

**ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT**

**LEGAL:** LOT 6, PLAN 7820140  
6 DONSDALE CRESCENT, EDMONTON, AB

**THIS REPORT IS PREPARED FOR:** CLIENT'S FILE:  
RONALD G. HOPP LAW OFFICE

**SURVEY COMPLETED:** AUG. 04, 2016.

**TITLE SEARCHED:** JUL 07, 2016. **TITLE NO:** 142418536

**CERTIFICATION:** I HEREBY CERTIFY THAT THIS REPORT WAS PREPARED AND PERFORMED UNDER MY PERSONAL SUPERVISION AND IN ACCORDANCE WITH THE ALBERTA SURVEYORS' ASSOCIATION'S MANUAL OF STANDARD PRACTICE AND SUPPLEMENTS HERETO, ACCORDINGLY, WITHIN THOSE STANDARDS AND AS OF THE DATE OF THIS REPORT, I AM THE OPINION THAT:

1. THE PLAN ILLUSTRATES THE BOUNDARIES OF THE PROPERTY, THE IMPROVEMENTS AS DEFINED IN PART D, SECTION 8.5 OF THE ALBERTA LAND SURVEYORS' ASSOCIATION'S MANUAL OF STANDARD PRACTICE, AND REGISTERED EASEMENTS AND RIGHTS-OF-WAY AFFECTING THE EXTENT OF THE TITLE TO THE PROPERTY;
2. THE IMPROVEMENTS ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PROPERTY, EXCEPT FOR FENCES, ASPHALT, AND GARAGE BIN ENCROACHING LOT 5, AND FENCES AND RETAINING WALL ENCROACHING LOT R AS SHOWN;
3. NO VISIBLE ENCROACHMENTS EXIST ON THE PROPERTY FROM ANY IMPROVEMENTS SITUATED ON AN ADJOINING PROPERTY;
4. NO VISIBLE ENCROACHMENTS EXIST ON REGISTERED EASEMENTS OR RIGHTS-OF-WAY AFFECTING THE EXTENT OF THE PROPERTY.

