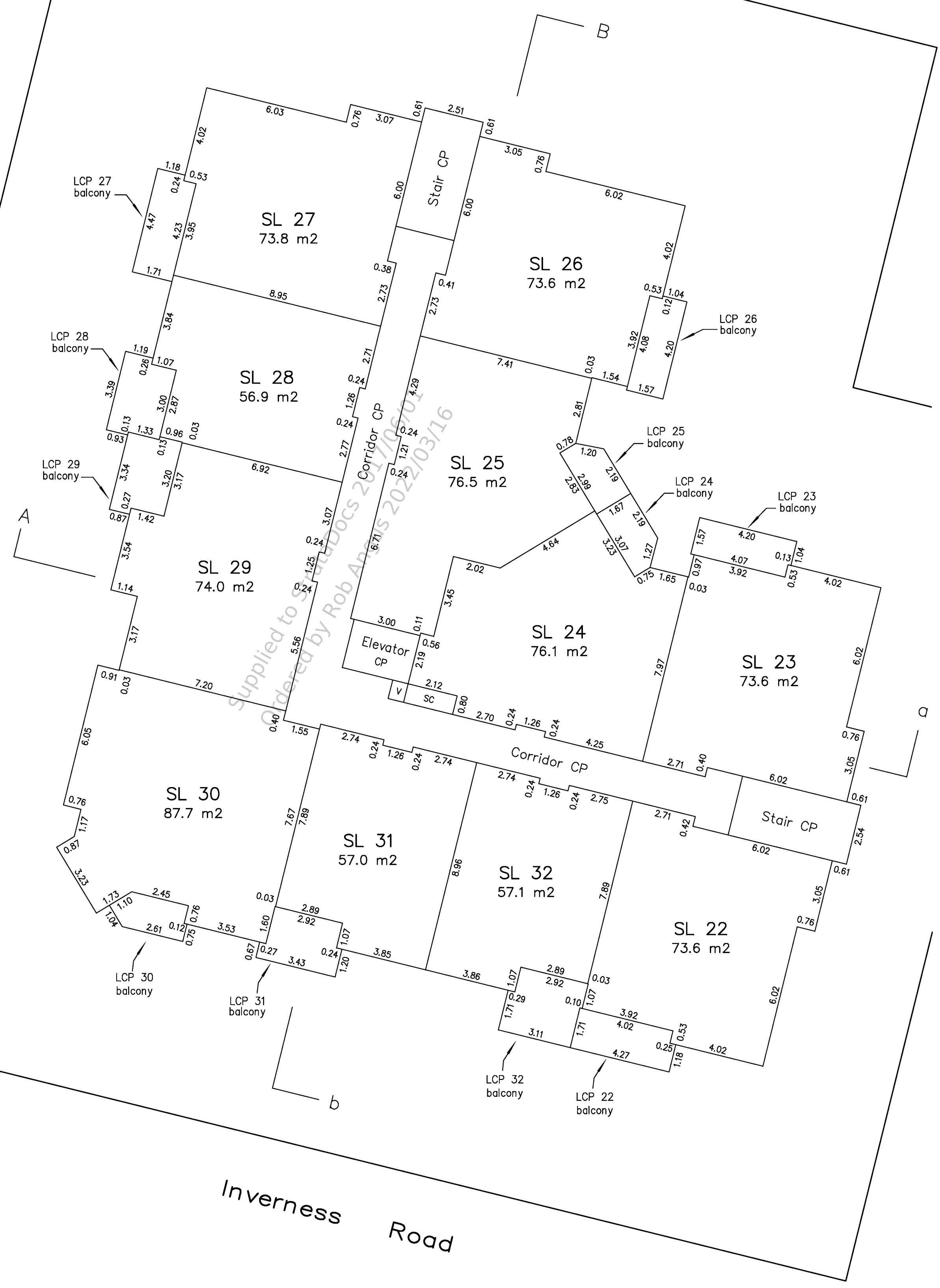
Legend

- CP - denotes Common Property
- LCP - denotes Limited Common Property for the Exclusive Use of Strata Lot
- SC - denotes Service Closet - Common Property
- V - denotes Ventilation shaft - Common Property



Glasgow Avenue

Inverness Road



Dimensions are shown to the centerline of walls unless otherwise indicated.

All patios and balconies are defined as to height by the centre of the floor above, or its extensions or where there is no floor above by the average height of a strata lot within the same building unless otherwise indicated.

