

NOTE:
Elevations shown are based on
Geodetic Datum.
Bench Mark: Control Monument
821-4735, located at the intersection
of Capilano Road and Hendsworth Road.
B.M. Elevation = 466.6' feet
(142.224 metres)

NOTE:
For construction, use lead
pugs in sidewalk or City
survey monument only, for
elevation control.

- LEGEND:
- LP lead plug placed
 - IP iron old post placed
 - OIP old iron post found
 - PP power pole
 - DV-H storm manhole
 - RP roof peak
 - MF: main floor
 - EV: eaves trough
 - diameter
 - min. minimum
 - sf square feet
 - AMD amended
 - o/a over-all
 - conc. concrete
 - min. minimum

NOTE:
The building envelope shown is only our
interpretation of the District of North
Vancouver building bylaws. The size and
location of the building envelope must be
confirmed by the District Planning Department
any prior to any design work. Failure to do
so places sole responsibility for the design
onto the house designer.

Ken K. Wong and Associates
Canada and B.C. Land Surveyors
5624 E. Hastings Street
Burnaby, B.C. V5B 1R4
Telephone: (604) 294-8881
Fax: (604) 294-0825
160040 F3919 P95-97
R-6988 SU-2819
Drawn by: TB

PROJECT INFORMATION

ADDRESS: 4470 CAPILANO RD,
NORTH VANCOUVER BC, V7R 4J9
LEGAL DESCRIPTION: LOT8 BLOCK 5, DISTRICT LOT 596
PLAN 8098
SURVEY PLAN BY: KEN K. WONG & ASSOCIATES
5624 HASTINGS STREET
HASTINGS STREET
BURNABY, BC CANADA
GEOTECHNICAL ENGINEER: HORIZON ENGINEERING INC.
KARIM KARIMZADEGAN
STRUCTURAL ENGINEER: ADB ENGINEERING
JOE KLARICH

ZONING: RS3
PROPERTY USE: SINGLE FAMILY RESIDENCE
SITE AREA: 7264 SQ. FT.
SITE COVERAGE: 35% OF LOT AREA
PERMITTED: 2542.4 SQ. FT.
PROPOSED: 2475.37 SQ. FT.
MAIN: 2211.64 SQ. FT.
ACCESSORY BLDG.: 264.48 SQ. FT.

MAX. PRINCIPAL
BUILDING SIZE: 4359 SQ. FT.
FRONT YARD SETBACK: 25 FEET
REAR YARD SETBACK: 25 FEET
SIDE YARD SETBACK: 4 FEET
MAXIMUM BUILDING DEPTH: 65 FEET

UPPER STOREY: MAX. 75% OF LARGEST STOREY BELOW
FLOOR SPACE RATIO: 35% OF LOT AREA + 350 SQ. FT.
7264 X .35 = 2542.4 + 350 = **2892.4 SQ. FT.**

LOWER FLOOR: 1613 SQ. FT. (ENTIRELY BELOW GRADE)
(SECONDARY SUITE = 960 SQ. FT.)
MAIN FLOOR: 1982 - 400 (GARAGE EXEMPTION) = 1582
SQ.FT.
UPPER FLOOR: 1197.2 SQ. FT. (< 75% x 1613 = 1210)

TOTAL PROPOSED: **2779 SQ. FT.**

EFFECTIVE THERMAL RESISTANCE OF ASSEMBLIES

EXTERIOR WALLS

W1	Exterior Above Grade Wall Stucco Siding		
	Materials	RSI	R
	Outside air film	0.03	0.17
	(20mm) 7/8" ACRYLIC STUCCO	0.01	0.06
	9.5 mm vented air space by pressure treated wood strapping (Rain Screen)	0.15	0.85
	Sheathing membrane (Weather Barrier)	0	0.00
	(12.5 mm) Sheathing 1/2" Plywood	0.139	0.97
	R22 (RSI-3.87) 5.5" (140mm)batt insulation, 2 X 6 @ 16" o/c	2.55	14.48
	6 Mil Continues caulked Poly (Vapour Retarder)	0	0.00
	1/2" (12.7 mm) gypsum board	0.08	0.45
	Interior air film	0.12	0.68
	Total Effective RSI/R value of entire assembly	3.079	17.48
	Minimum Effective RSI/R value required	2.78	15.79
W2	Exterior Above Grade Wall Cedar Siding		
	Materials	RSI	R
	Outside air film	0.03	0.17
	(16mm Thick.) 11/16" X 4" Cedar Siding	0.12	0.68
	9.5 mm vented air space by pressure treated wood strapping (Rain Screen)	0.15	0.85
	Sheathing membrane (Weather Barrier)	0	0.00
	(12.5 mm) Sheathing 1/2" Plywood	0.139	0.97
	R22 (RSI-3.87) 5.5" (140mm)batt insulation, 2 X 6 @ 16" o/c	2.55	14.48
	6 Mil Continues caulked Poly (Vapour Retarder)	0	0.00
	1/2" (12.7 mm) gypsum board	0.08	0.45
	Interior air film	0.12	0.68
	Total Effective RSI/R value of entire assembly	3.079	17.48
	Minimum Effective RSI/R value required	2.78	15.79

W3	Exterior Above Grade Wall Stone Siding		
	Materials	RSI	R
	Outside air film	0.03	0.17
	(25mm) 1" Stone	0.01	0.06
	9.5 mm vented air space by pressure treated wood strapping (Rain Screen)	0.15	0.85
	Sheathing membrane (Weather Barrier)	0	0.00
	(12.5 mm) Sheathing 1/2" Plywood	0.139	0.97
	R22 (RSI-3.87) 5.5" (140mm)batt insulation, 2 X 6 @ 16" o/c	2.55	14.48
	6 Mil Continues caulked Poly (Vapour Retarder)	0	0.00
	1/2" (12.7 mm) gypsum board	0.08	0.45
	Interior air film	0.12	0.68
	Total Effective RSI/R value of entire assembly	3.079	17.48
	Minimum Effective RSI/R value required	2.78	15.79
W4	Foundation Wall Below Grade		
	Materials	RSI	R
	60 Mil Dampproofing	0	0.00
	(203mm) 8" Concrete Foundation Wall	0.08	0.45
	(13 mm) 1/2" Air Space	0.16	0.91
	(RSI-2.17) 2-1/2" (62.5 mm) Foamular XPS, (38mmX89mm)2X 4 wood stud @ 16" o/c	1.66	9.43
	6 Mil Continues caulked Poly (Vapour Retarder)	0	0.00
	1/2" (12.7 mm) gypsum board	0.08	0.45
	Interior air film	0.12	0.68
	Total Effective RSI/R value of entire assembly	2.1	11.92
	Minimum Effective RSI/R value required	1.99	11.30

NOTE:
MAINTAIN INSULATION VALUE FOR EXTERIOR ABOVE
GROUND WALL AT RIM JOIST

FLOORING

F1	Floor Over Exterior Space		
	Materials	RSI	R
	Interior air film	0.16	0.91
	19mm Hardwood Flooring	0.02	0.11
	38 mm concrete flooring	0.01	0.06
	(18.5 mm) Sheathing 3/4" Plywood	0.16	0.91
	Floor Joist 241mm TJI @ (406mm) 16" O/C, RSI 4.593	4.37	24.83
	R-28 Bath Insulation filling cavity between Joists	0	0.00
	11/16" (16mm) Tick. Cedar soffit	0.12	0.45
	Exterior air film	0.03	0.17
	Total Effective RSI/R value of entire assembly	4.87	26.76
	Minimum Effective RSI/R value required	4.67	26.52
F2	Heated Floor Slabs		
	Materials	RSI	R
	Interior air film	0.16	0.91
	(102mm) 4" Concrete slab	0.04	0.23
	(RSI-2.14) 2-1/2" (63.5 mm) Foamular XPS	2.14	12.15
	6 Mil Continues caulked Poly (Air Barrier)	0	0.00
	Total Effective RSI/R value of entire assembly	2.34	13.29
	Minimum Effective RSI/R value required	2.32	13.17

INTERIOR PARTITIONS

P1	Wall between Garage and Living space		
	Materials	RSI	R
	Outside air film	0.03	0.17
	1/2" (12.7 mm) gypsum board	0.08	0.45
	R20(RSI-3.34) 5.5" (140mm)batt insulation, 2 X 6 @ 16" o/c	2.36	13.40
	6 Mil Continues caulked Poly (Vapour Retarder)	0	0.00
	1/2" (12.7 mm) gypsum board	0.08	0.45
	Interior air film	0.12	0.68
	Total Effective RSI/R value of entire assembly	2.67	15.16
	Minimum Effective RSI/R value required	2.62	14.88

ROOFING

R1	Ceilling Below Attics		
	Materials	RSI	R
	24 GA Standing Seam Metal Roof		
	1/2" Plywood Sheeting over roof truss		
	Exterior air film in vented roof attic space	0.03	0.17
	RSI-4.93 R-28 Bath insulation above bottom chord	4.93	27.99
	Roof Truss (38mmx89mm) 2x4 bottom cord @ (610mm) 24" O/C,		
	RSI 2.11, R-12 Bath Insulation filling cavity between bottom cord	1.76	9.99
	Polyethylene (Vapour retarder)	0	0.00
	5/8" (15.9 mm) gypsum board	0.09	0.51
	Interior air film	0.11	0.62
	Total Effective RSI/R value of entire assembly	6.92	39.29
	Minimum Effective RSI/R value required	6.91	39.24
R2	Flat Roof (Deck Over Conditioned space)		
	Materials	RSI	R
	Deck Tiles		
	Minimum(13 mm) 1/2" Air Space (Pedestal)	0.15	0.85
	2 Ply Torch down waterproofing membrane	0	0.00
	(18.5 mm) Sheathing 3/4" Plywood	0.16	0.91
	Deck Floor(Area over Living space)(38mmx184mm) 2x8 @ (406mm) 16" O/C, RSI 5.63, R-32 Medium Density Spray Foam (Average Insulation Depth 6.25") filling cavity between Joists	4.2	23.85
	Polyethylene (Vapour retarder)	0	0.00
	1/2" (12.7 mm) gypsum board	0.08	0.45
	Interior air film	0.11	0.62
	Total Effective RSI/R value of entire assembly	4.7	26.69
	Minimum Effective RSI/R value required	4.67	26.52

THERMAL CHARACTERISTICS OF FENESTRATION

- WINDOWS AND DOORS: MAX. USI 1.8 (U-0.32)
- FRONT DOOR: MAX. USI 2.8 (U-0.48)
- OVERHEAD GARAGE DOOR TO BE WEATHER STRIPPED
- ATTIC ACCESS HATCHES: MIN. RSI 1.1(R-6.25)
- SKYLIGHTS MAX. 2.9 U-VALUE

OTHER CONDITIONS

- MEET BCBC 2014 UPDATES
- ENERGY EFFICIENCY REQUIREMENT
- DUCT RUNNING THROUGH UNCONDITIONED SPACE TO BE RSI 2.78 (R-15.78)

