

INSPECTION REPORT



For the Property at:

1041 FIRBIRN RD
ROBERTS CREEK, BC V0N 2W5

Prepared for: ANTHONY BROWTON
Inspection Date: Monday, December 4, 2017
Prepared by: Tom Pape



Truostar Home Inspection Services
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Gibsons, BC V0N 1V3
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7733450
Fax: 6047733450

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trustartom@gmail.com

"You have hired the best and now you can take a rest"



December 5, 2017

Dear Anthony Browton,

RE: Report No. 1159
1041 Firbirn Rd
Roberts Creek, BC
V0N 2W5

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Tom Pape
on behalf of
Truestar Home Inspection Services

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SUMMARY

1041 Firbirn Rd, Roberts Creek, BC December 4, 2017

Report No. 1159

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document. Our opinion of the condition of items inspected is provided in the Recommendations section for each system. If appropriate, we will indicate there are no recommendations.

The inspection will include major functional components of the following house systems:

- Roofing, Flashings, and Chimneys
- Exterior, Structure and Electrical
- Heating and Cooling
- Insulation and Ventilation
- Plumbing and Interior
- Garage or Carport

The inspection will not include mold or asbestos. The inspection will be non-invasive. Home inspectors operating in British Columbia are required to be licensed under the Business Practices and Consumer Protection Act and are regulated under that Act. The services of a home inspector are not provided on behalf of, or in affiliation with, the Province of British Columbia or the Business Practices and Consumer Protection Authority (commonly known and doing business as Consumer Protection BC). For more information on the regulation of home inspectors, what a home inspection should involve, how to select a home inspector and about your rights as a consumer, please contact Consumer Protection BC.

[Priority Maintenance Items](#)

Roofing

General

- Maintain exterior sealants on home as part of regular maintenance.

Location: Various Exterior Wall

Task: Provide Inspect annually

Time: Ongoing When necessary

Exterior

ROOF DRAINAGE \ Gutters

Condition: • [Clogged](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various Exterior Wall Roof

Task: Clean

Time: Regular maintenance

WALLS \ Flashings and caulking

Condition: • Monitor exterior sealants and chinking

Location: Various First Floor Second Floor Exterior Wall

Task: Inspect annually

Time: Regular maintenance

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DOORS \ Doors and frames

Condition: • [Stiff](#)

Sliding door located at kitchen requires adjustment.

Implication(s): Chance of damage to finishes

Location: East First Floor Kitchen

Task: Improve

Time: Less than 1 year

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Floors

Condition: • Inspect and clean deck annually to ensure prolonged life

Location: South First Floor Deck

Task: Service annually

Time: Discretionary

LANDSCAPING \ Retaining wall

Condition: • [Mortar - deteriorated, missing](#)

Retaining wall has been stacked loosely and poses a safety risk for children.

Implication(s): Weakened structure | Chance of movement

Location: West Yard

Task: Improve

Time: Less than 1 year

GARAGE \ General

Condition: • Garage Loft is not adequately separated with gastight ceiling/floor and door therefore it should not be considered a permanent living space due to potential Carbon Monoxide fumes from vehicles parked in garage . Presently the loft is used as the owner's office and extra sleeping quarters.

Location: Northeast First Floor Second Floor Garage

Task: Monitor

Time: Ongoing

GARAGE \ Vehicle door operators

Condition: • [Fails to auto reverse](#)

Adjust Main House Garage opener to unsure retraction if obstacle or person is in the path of the door when closing.

Implication(s): Physical injury

Location: Northeast First Floor Garage

Task: Service

Heating

CHIMNEY AND VENT \ Inspect/sweep chimney

Condition: • [Inspect \(and/sweep if needed\) before using](#)

Implication(s): Fire hazard

Location: East Exterior Wall

Task: Service Clean

Time: Less than 1 year

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WOOD STOVE \ Cabinet, door and clearances

Condition: • [WETT Inspection \(Wood Energy Technology Transfer\)-](#)

Is recommended in order to obtain adequate house insurance coverage.

Request previous WETT Certificate from Owner and verify compliance with insurance broker.

Location: Southeast Basement Family Room

Task: Provide Request disclosure

Interior

WINDOWS \ Frames

Condition: • Monitor Caulking around window and door frames and maintain on an ongoing basis

Location: Various First Floor Second Floor Exterior Wall

Task: Monitor

Time: Ongoing

DOORS \ Doors and frames

Condition: • [Stiff](#)

Sliding door on deck difficult to operate, and lock inoperable

Implication(s): Reduced operability

Location: East First Floor Kitchen

Task: Improve and repair

Time: Less than 1 year

GARAGE \ Door between garage and living space

Condition: • Ensure Mandoor is self closing tightly.

Implication(s): Safety Issue

Location: Center First Floor Garage

Task: Monitor

Time: ASAP

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

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Description

The home is considered to face : • South

Sloped roofing material:

- [Asphalt shingles](#)