POWELL & Associates
 B C Land Surveyors
 File: 11575 - 33

Scott T. Pearse, BCLS
 March 14, 2017

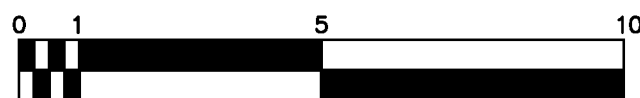
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Fourth Floor

STRATA PLAN EPS4157



All distances are shown in metres.
 The intended plot size of this plan is 432mm in width by 560mm in height (C size) when plotted at a scale of 1:125.

Legend

- CP - denotes Common Property
- LCP - denotes Limited Common Property for the Exclusive Use of Strata Lot
- SC - denotes Service Closet - Common Property
- V - denotes Ventilation shaft - Common Property



Glasgow Avenue

Supplied to StrataDocs 2017/05/01
 Prepared by Rob Angus 2022/03/16



Dimensions are shown to the centerline of walls unless otherwise indicated.

All patios and balconies are defined as to height by the centre of the floor above, or its extensions or where there is no floor above by the average height of a strata lot within the same building unless otherwise indicated.

POWELL & Associates
 B C Land Surveyors
 File: 11575 - 33

Scott T. Pearse, BCLS
 March 14, 2017

Building Sections

Sheet 7 of 7 Sheets

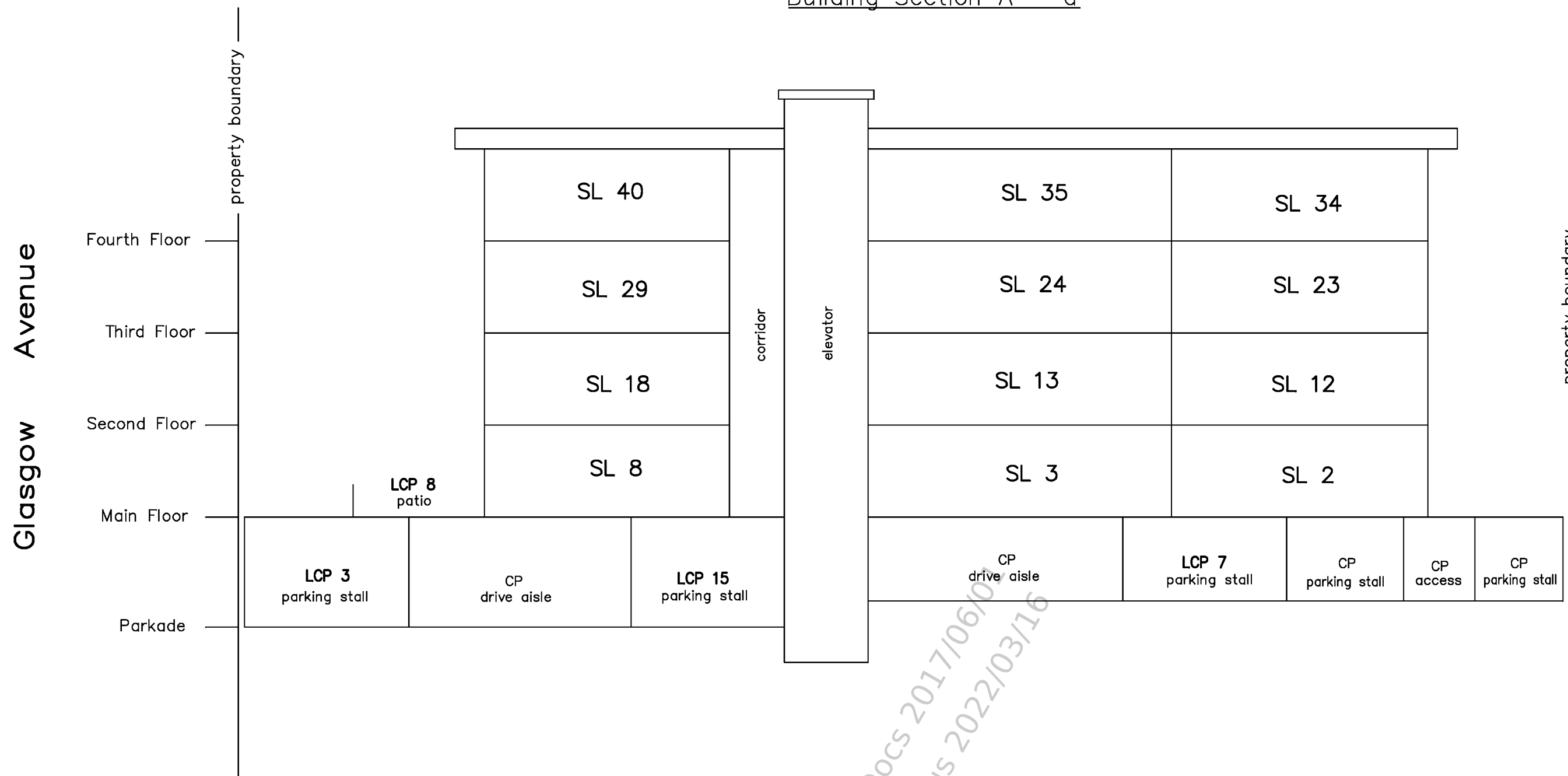
STRATA PLAN EPS4157



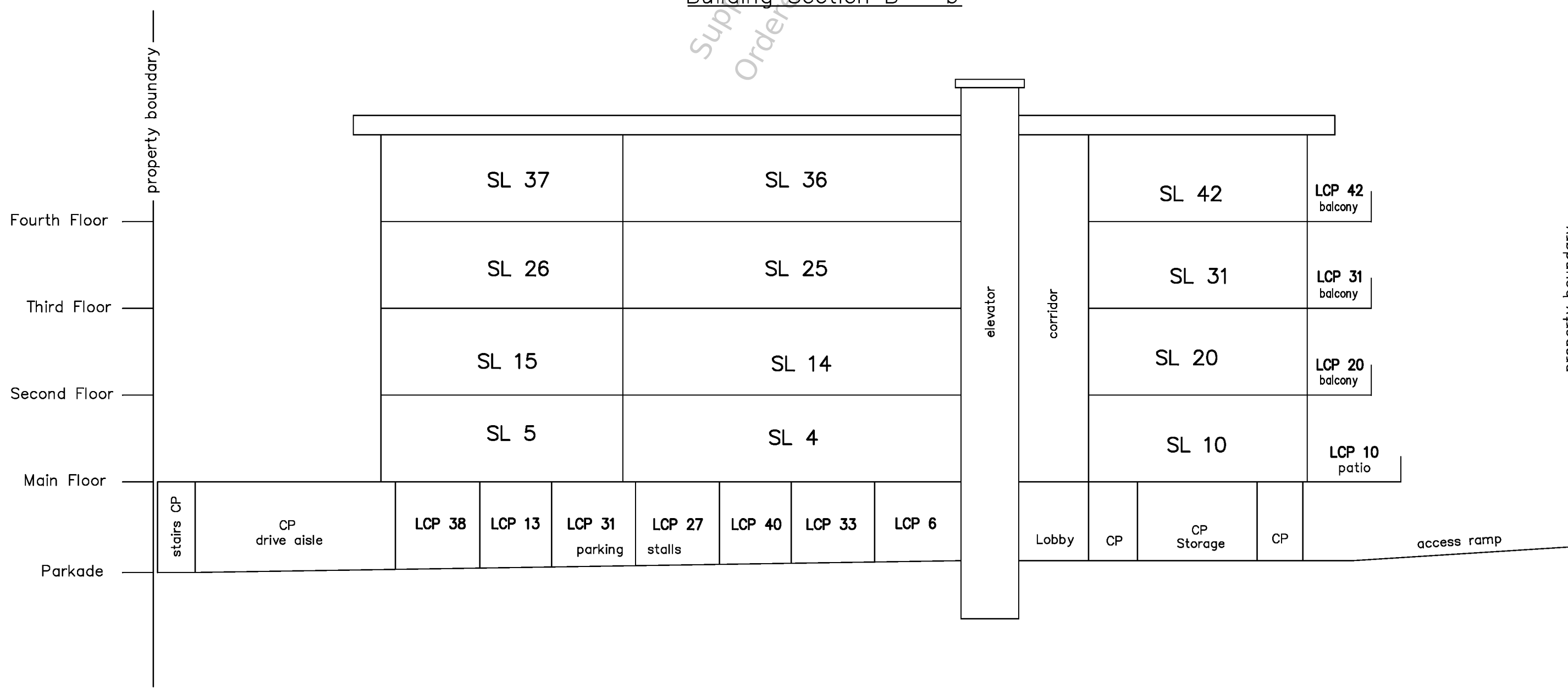
All distances are shown in metres.

The intended plot size of this plan is 432mm in width by 560mm in height (C size) when plotted at a scale of 1:150.

Building Section A - a



Building Section B - b



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