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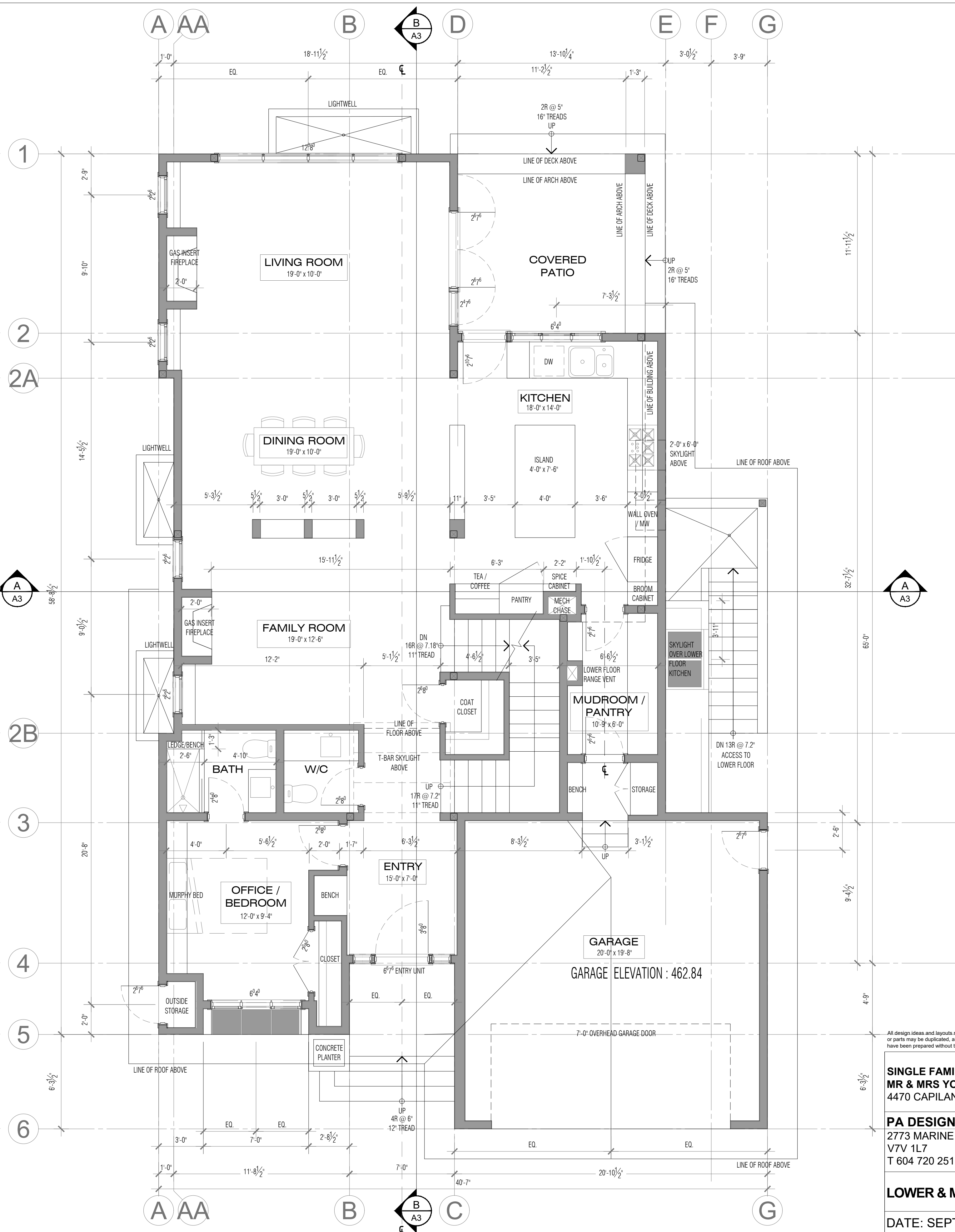
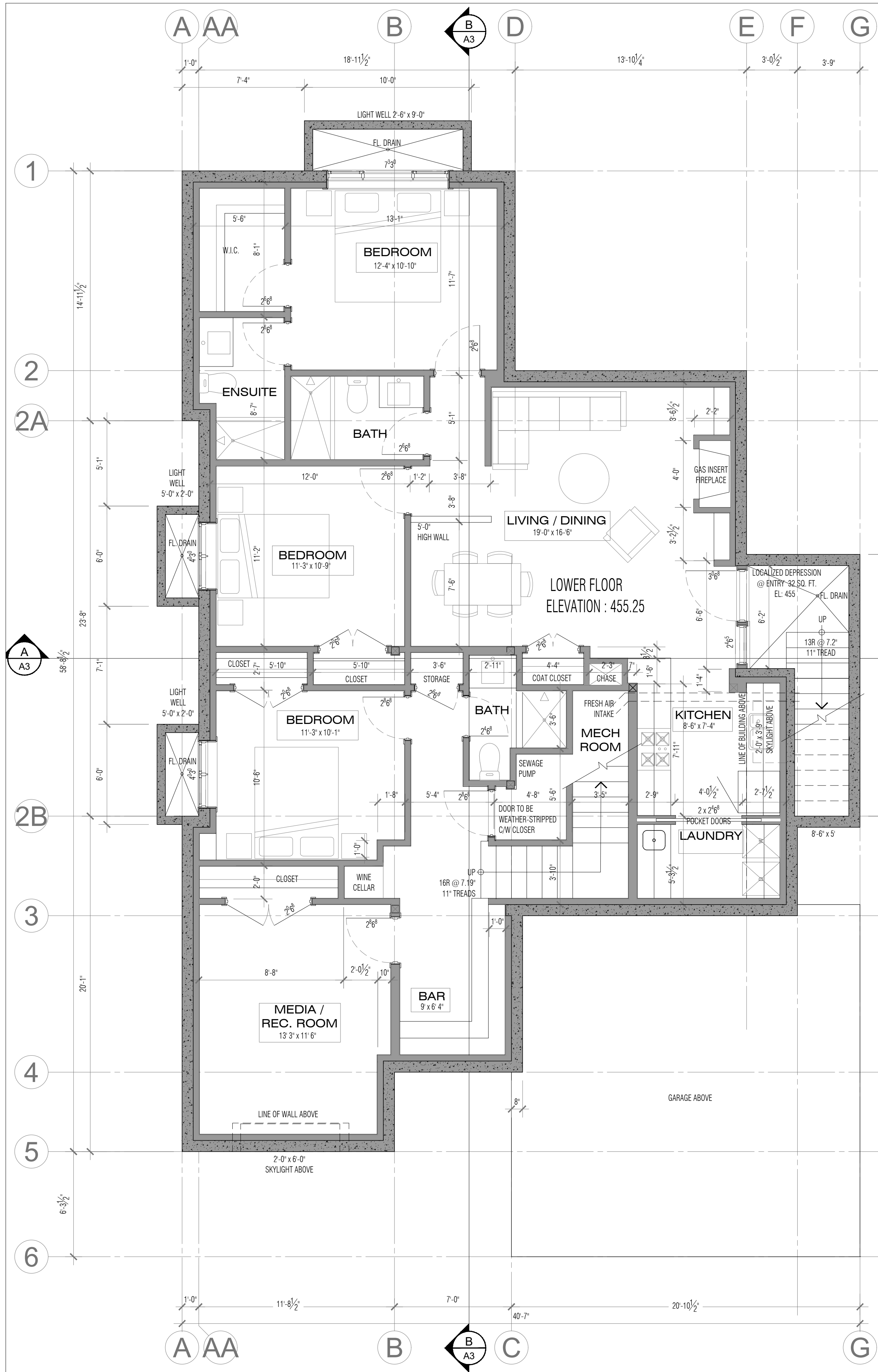
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SITE PLAN

DATE: OCT 2017

SCALE: $\frac{1}{8}" = 1'-0"$

A0.1



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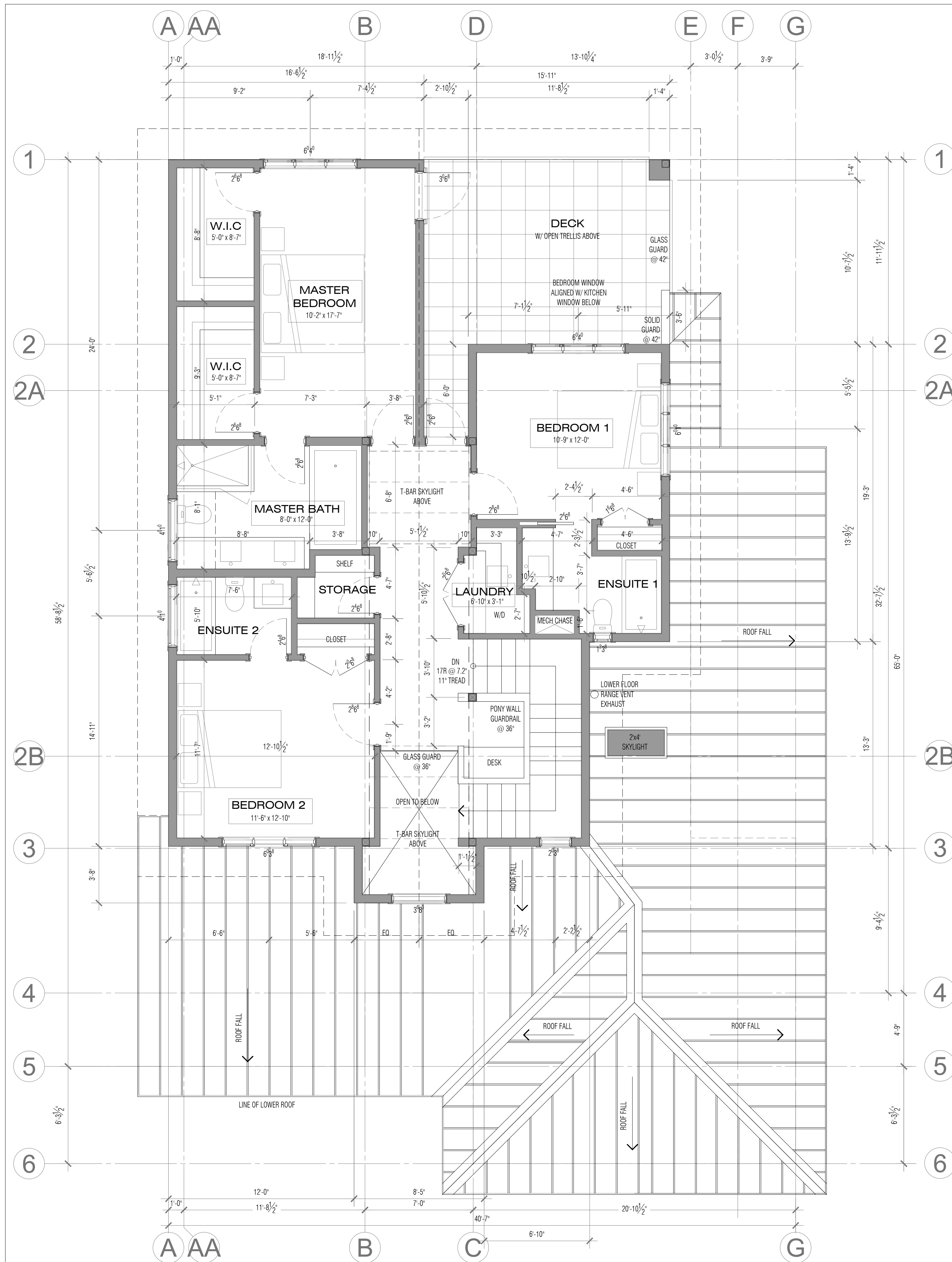
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LOWER & MAIN FLOOR PLANS