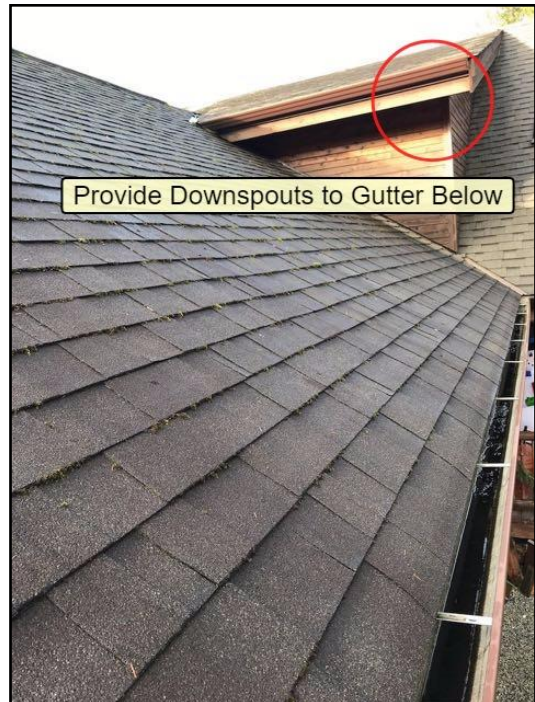
1. Asphalt shingles



2. Asphalt shingles



3. Asphalt shingles



4. Asphalt shingles

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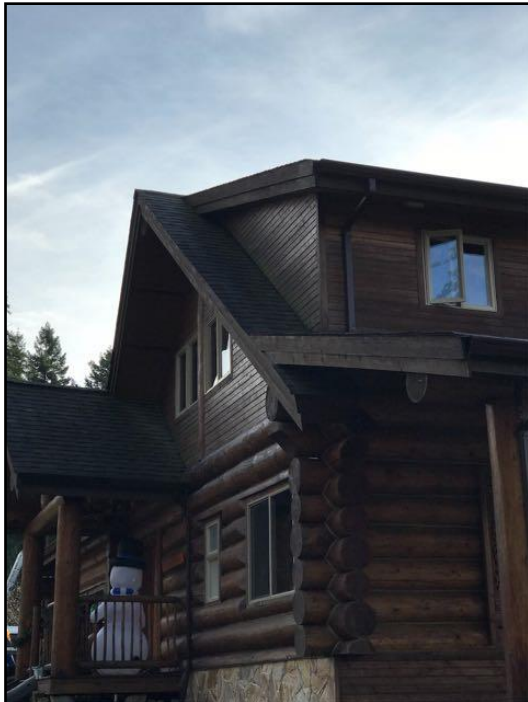
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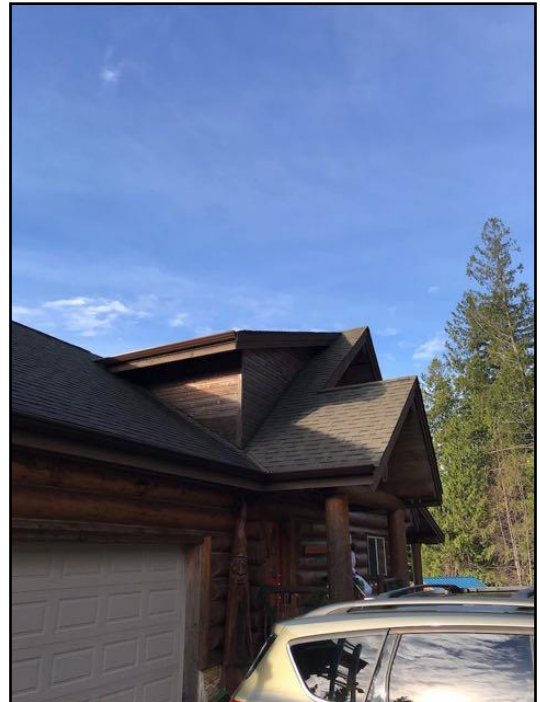
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5. Asphalt shingles



6. Asphalt shingles



7. Asphalt shingles

Sloped roof flashing material:

- Metal

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8. Metal

Probability of leakage: • Low

Limitations

Roof inspection limited/prevented by: • Lack of access (too high/steep)

Inspection performed: • With binoculars • From roof edge

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Recommendations

General

1. • Maintain exterior sealants on home as part of regular maintenance.

Location: Various Exterior Wall

Task: Provide Inspect annually

Time: Ongoing When necessary

SLOPED ROOFING \ Asphalt shingles

2. **Condition:** • Debris/moss

Minor buildup of Moss needs to be cleaned off

Implication(s): Shortened life expectancy of material

Location: Various Exterior Roof

Task: Clean

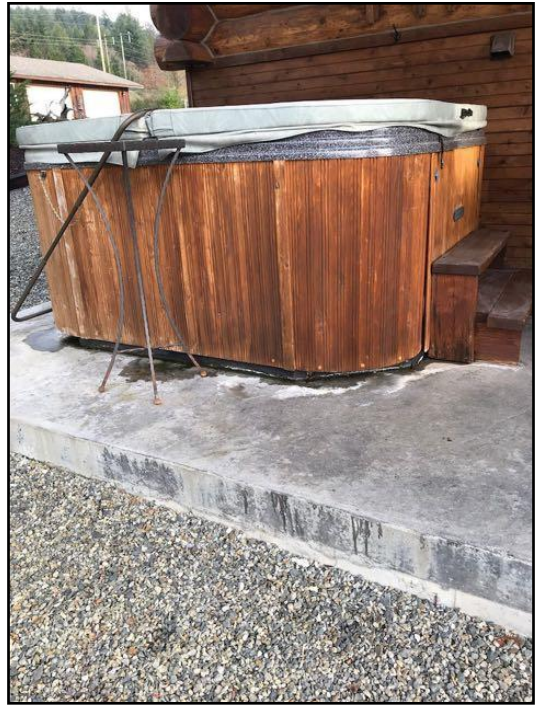
Time: Less than 1 year

Description

General: • Hot tub



9.



10.



11.

General: • Title Page

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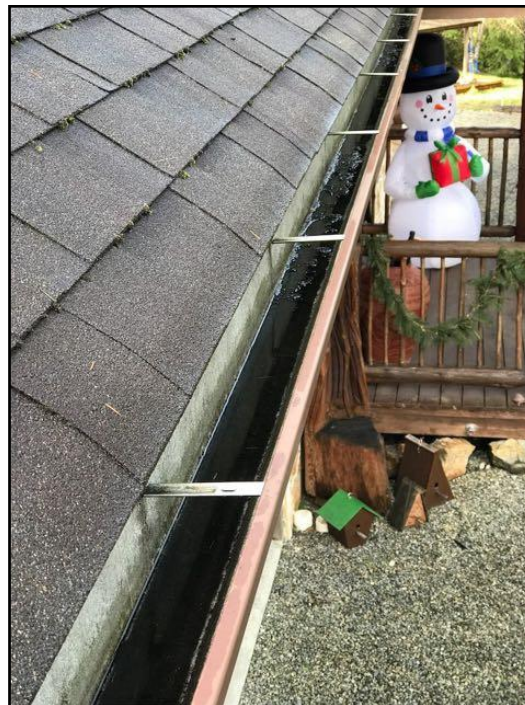
12.



13.

Gutter & downspout material:

- [Aluminum](#)



14. *Aluminum*

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge:

- [Below grade](#)

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15. Below grade

Downspout discharge: • [Below grade](#)

Lot slope: • [Hillside](#)

Soffit and fascia:

• [Wood](#)



16. Wood



17. Wood

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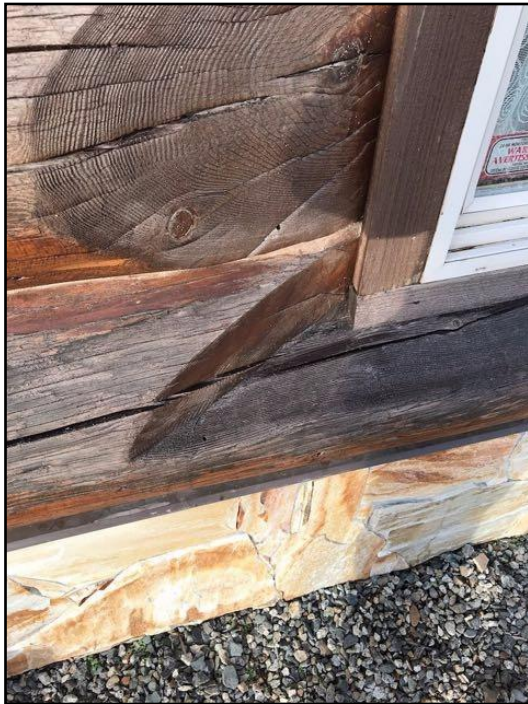


18. Wood



19. Wood

Wall surfaces and trim: • Log Home



20.