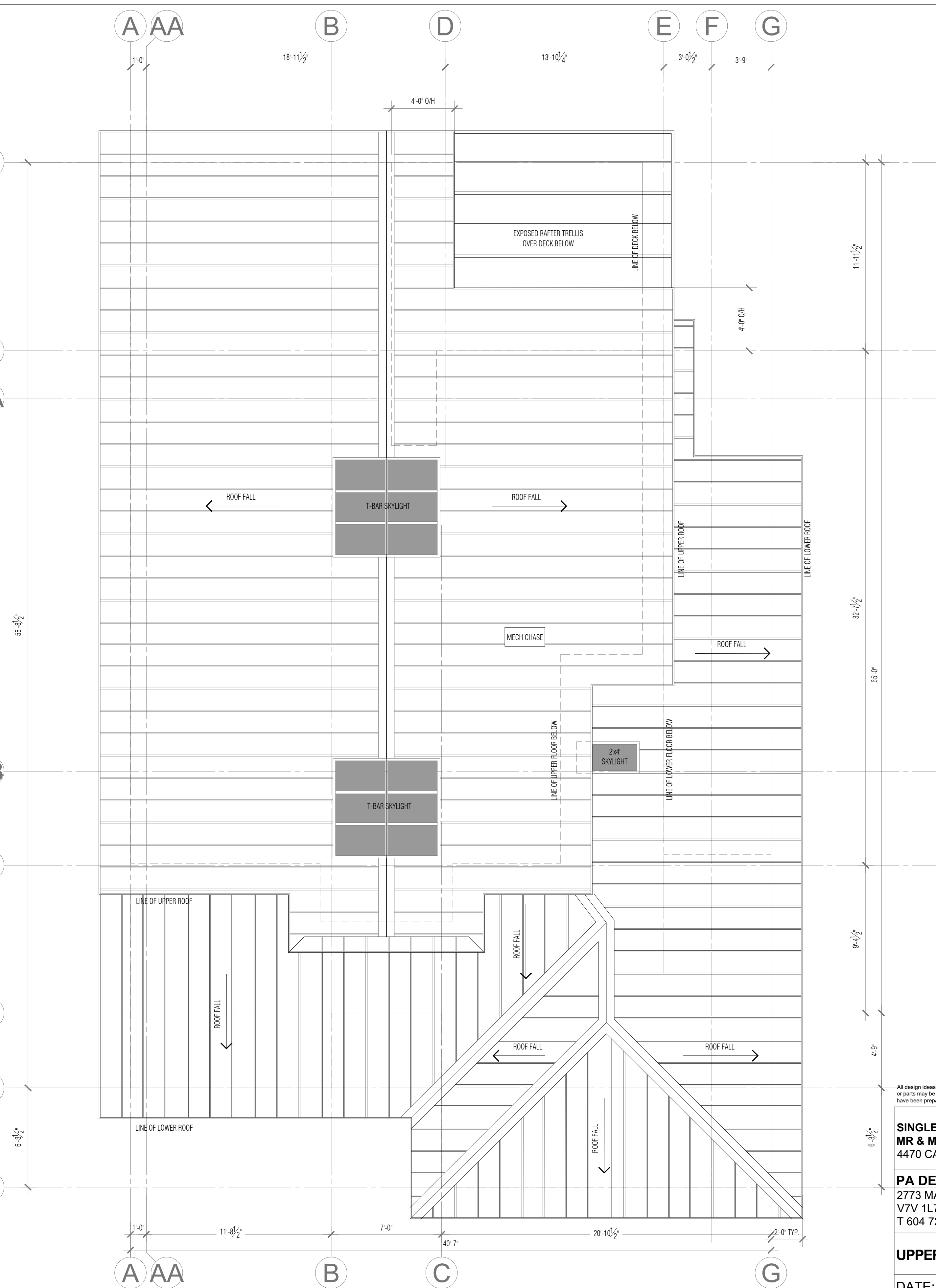
DATE: SEPT 2017

SCALE: 1/4" = 1'

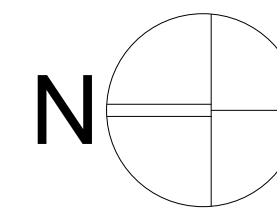
A1.1



1
A1.2
UPPER FLOOR PLAN



2
A1.2
ROOF PLAN



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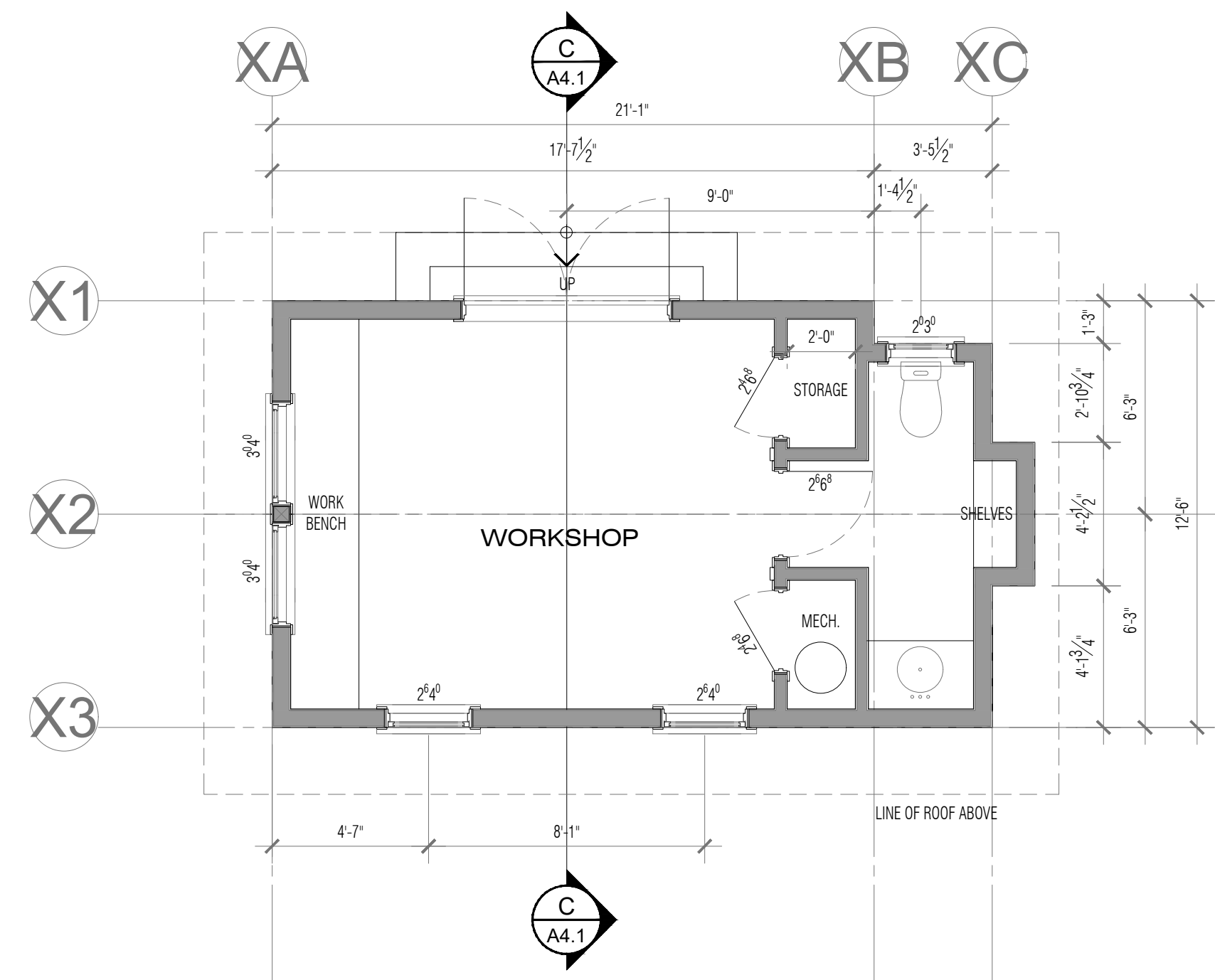
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UPPER FLOOR PLAN & ROOF PLAN

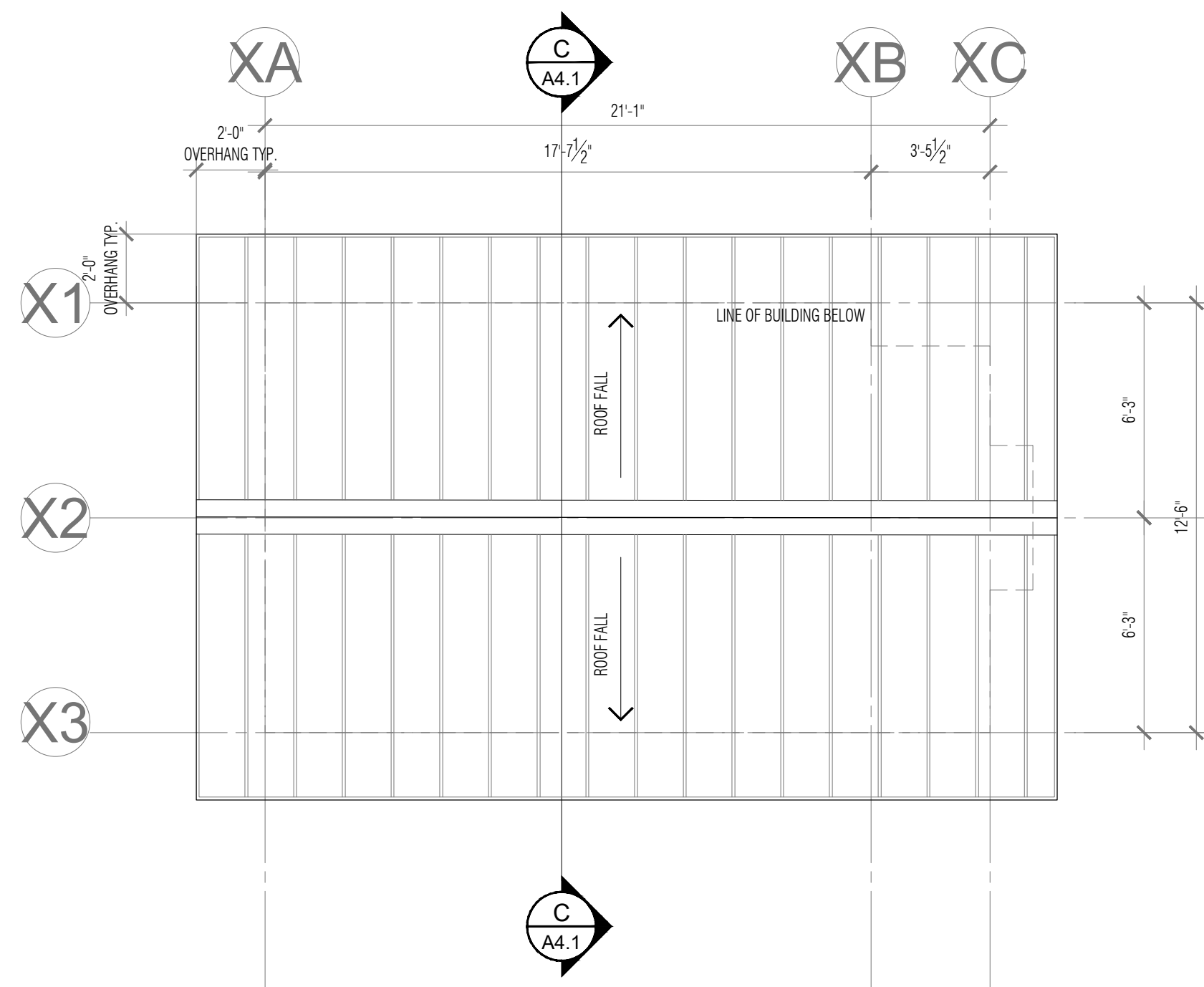
DATE: SEPT 2017

SCALE: 1/4" = 1'

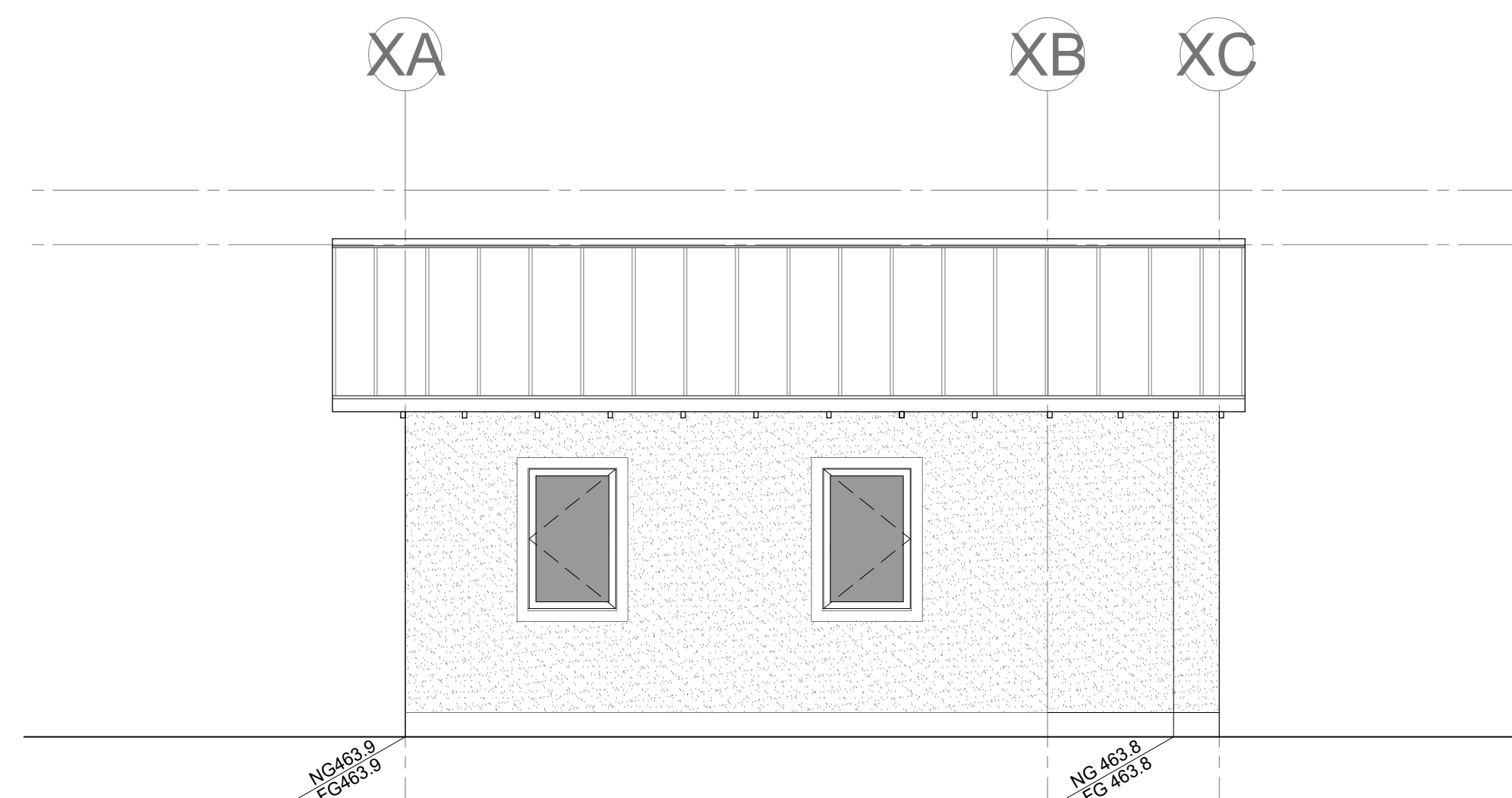
A1.2



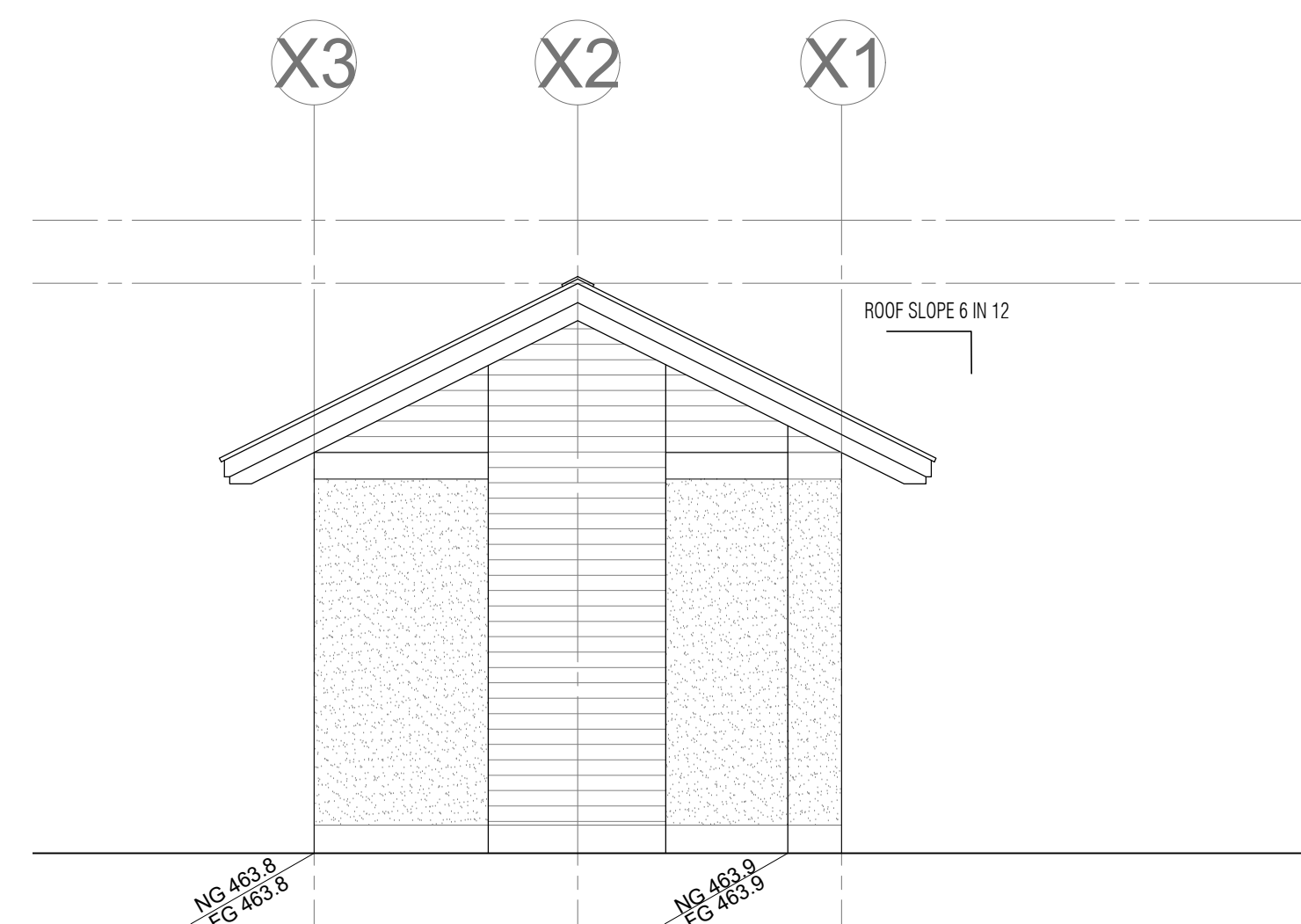
1 ACCESSORY BUILDING FLOOR PLAN
A4.1



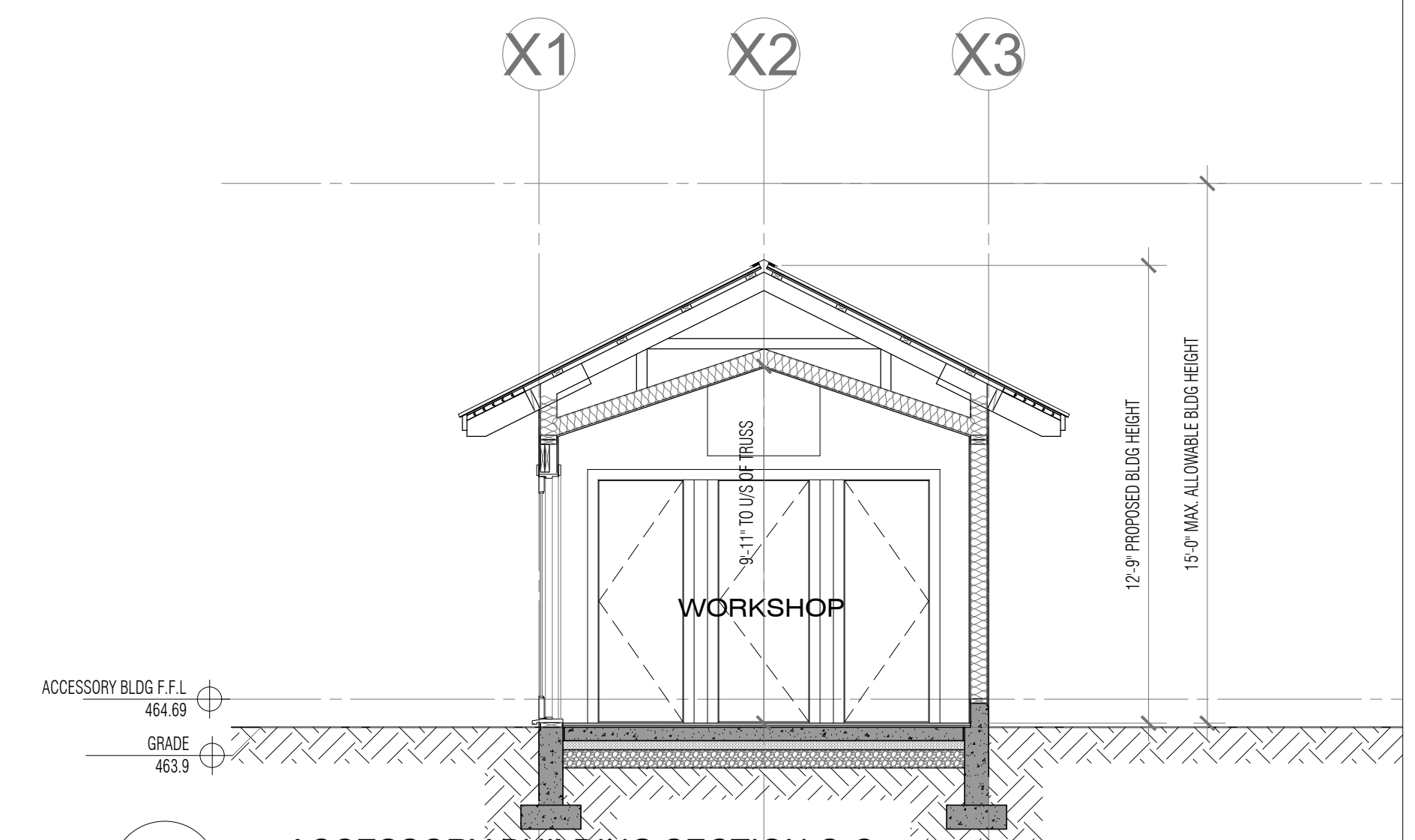
2 ACCESSORY BUILDING ROOF PLAN
A4.1



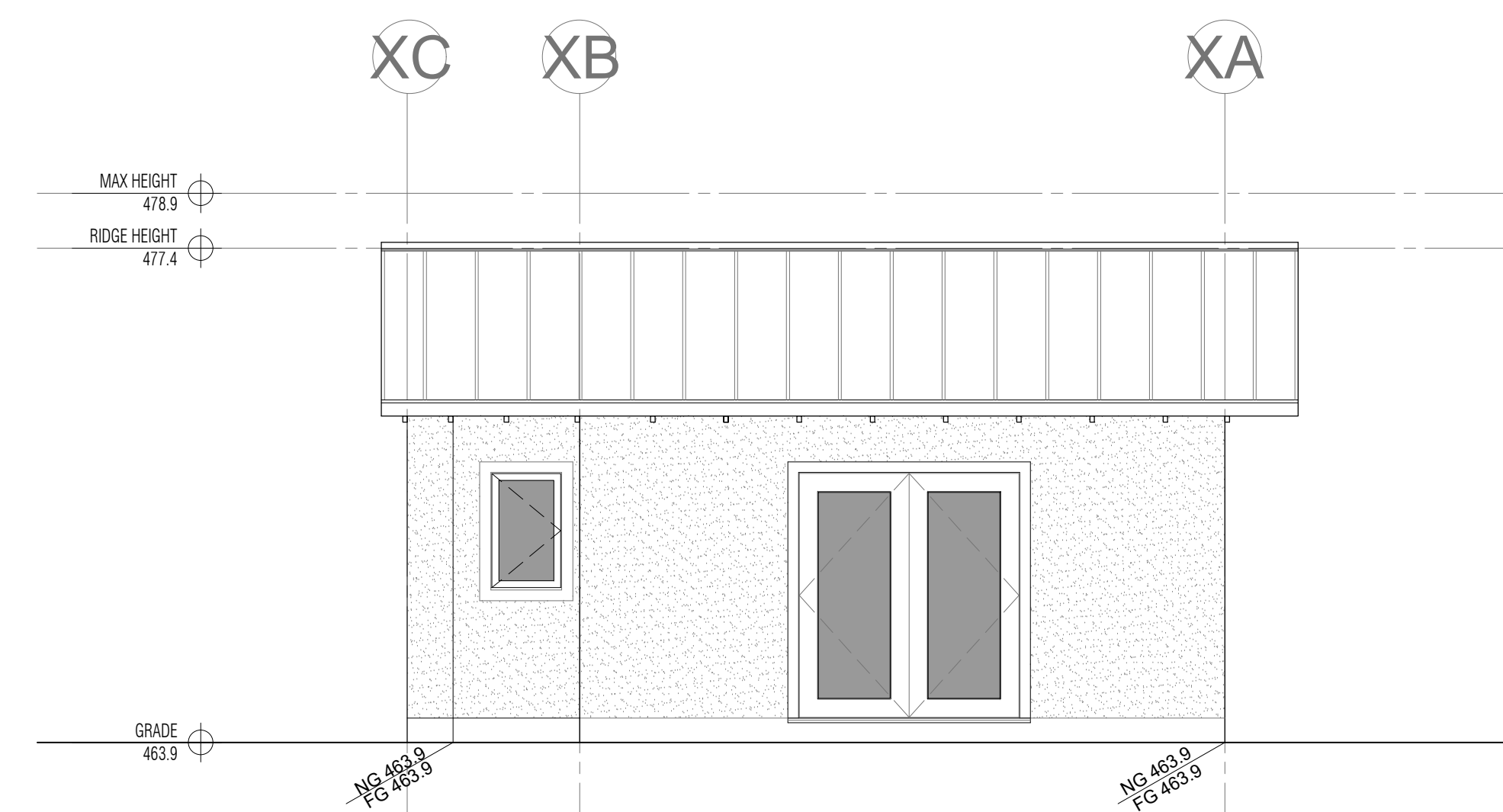
3 ACCESSORY BUILDING SOUTH ELEVATION
A4.1