21.

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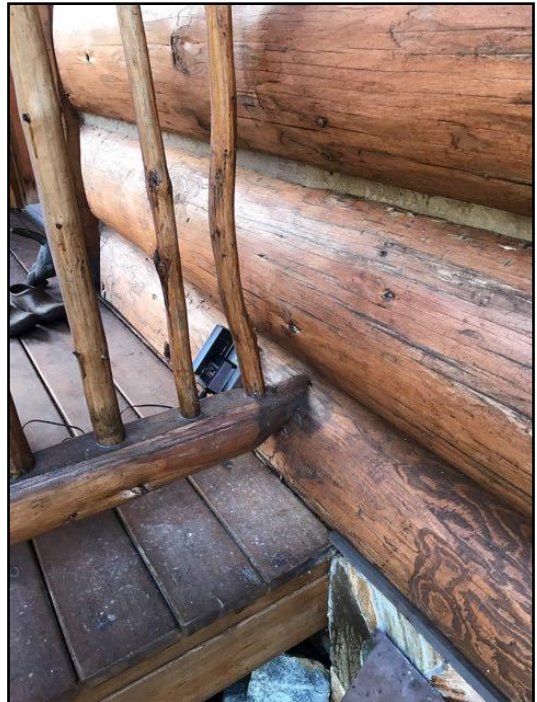
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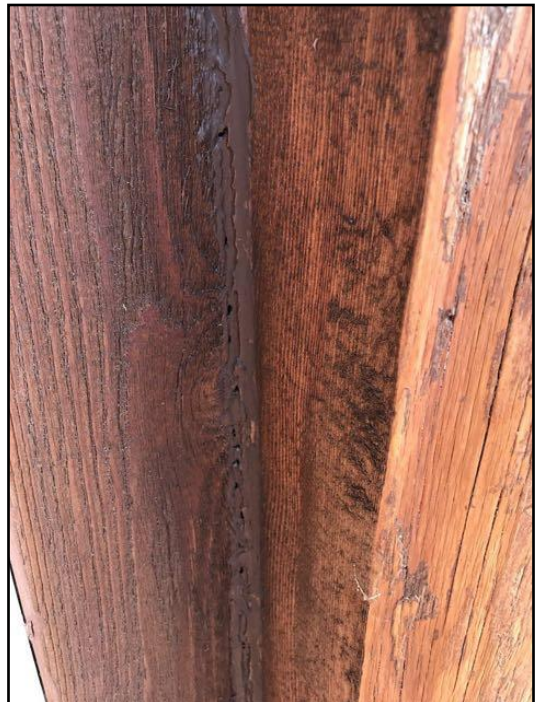
22.



23.



24.



25.

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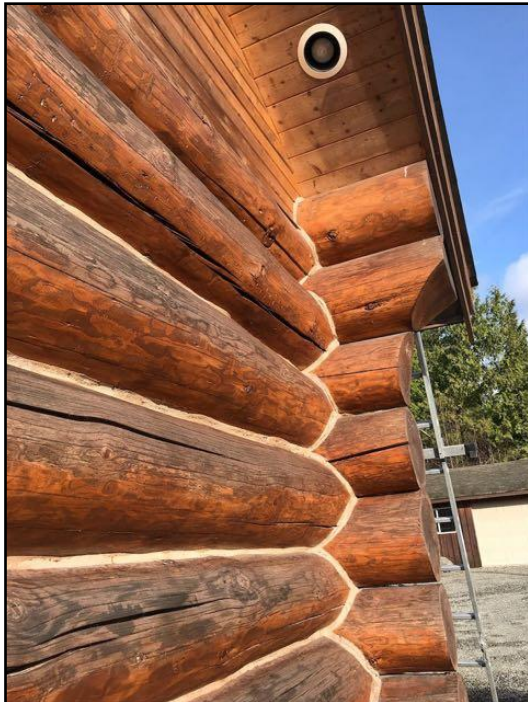
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26.



27.



28.



29.

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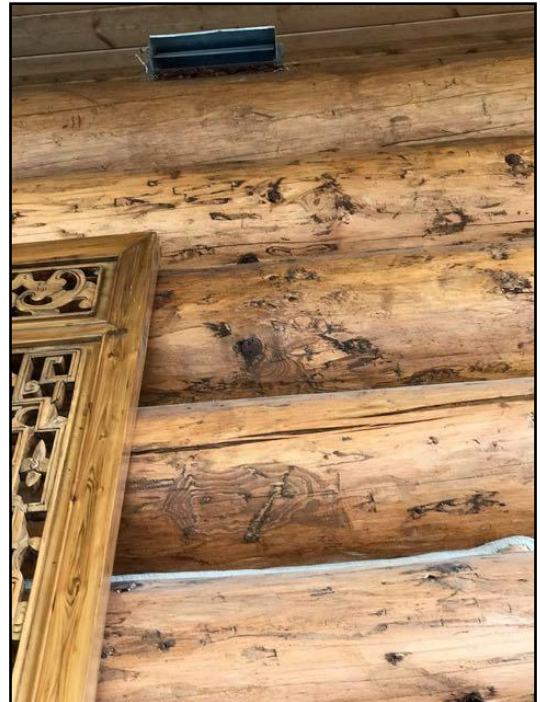
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30.



31.



32.



33.

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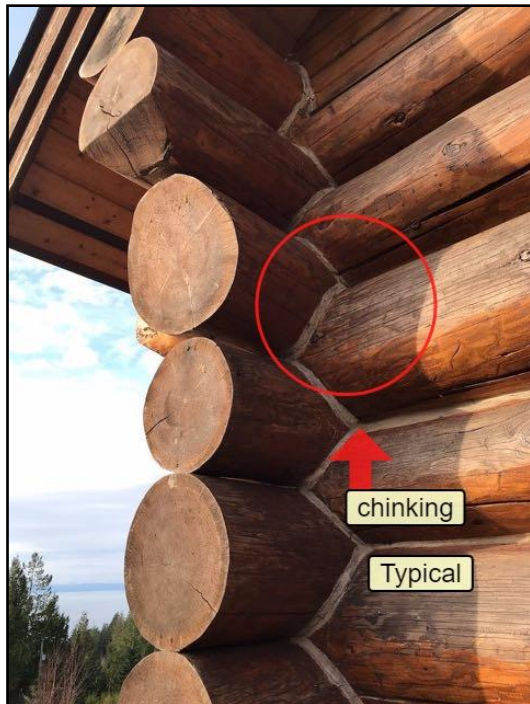
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34.



35.



36.