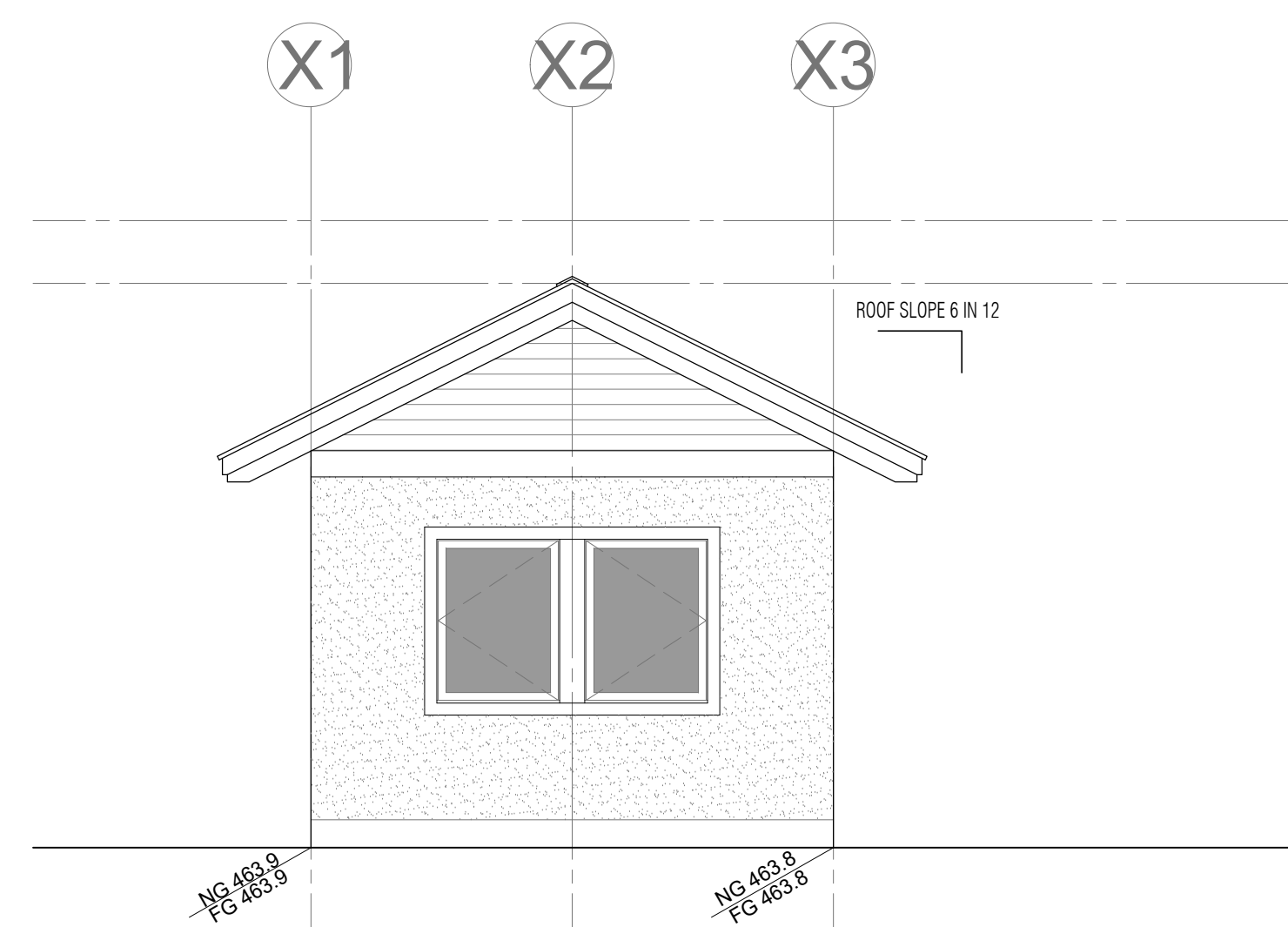
4 ACCESSORY BUILDING EAST ELEVATION
A4.1



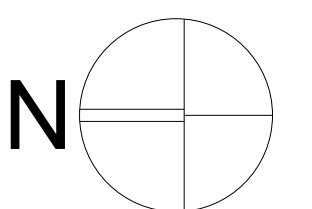
7 ACCESSORY BUILDING SECTION C-C
A4.1



5 ACCESSORY BUILDING NORTH ELEVATION
A4.1



6 ACCESSORY BUILDING WEST ELEVATION
A4.1



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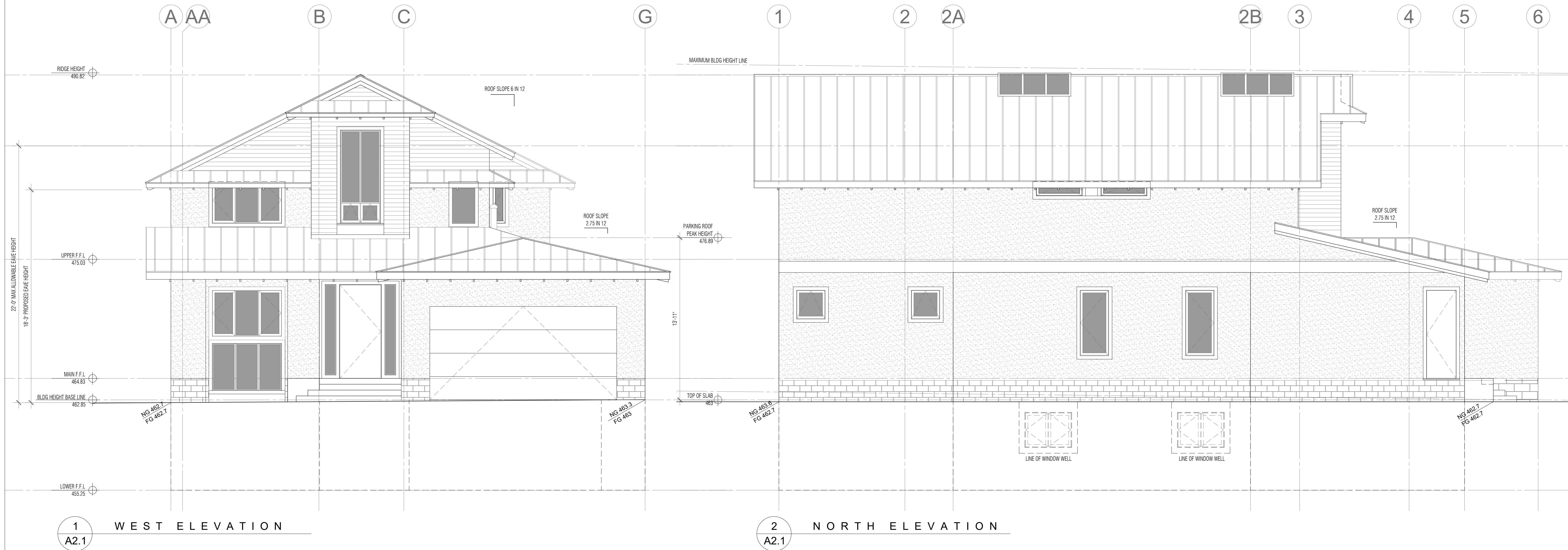
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UPPER FLOOR PLAN & ROOF PLAN

DATE: SEPT 2017

SCALE: 1/4" = 1'

A4.1



SPATIAL SEPARATION CALCULATIONS:
AS PER TABLE 9.10.14.4.A BCBC 2012

PRINCIPAL BUILDING- SOUTH ELEVATION

TOTAL AREA:	1084.448 SQ. FT. (100.75 SQ. M.)
LIMITING DISTANCE:	8.41' FEET (2.56 METERS)
UNPROTECTED OPENINGS	
PERMITTED:	@ 2 METERS 8% @ 4 METERS 12% @ 2.56 METERS 8.96%
	100.75 x 8.96 % = 9.027 SQ. M = 97.166 SQ. FT.
PROVIDED:	19.98+ 60+ 4+ 12.45 = 96.43 SQ. FT.

PRINCIPAL BUILDING - NORTH ELEVATION:

TOTAL AREA:	1147.862 SQ. FT. (106.64 SQ. M.)
PERMITTED:	@1.2 METERS 7 %
	106.64 x 7% = 7.46 SQ. M. = 80.29 SQ. FT.
PROVIDED:	2.5 x 2.5 x 2 = 12.5 SQ. FT. + 4 + 4 = 20.5 SQ. FT.
	5.5 X 2.5 = 13.75 X 2 = 27.5
TOTAL:	27.5 + 20.5 = 47.5 SQ. FT.

ACCESSORY BUILDING - SOUTH ELEVATION:

TOTAL AREA:	212 SQ. FT. (19.70 SQ. M.)
PERMITTED:	@1.5 METERS 9 % @2.0 METERS 12% @1.73 METERS 10.5%
	19.70 x 10.5% = 2.07 SQ. M. = 22.28 SQ. FT.
PROVIDED:	2.5 x 4 x 2 = 20 SQ. FT.

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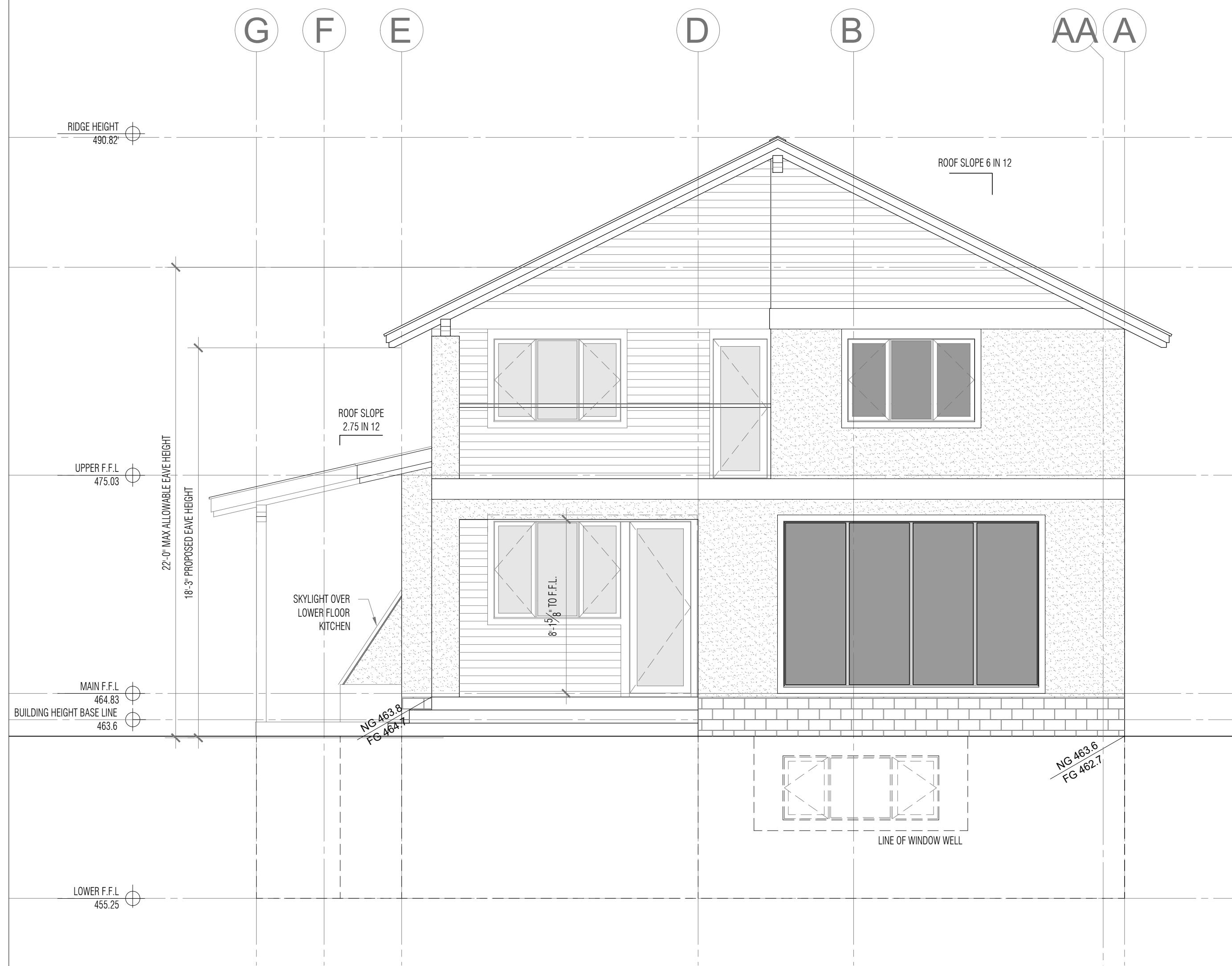
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ELEVATIONS