Retaining wall:

- [Stone](#)

Loose piled rocks

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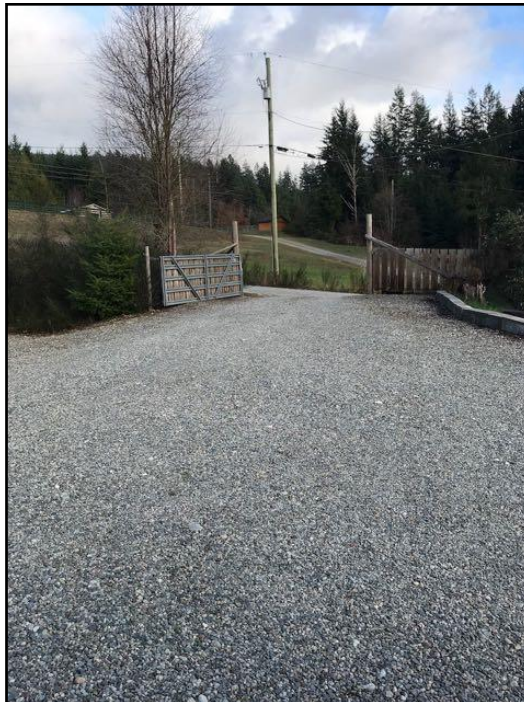
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37. Stone

Driveway:

- Gravel



38. Gravel

Walkway: • Gravel

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Deck:

- Raised



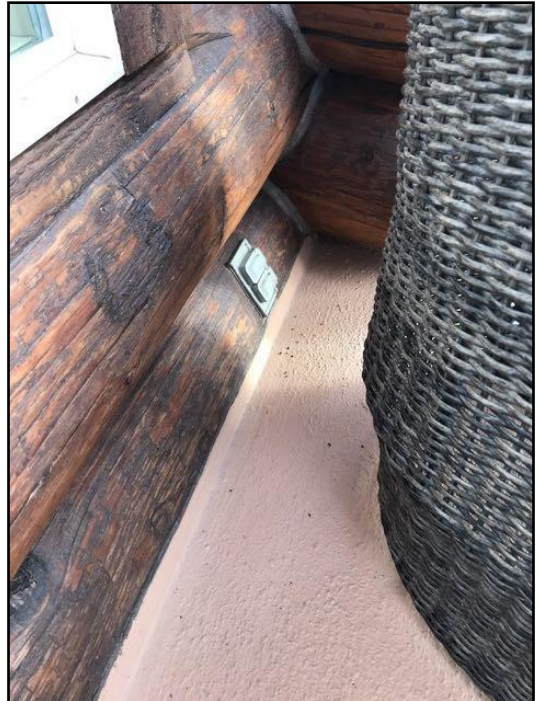
39. Raised



40. Raised



41. Raised



42. Raised

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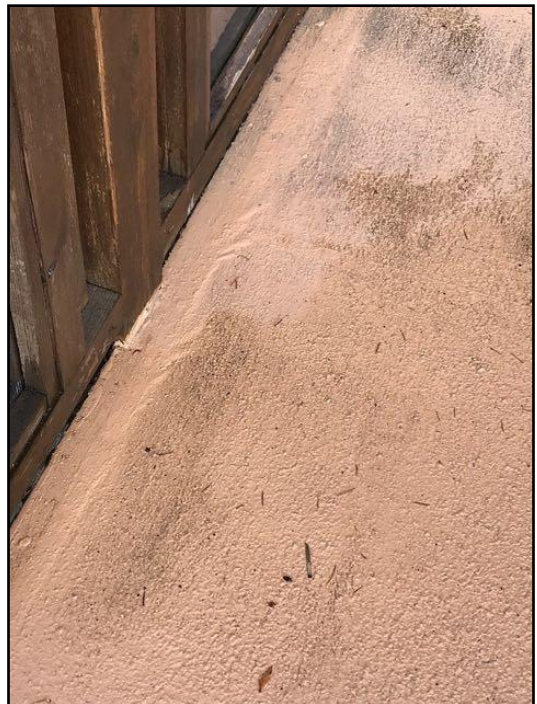
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43. Raised



44. Raised



45. Raised



46. Raised

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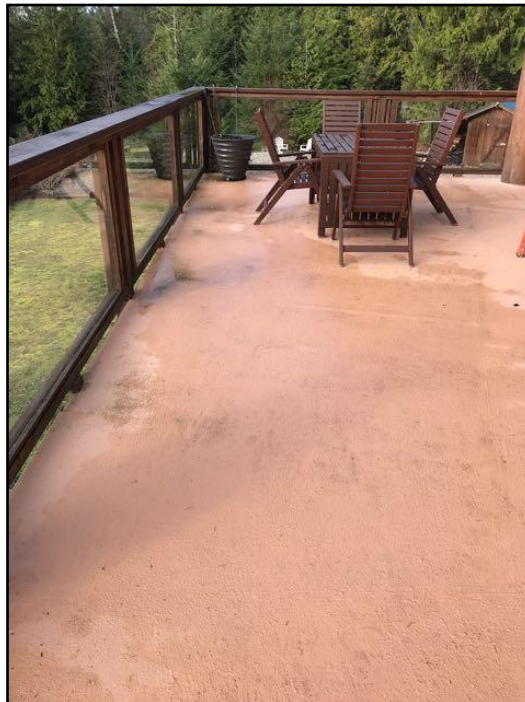
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47. Raised



48. Raised



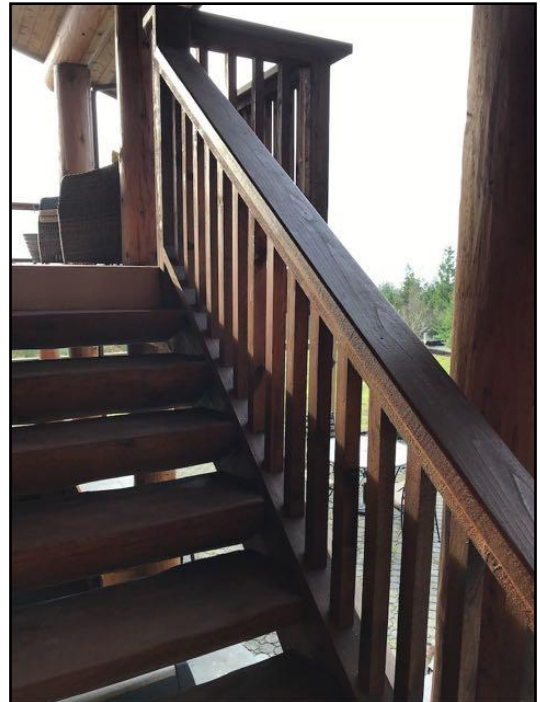
49. Raised

Exterior steps:

- Wood



50. Wood



51. Wood

Patio:

- Interlocking brick



52. Interlocking brick



53. Interlocking brick

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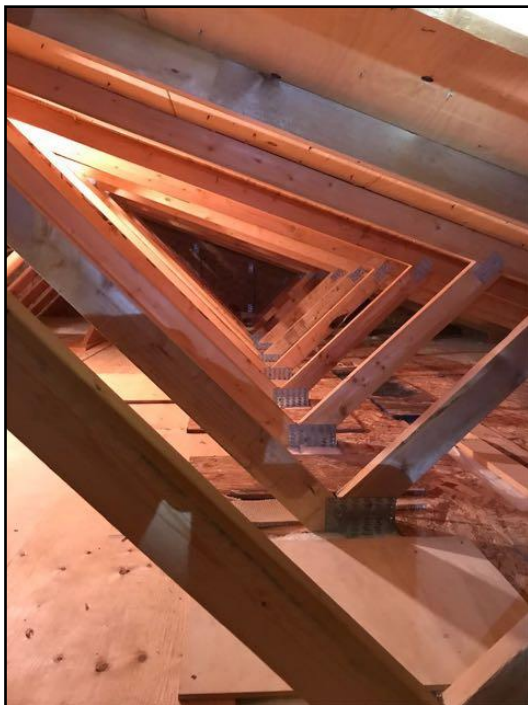
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54. Interlocking brick

Garage:

- General
- 1 Door automatic Operator



55. General



56. General

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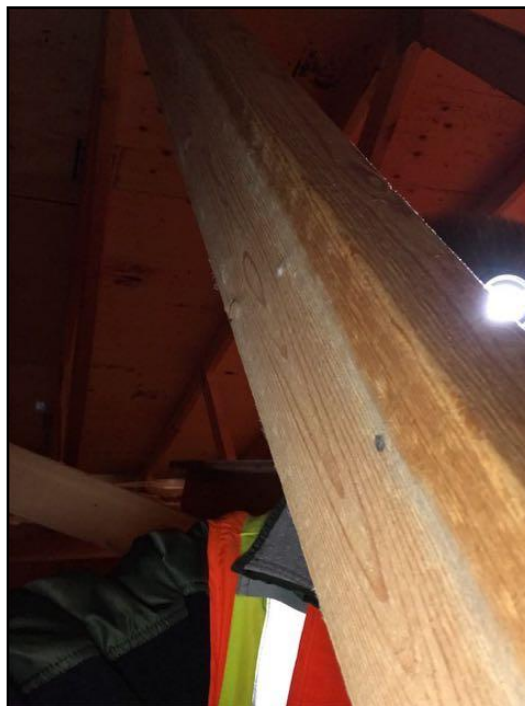
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57. General



58. General

• General

Ensure mandoor into home is self closing

Limitations

Inspection limited/prevented by: • Storage • Carpet

Upper floors inspected from: • Raised Deck

Exterior inspected from: • Ground level

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Recommendations

ROOF DRAINAGE \ Gutters

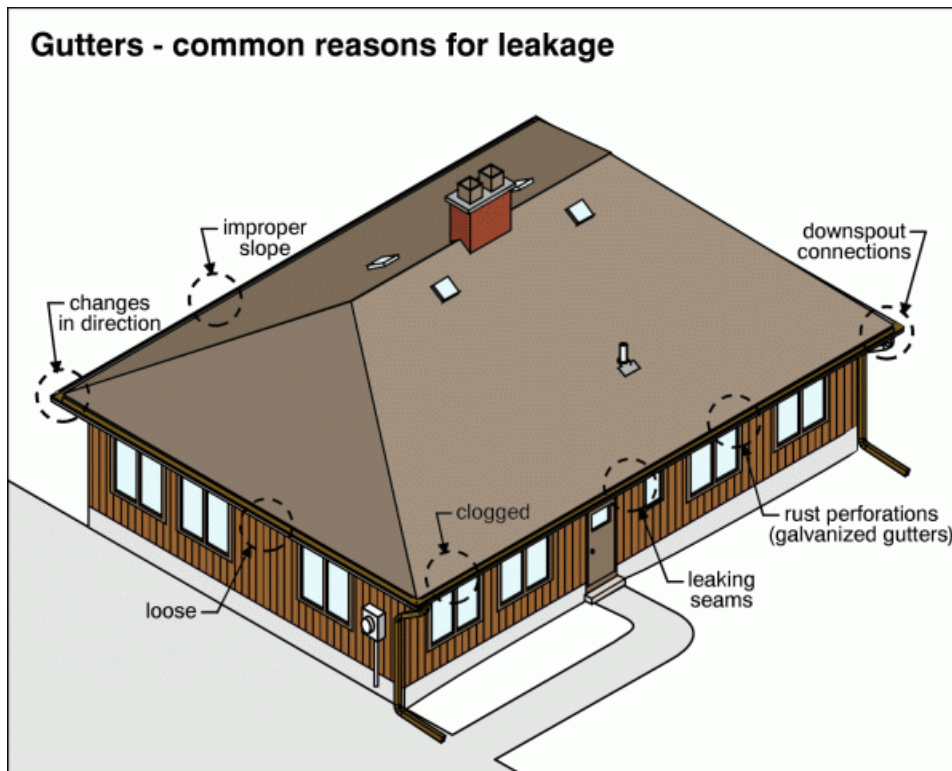
3. Condition: • [Clogged](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various Exterior Wall Roof

Task: Clean

Time: Regular maintenance



WALLS \ Flashings and caulking

4. Condition: • Monitor exterior sealants and chinking

Location: Various First Floor Second Floor Exterior Wall

Task: Inspect annually

Time: Regular maintenance

DOORS \ Doors and frames

5. Condition: • [Stiff](#)

Sliding door located at kitchen requires adjustment.

Implication(s): Chance of damage to finishes

Location: East First Floor Kitchen

Task: Improve

Time: Less than 1 year

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Floors

6. Condition: • Inspect and clean deck annually to ensure prolonged life

Location: South First Floor Deck

Task: Service annually

Time: Discretionary

LANDSCAPING \ Retaining wall

7. Condition: • [Mortar - deteriorated, missing](#)

Retaining wall has been stacked loosely and poses a safety risk for children.

Implication(s): Weakened structure | Chance of movement

Location: West Yard

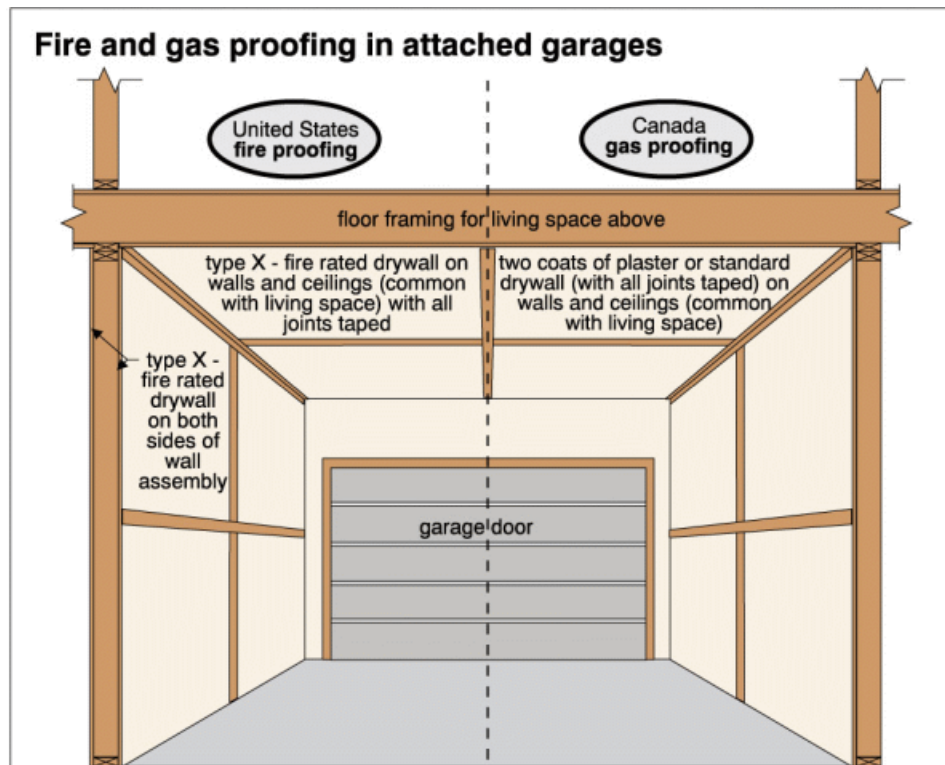
Task: Improve
Time: Less than 1 year

GARAGE \ General

8. Condition: • Garage Loft is not adequately separated with gastight ceiling/floor and door therefore it should not be considered a permanent living space due to potential Carbon Monoxide fumes from vehicles parked in garage . Presently the loft is used as the owner's office and extra sleeping quarters.

Location: Northeast First Floor Second Floor Garage

Task: Monitor
Time: Ongoing



GARAGE \ Vehicle door operators

9. Condition: • [Fails to auto reverse](#)

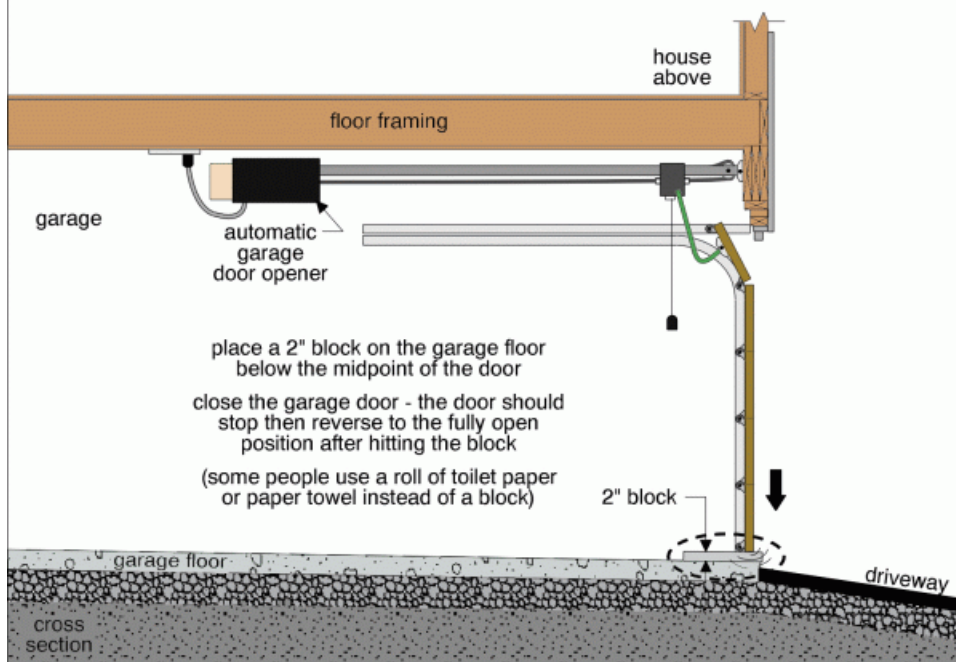
Adjust Main House Garage opener to unsure retraction if obstacle or person is in the path of the door when closing.

Implication(s): Physical injury

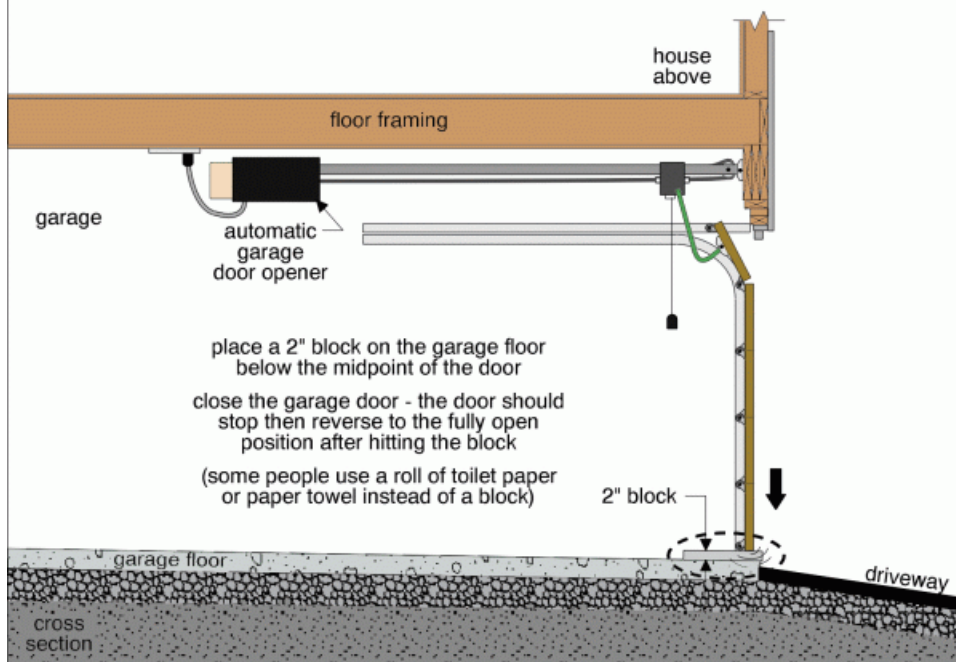
Location: Northeast First Floor Garage

Task: Service

Testing automatic reverse



Testing automatic reverse



Description

Configuration:

- [Basement](#)



59. Basement



60. Basement

Foundation material:

- [Insulating concrete forms](#)