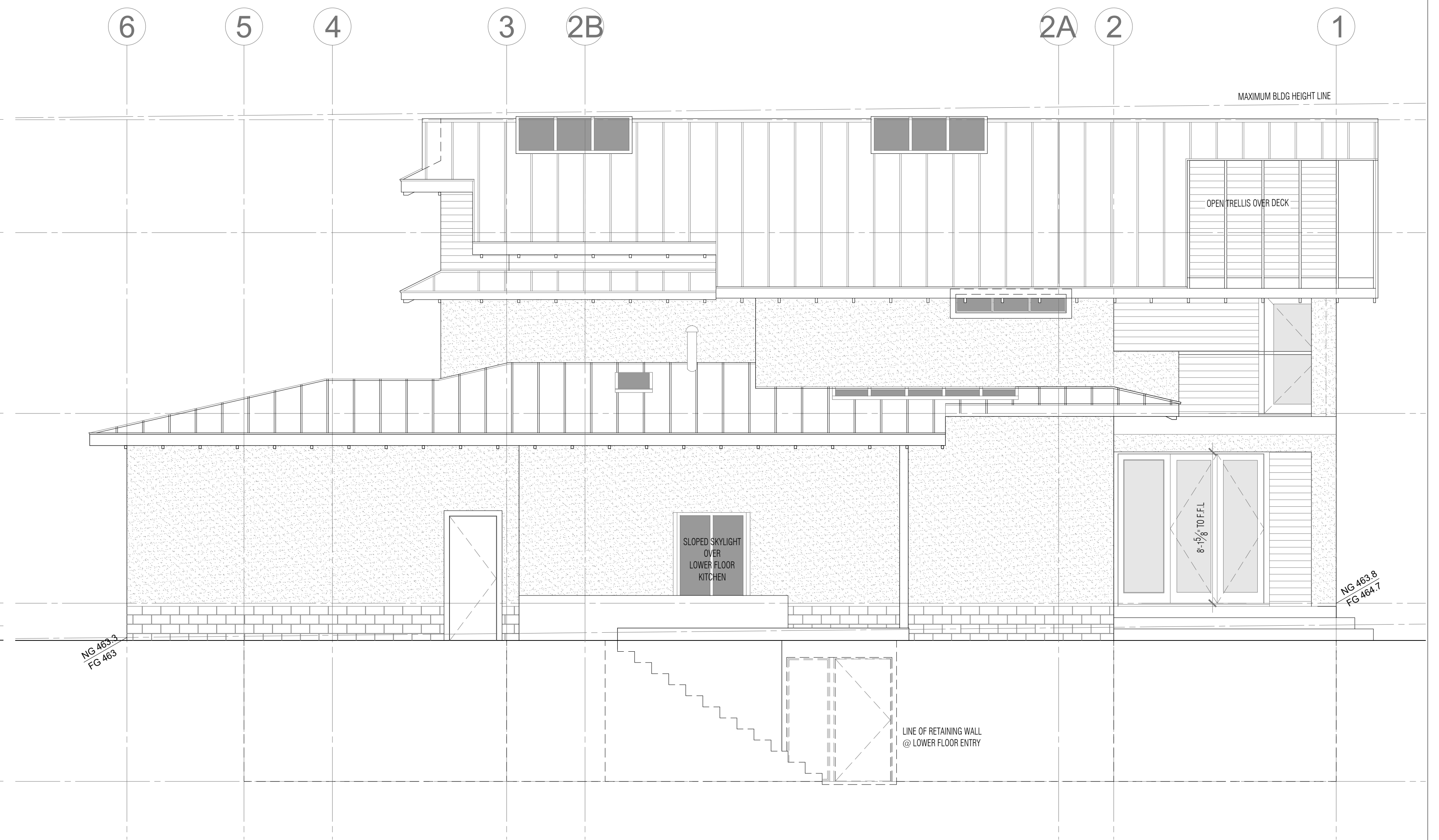
DATE: SEPT 2017

SCALE: 1/4" = 1'-0"

A2.1



3 EAST ELEVATION
A2.2



4 SOUTH ELEVATION
A2.2

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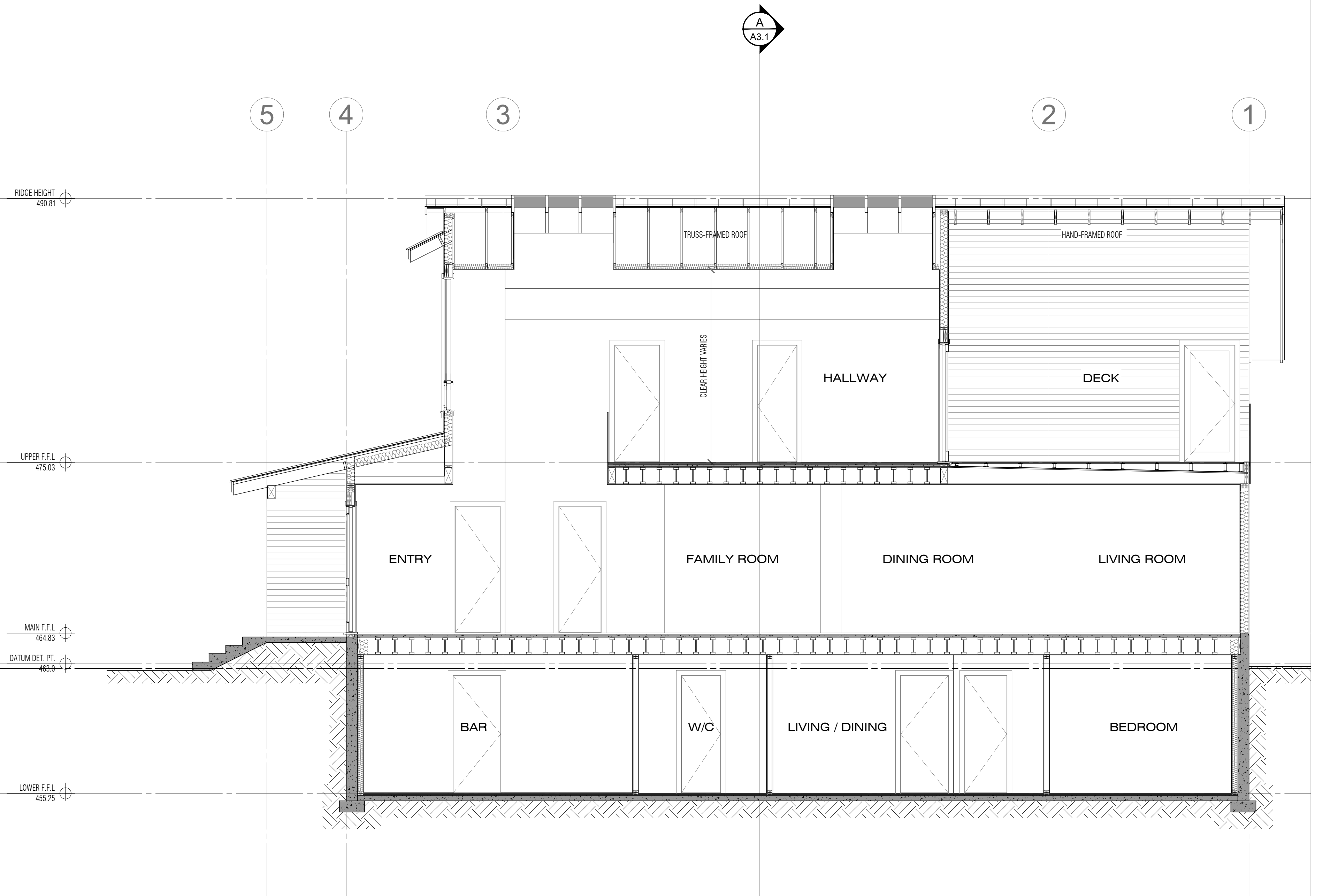
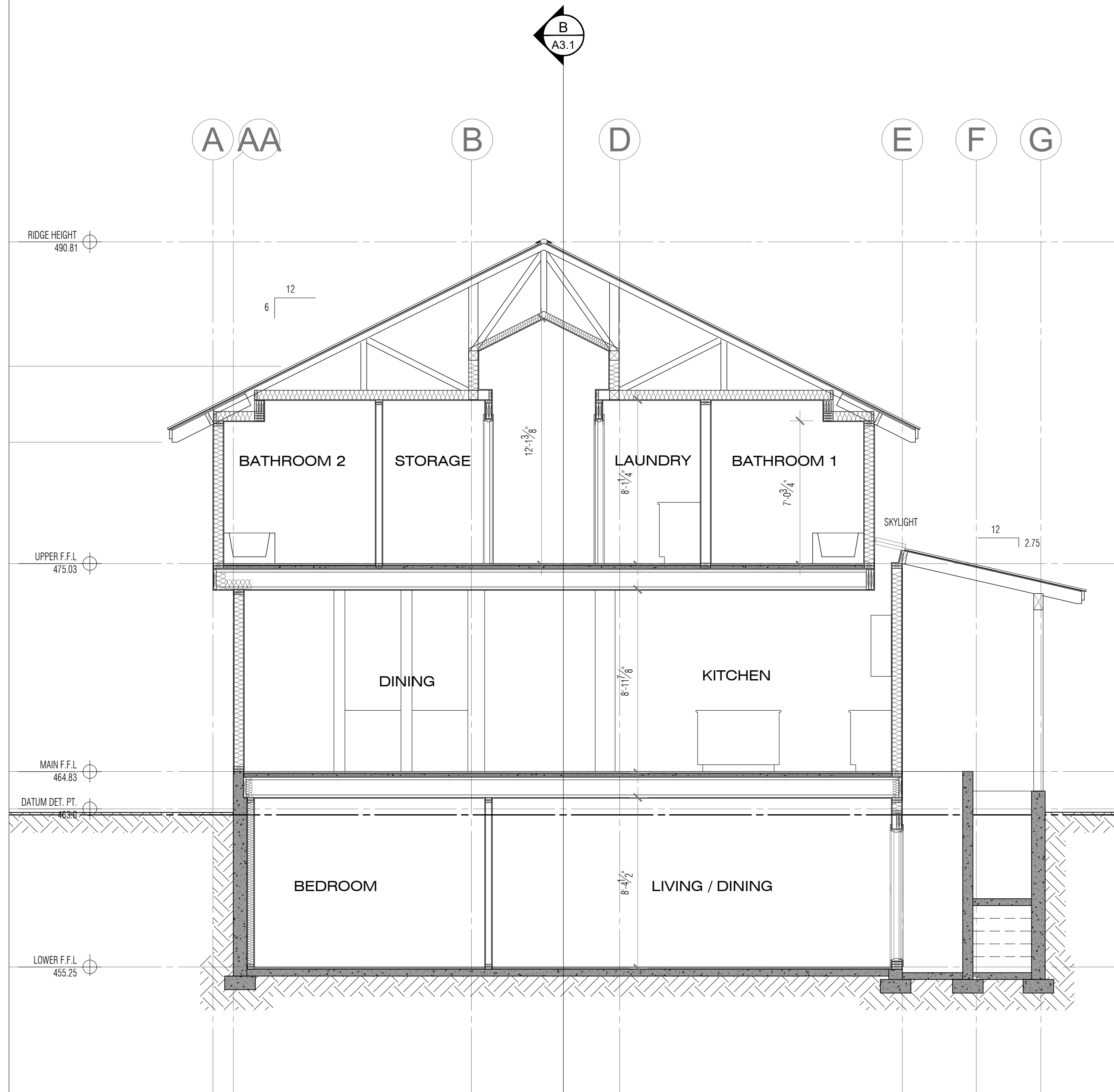
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ELEVATIONS

DATE: SEPT 2017

SCALE: $\frac{1}{4}" = 1'-0"$

A2.2



1
A3.1

SECTION A-A

2
A3.1

SECTION B-B

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SECTIONS

DATE: SEPT 2017

SCALE: 1/4" = 1'

A3.1

GENERAL NOTES

Contractor to check all dimensions & notes, and to notify PA Design of any discrepancies prior to commencement of construction. Do not scale off drawing, refer to dimensions. All material and workmanship to comply to latest BCBC. All drawings are to be read in conjunction with professional engineers drawings.

EXCAVATIONS:

- Geotechnical Engineer is to certify a site is safe for workers when the slope of the excavations exceeds $\frac{3}{4}$ horizontal to one vertical or excavation exceeds 48".
- Inspections can only be done if site is posted as safe by Prof. Engineer

FOUNDATIONS:

- Pad footings are required to have a minimum footing area of 4.3sf supporting 1 floor, 8sf supporting 2 floors and 10.7sf supporting 3 floors.
- Footings are to extend 18" below grade minimum.
- Foundation wall of basement below grade and crawl spaces must be insulated with R12 to 24" below grade.
- Provide $\frac{1}{2}$ " \varnothing anchor bolts @ 8'-0" O.C.
- Anchor posts to footings to resist uplift.

CRAWL SPACE:

- Provide crawl space access of 18" x 24" min., 18" clearance and ventilate to $\frac{1}{50}$ th of area.
- Groundcover reqd. of 2" concrete over 6 mil U.V.

VENTILATION:

- Uniformly distribute ventilation to flat and vaulted roofs to $\frac{1}{50}$ of insulated ceiling area. Venting is required to be two-way.
- Min. 2x2 cross purlins to flat, vaulted ceilings, and decks over living areas to conform to #9.19.1.3.(4).
- Provide min. $2\frac{1}{2}$ " clearance between roof sheathing and insulation #9.19.1.3. Provide min. 1" clearance between insulation and top of roof joists.
- Ventilate attics to $\frac{1}{50}$ of insulated ceiling area.
- Roof vents must be uniformly distributed with a minimum of 25% at base and 25% in rooftop.
- Provide attic hatch of 3.4sf in area with no dimensions less than 1'10".
- Submit Mechanical Ventilation/Air Conditioning design and letter of supervision by Prof. Engineer, certified HRAI or HVC Technician at frame and final inspection.
- Continuous or intermittent exhaust fans are required to all bathrooms and kitchens as per #9.32.3.3.

INSULATION:

- Insulation where subject to mechanical damage is to be covered as per #9.25.2.3.(7) with drywall or equivalent (eg. crawl storage areas).
- Wall insulation to be R20 minimum if dwelling is not heated by natural gas.
- Minimum insulation values R14 walls, R28 for flat or vaulted ceilings, and R40 for attic spaces.
- Ceiling and walls to have 6 mil U.V. poly fully caulked as per #9.25.
- R10 rigid insulation required around unheated slabs on grade; 20" vertical or horizontal from bottom edge of slab.
- R12 rigid insulation under entire slab area for slabs with radiant heating.

STAIRS

- Straight stair: Rise min. 5" max. 7.87" Run min. 8.25" max. 14"
- All treads to have a 1" nosing.
- Minimum headroom is 6'5" from a line through nosings measured vertically.
- Handrail to be between 32" to 38" from a line, measured vertically, through nosing.
- Winders to conform to 9.8.4.5.
- Primary stair minimum width 2'-10".
- Curved stairs and stairs 43" in width or greater require 2 handrails.
- Handrail reqd. on interior stairs with three or more risers, and exterior stairs with four or more risers.
- Handrail as a guard is to be between 36" and 38".

CHIMNEY AND FIREPLACES:

- Minimum 2" clearance between chimney and combustible framing.
- Minimum 4" clearance between fireplace and combustible framing.
- Masonry fireplace hearths must conform to #9.22.5.1.
- Hard wired C.O. detectors are required in each bedroom or within 5 metres of each bedroom door in conformance with #9.32.4.2.

GUARDRAILS:

- Guardrails to be a minimum 42" exterior and 36" interior height.
- No member facilitating climbing permitted from 4" to 36" above the floor or walking surface (in all guards)
- Maximum 4" opening in all stair, deck and balcony guards (interior and exterior)
- All glass guards to have top cap unless approved by Prof. Engineer.
- A minimum of 36" in height is permitted for decks within 5'-11" of grade.
- Guard required to all drops exceeding 24" where access is provided (eg. window wells).
- Guard required where the adjacent surface within 1.2m of the walking surface has a slope of more than 1 in 2.

GLAZING:

- Glass in windows and doors to be double-glazed.
- Glass in entrance, shower and sliding doors, and windows within 8' of floors and withing 36" of deadbolts are all to be safety glass.
- Sidelights 20" + in width are to be safety glass.
- Windows in walls enclosing shower or tubs are to be safety glass and be located above the waterproof wall finish height.
- The bottom of an openable window in a bedroom is not to exceed 4'-11" above the floor, and have a minimum opening width of 15" with an area of 3.75 sf.
- Windows over stairs, ramps and landings that extend to less than 36" above the surface shall be protected with guards or be non-openable and designed to #4.1.5.15.
- Window wells are to be 22" minimum width when required as a bedroom egress.
- Bedroom windows required as exits must maintain the required opening during an emergency without the need for additional support in conformance with #9.7.1.2.2.b.
- Where a protective enclosure is installed over a window well, it shall be openable from the inside without the use of keys, tools or special knowledge.

MASONRY VENEER WALLS:

- Provide masonry/veneer wall flashing ties and weep holes as per #9.20.

GARAGES:

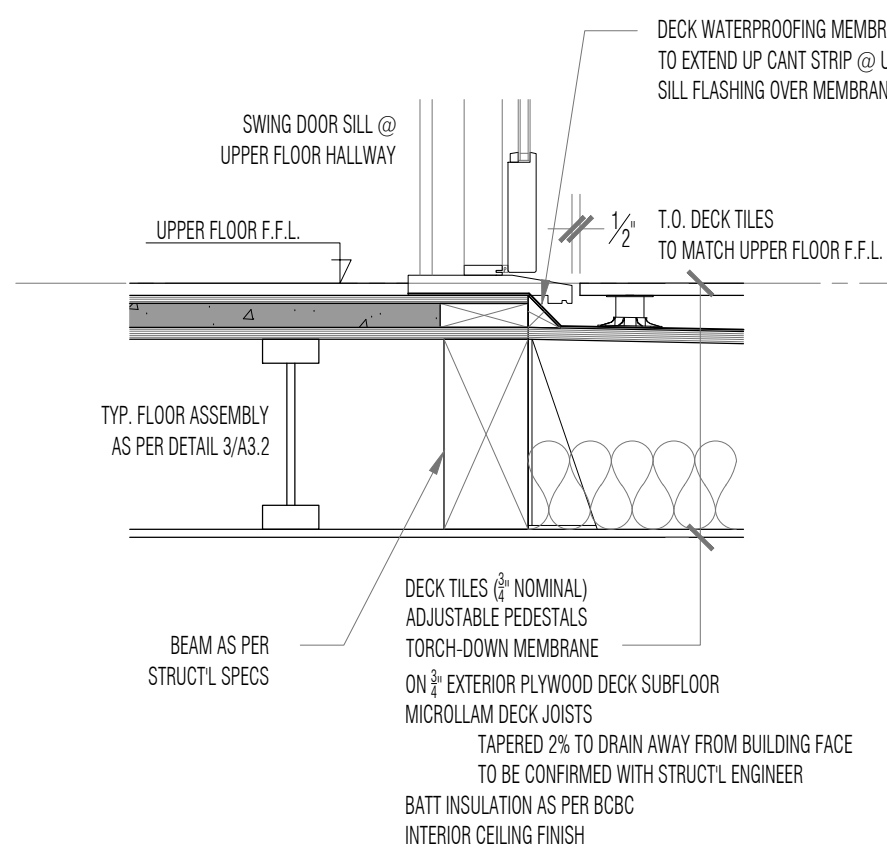
- Doors between garage and dwelling are to be a self-closing and weather-stripped solid core door.
- Thicken slab at garage entry to 18" below grade.

MOISTURE PROTECTION:

- Provide flashing between horizontal intersections of differing wall finishes. All flashing to slope away from the building a minimum of 6%.
- Provide flashing at all wall-roof junctions, including parapets for solid guards on decks.
- Rainscreen assembly required for all buildings, with a minimum capillary break of $\frac{3}{8}$ ".
- All platforms are roofs.
- All roofs must slope 1 in 50 away from walls, this includes parapet walls surrounding decks.
- 6" clearance required between deck membranes and floor.

MISCELLANEOUS

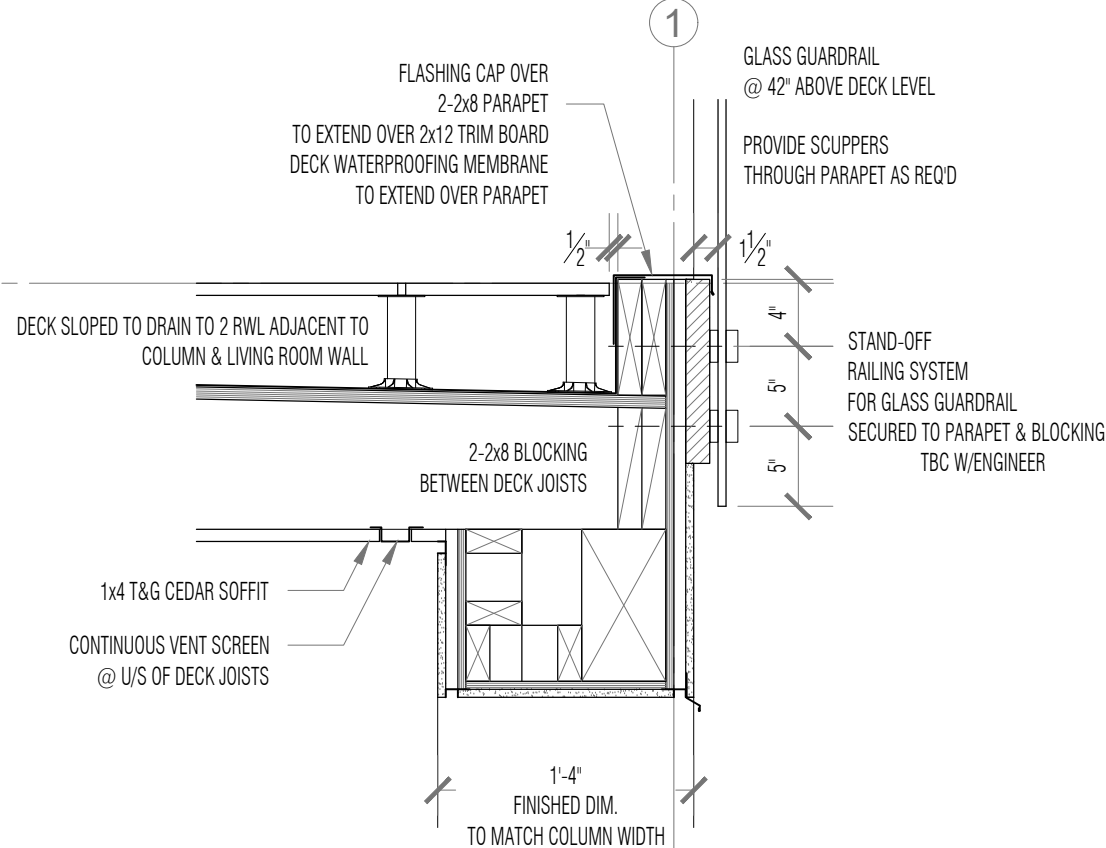
- Cross bridging required @ 7'-0" O.C. maximum for floor and roof joists.
- Lino or equal required to bathroom floors.
- Waterproof wallboard required as tile base around tubs and showers.
- $\frac{3}{8}$ " drywall required to ceiling members at 24" O.C.
- Provide 8" clearance between grade and siding.
- Damp-proofing for slabs including crawl spaces, are to be 6 mil "UV" poly.
- Furnace and laundry room door width of 2'-8" min.
- N.R.P. hinges required for outswing exterior doors.
- One hard wired-smoke alarm required per floor, all smoke alarms to be interconnected.
- Smoke alarms required on every floor level, differing by 36" and within 5 metres of bedroom doors and 15 metres of each other.
- A 5lb A.B.C. dry chemical fire extinguisher is required near the kitchen.
- Heating and air conditioning equipment must be secured to the building to resist overturning and displacement.