61. Insulating concrete forms



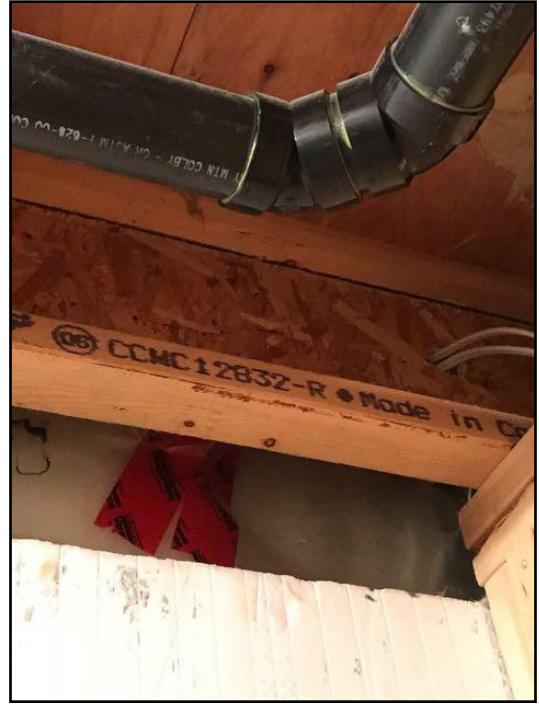
62. Insulating concrete forms

Floor construction:

- [Wood I-joists](#)

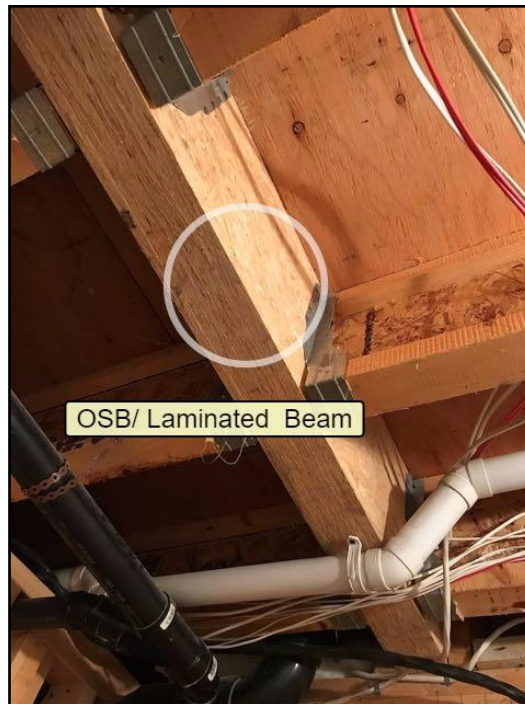


63. Wood I-joists



64. Wood I-joists

- Laminated wood beams



65. Laminated wood beams

Exterior wall construction: • [Log](#)

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Roof and ceiling framing: • [Trusses](#)

Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings

Attic/roof space: • No access

Percent of foundation not visible: • 60 %

Not included as part of a building inspection: • Visible mold evaluation is not included in the building inspection report

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Description

Service entrance cable and location: • [Underground aluminum](#)

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [200 Amps](#)

Main disconnect/service box type and location:

• [Breakers - utility room](#)

200 Amps

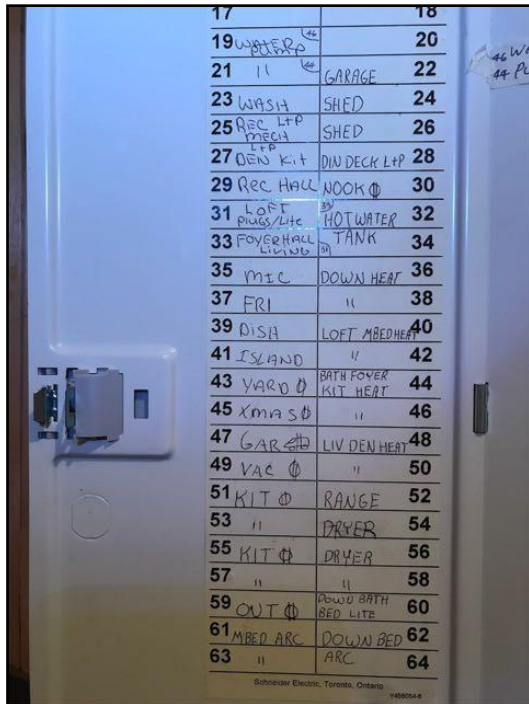


66. Breakers - utility room

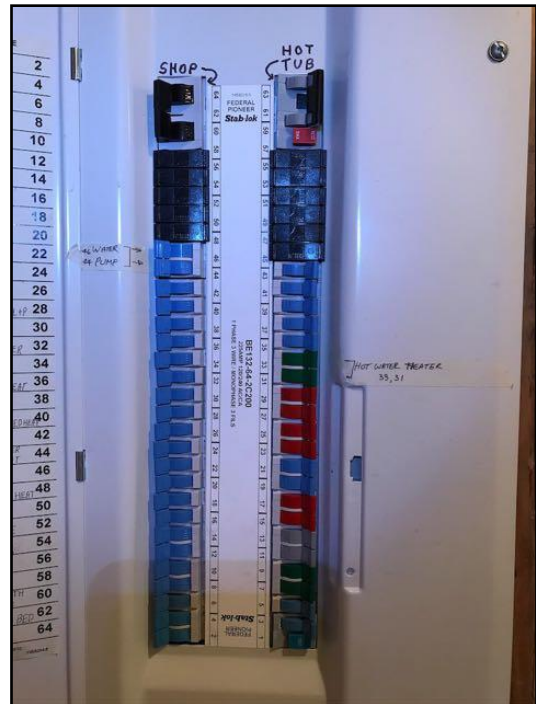
System grounding material and type: • [Copper - other](#)

Distribution panel type and location:

• [Breakers - utility room](#)