4

A3.2

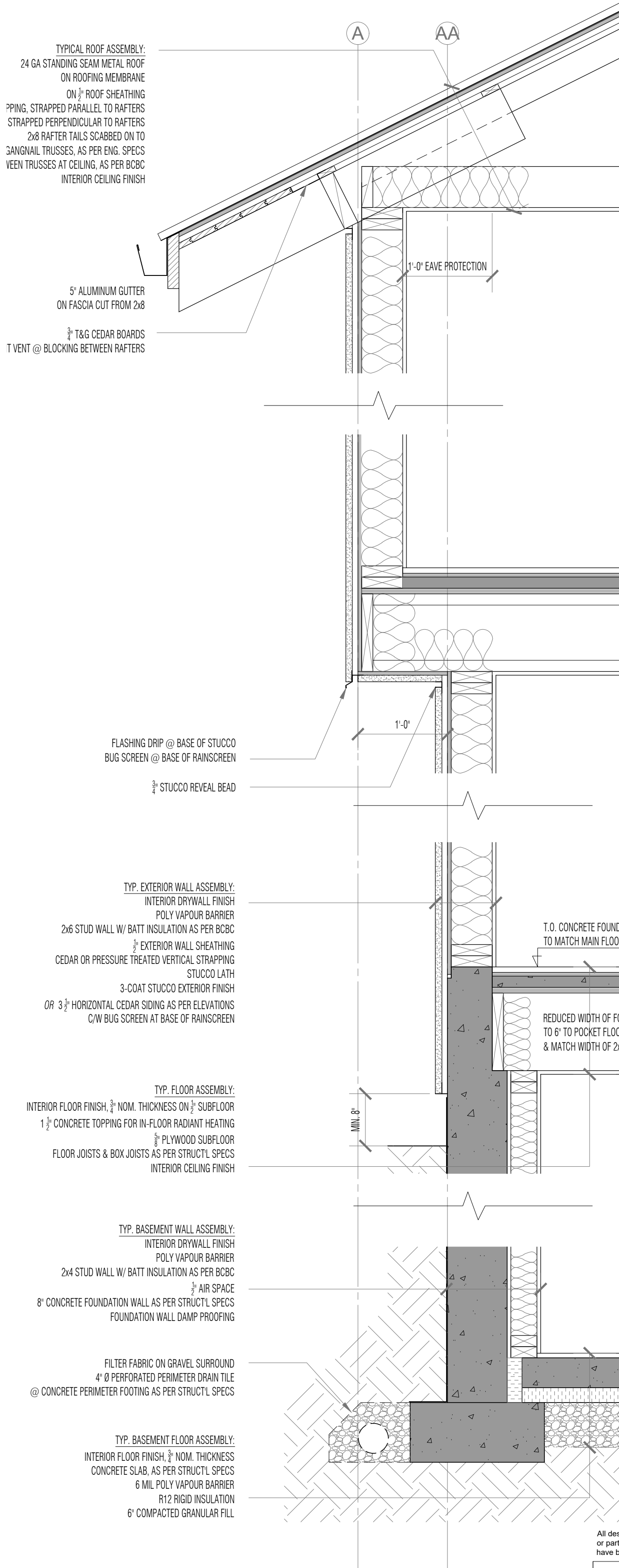
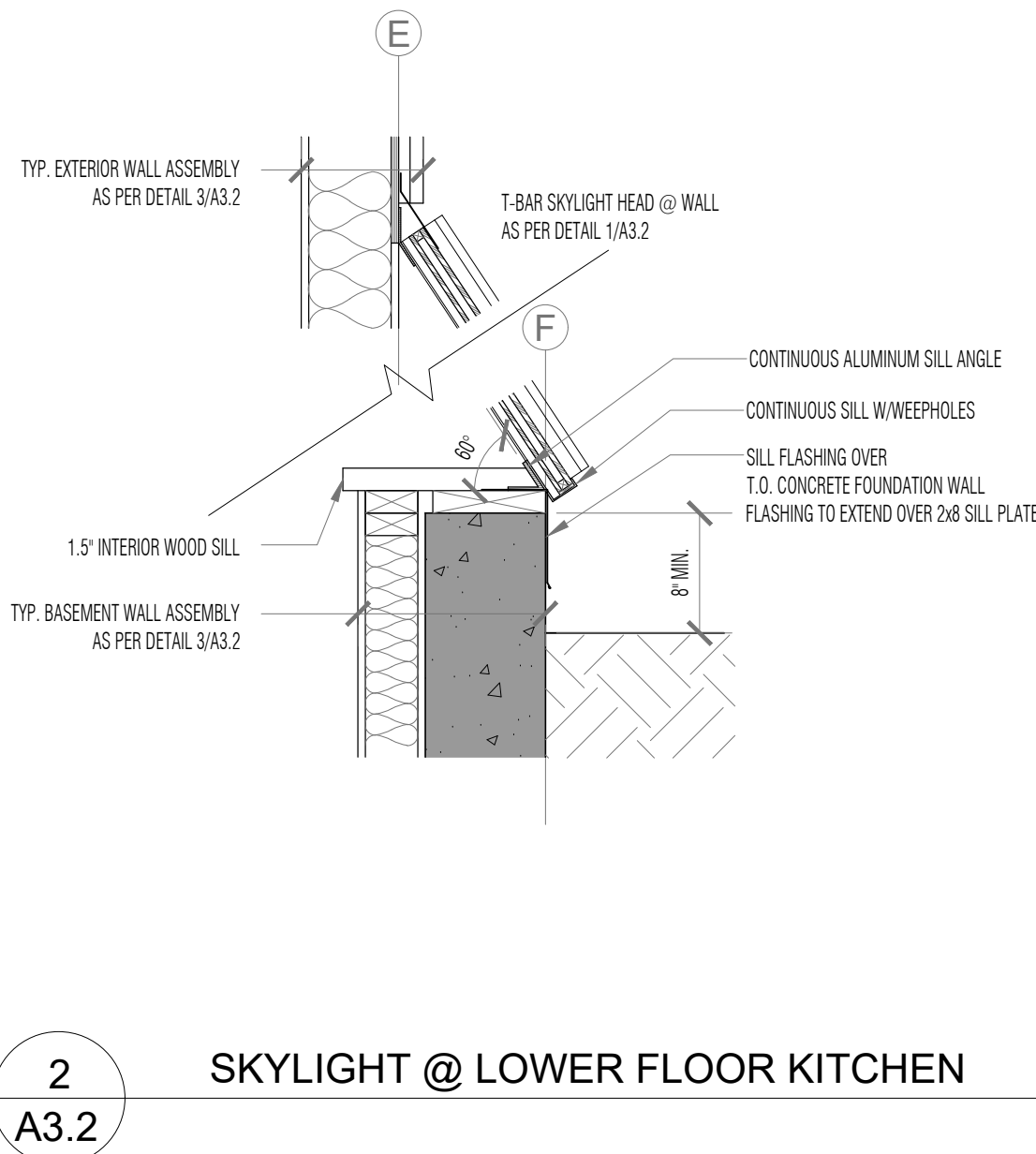
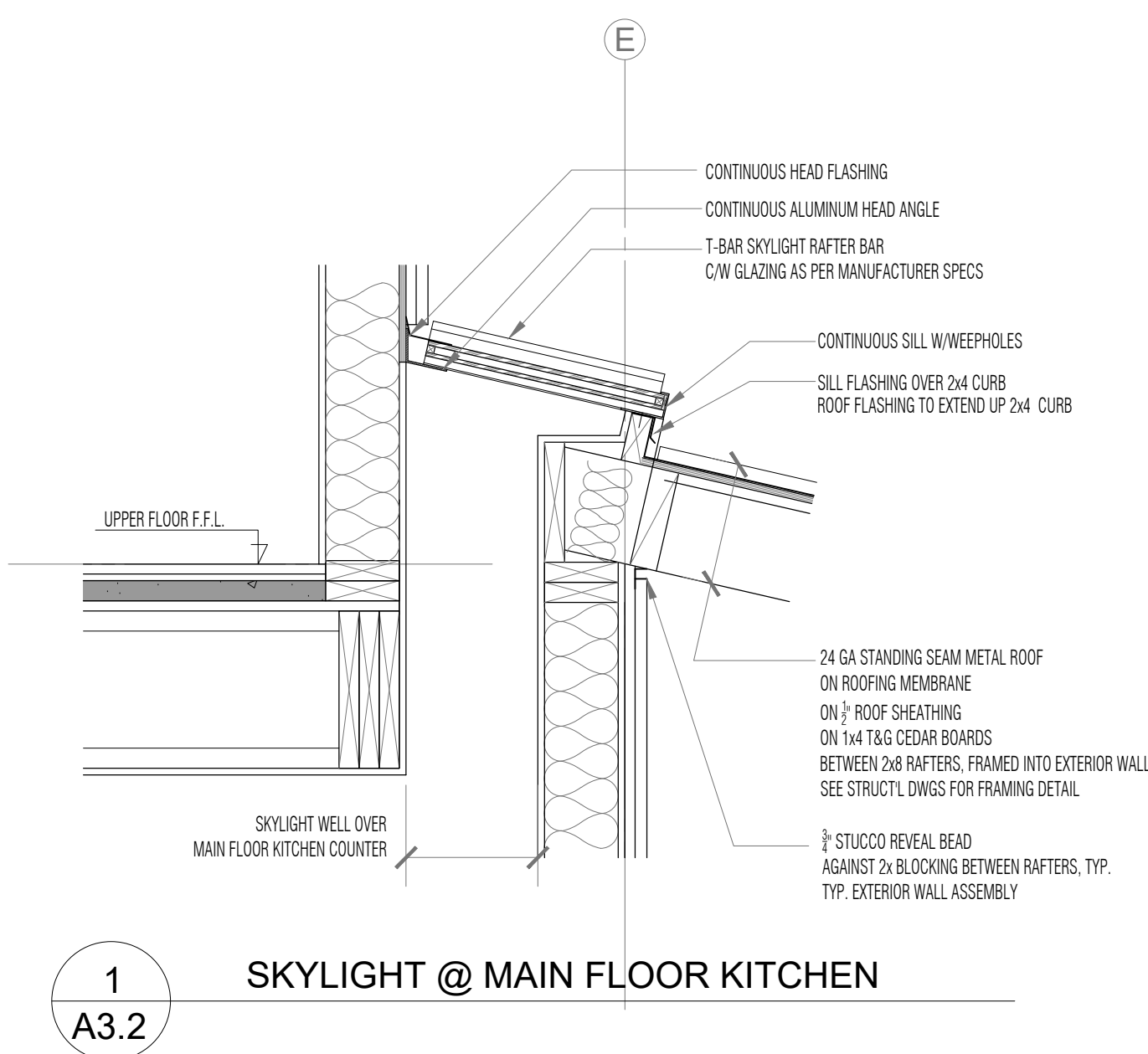
DECK DETAIL OVER LIVING ROOM



5

A3.2

DECK DETAIL OVER PATIO



3

A3.2

WALL SECTION DETAILS | MATERIALS

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GENERAL NOTES + SECTION DETAILS

DATE: SEPT 2017
REV:

SCALE: 1" = 1'

A3.2