67. Breakers - utility room



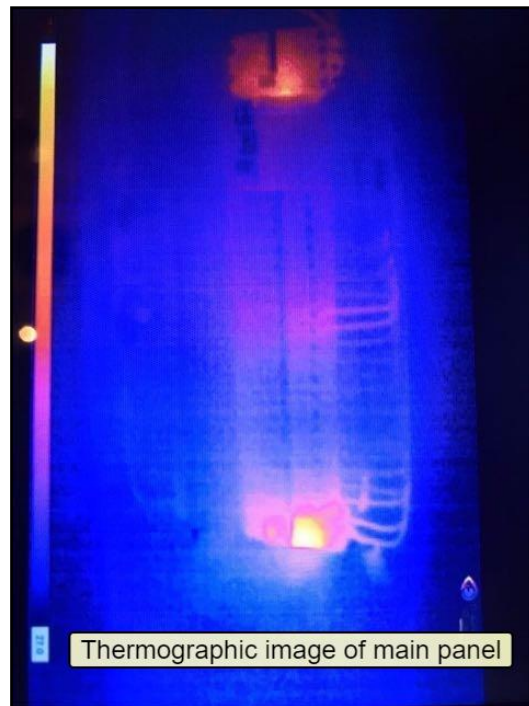
68. Breakers - utility room



69. Breakers - utility room

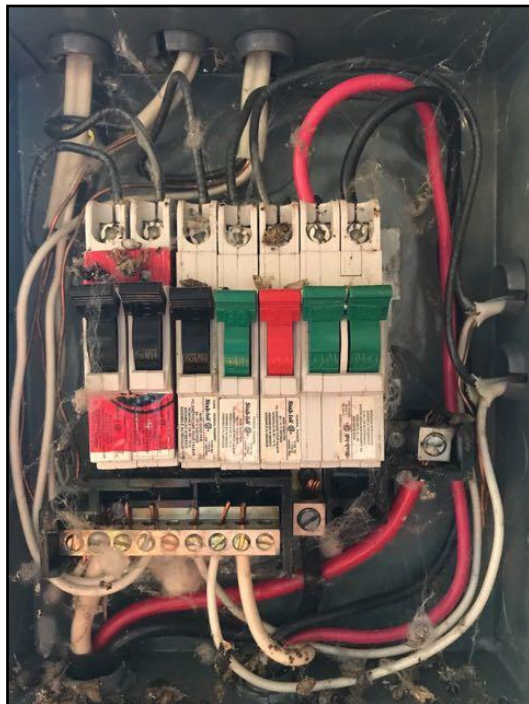
Distribution panel rating:

- [200 Amps](#)

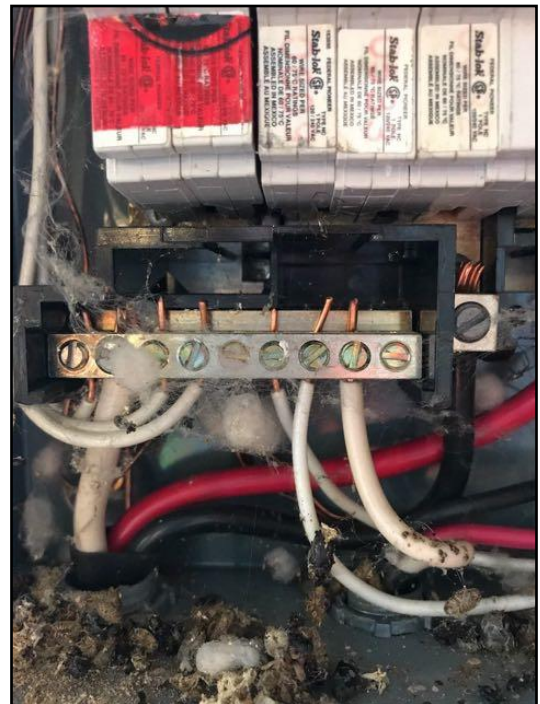


70. 200 Amps

Auxiliary panel (subpanel) rating: • Garage



71.



72.



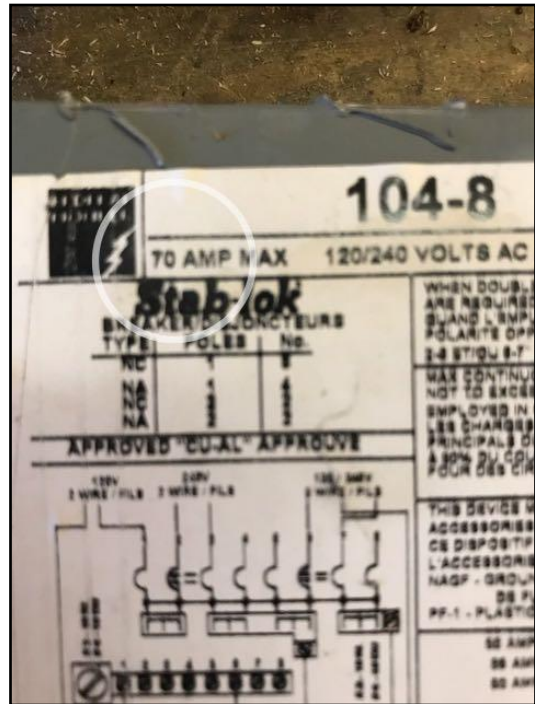
73.



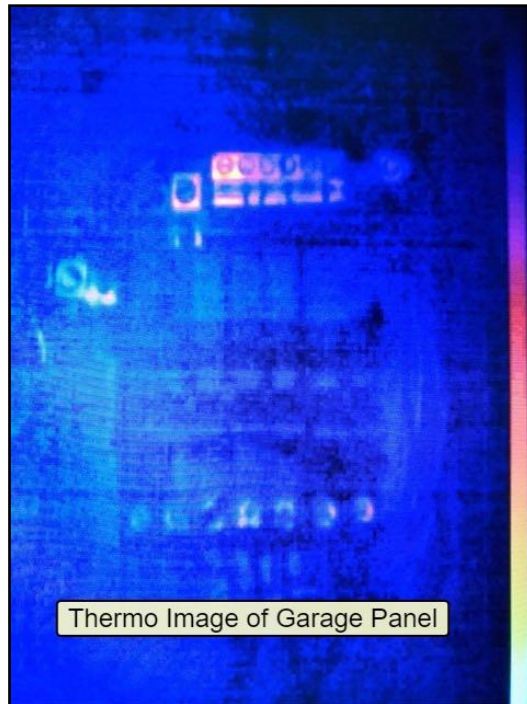
74.



75.



76.



77.

Distribution wire material and type:

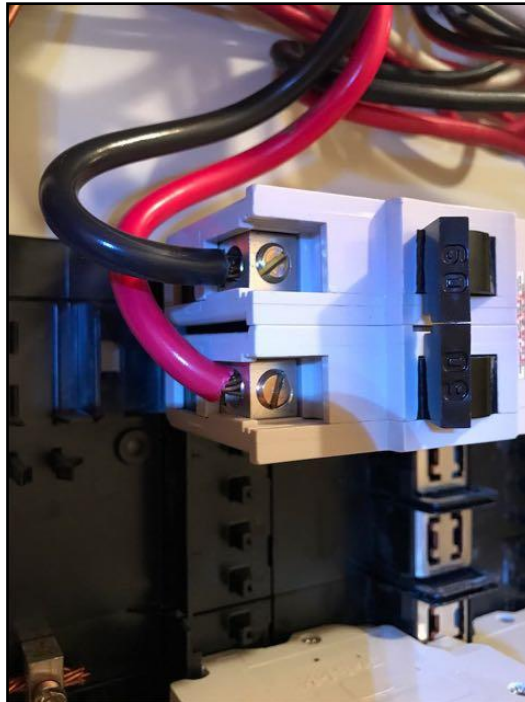
- [Copper - non-metallic sheathed](#)



78. Copper - non-metallic sheathed



79. Copper - non-metallic sheathed



80. Copper - non-metallic sheathed

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):

- No GFCI

Kitchen



81. No GFCI



82. No GFCI