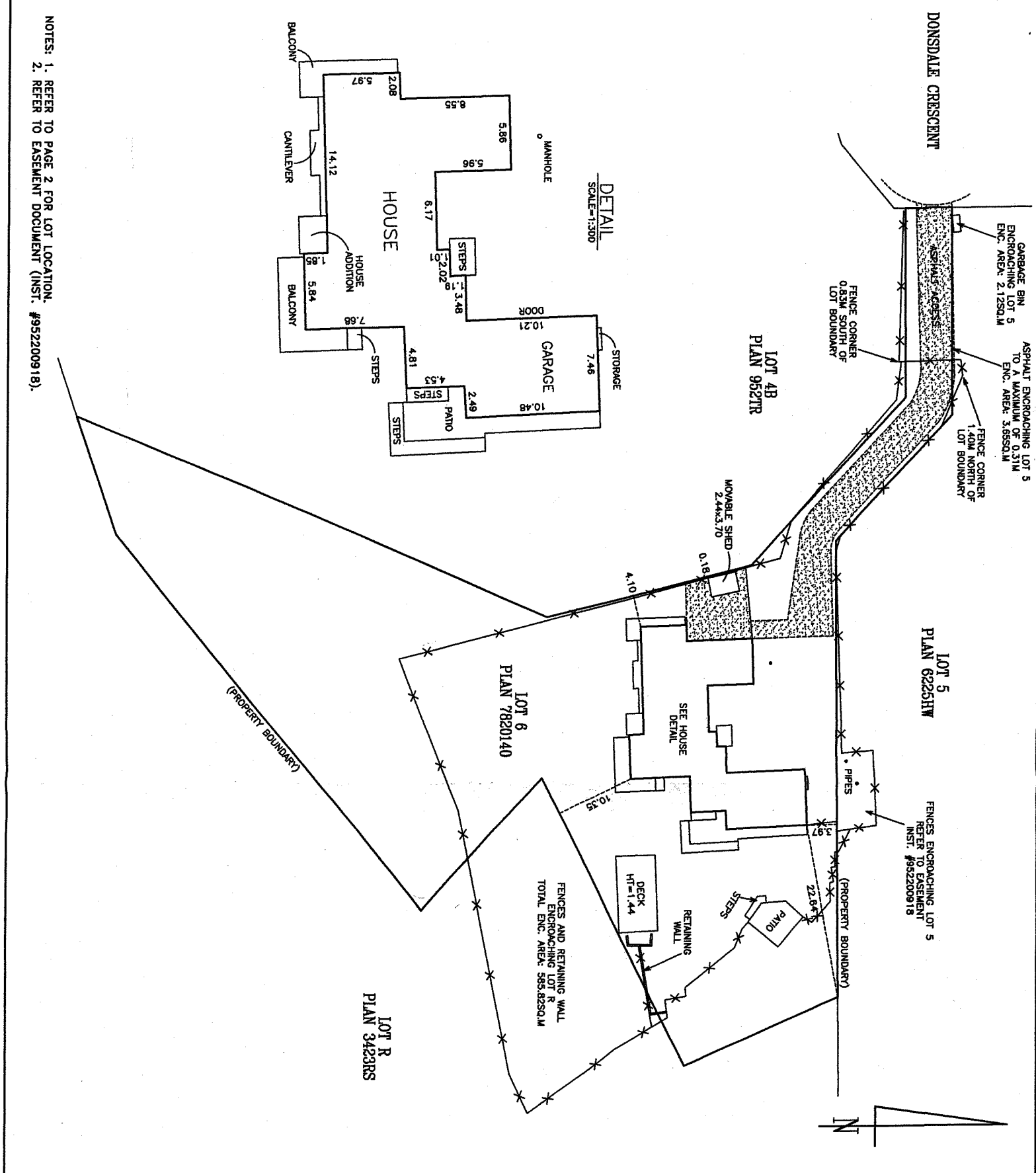
**PURPOSE:** THIS REPORT HAS BEEN PREPARED FOR THE BENEFIT OF THE PROPERTY OWNER, SUBSEQUENT OWNERS AND ANY OF THEIR AGENTS FOR THE PURPOSE OF A SUBMITTAL TO THE MUNICIPALITY FOR A COMPLIANCE CERTIFICATE. COPYING IS PERMITTED ONLY FOR THE BENEFIT OF THESE PARTIES, AND ONLY IF THE REPORT IS REPRODUCED IN FULL. ANY REPRODUCTION OF THIS REPORT FOR ANY OTHER PURPOSE OR IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF DELTA LAND SURVEYORS' ASSOCIATION IS PROHIBITED. PROPERTY CORNER MARKERS HAVE NOT BEEN PLACED DURING THE SURVEY FOR THIS REPORT. THIS REPORT SHOULD NOT BE USED TO ESTABLISH THE BOUNDARIES DUE TO THE RISK OF MISINTERPRETATION OR MEASUREMENT ERROR BY THE USER. THE INFORMATION SHOWN ON THIS REAL PROPERTY REPORT IS BASED ON THE DATA PROVIDED AND THE FIELD PROPERTY REPORT REQUIREMENTS. USERS ARE ENCOURAGED TO HAVE THE REAL PROPERTY REPORT UPDATED FOR FUTURE REQUIREMENTS.

**DATED AT EDMONTON, ALBERTA. AUG. 04, 2016.**

JOHN SING A.L.S.  
ALBERTA LAND SURVEYORS' ASSOCIATION  
e-Perch Research  
Delta Land

**NOTES:**  
1. THIS REPORT IS PREPARED FOR MORTGAGE PURPOSES ONLY, AND NOT FOR THE UNDERTAKING OF ANY OTHER PURPOSE.  
2. ALL IMPROVEMENTS ARE SHOWN IN METERS AND DECIMALS UNLESS OTHERWISE SPECIFIED.  
3. MEASUREMENTS ARE TO THE NEAREST FRACTIONED SURFACE OF EXTERIOR WALL UNLESS OTHERWISE SPECIFIED.  
4. DIMENSIONS ARE SHOWN IN METERS AND DECIMALS UNLESS OTHERWISE SPECIFIED.  
5. DIMENSIONS ARE SHOWN IN METERS AND DECIMALS UNLESS OTHERWISE SPECIFIED.  
6. DIMENSIONS ARE SHOWN IN METERS AND DECIMALS UNLESS OTHERWISE SPECIFIED.  
7. DIMENSIONS ARE SHOWN IN METERS AND DECIMALS UNLESS OTHERWISE SPECIFIED.

**DELTA LAND SURVEYS LTD.**  
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780-431-0516 (TEL) 780-432-1024 (FAX)  
SCALE 1:500 JOB No. G0377HOP PAGE 1 OF 2



**NOTES:**  
1. REFER TO PAGE 2 FOR LOT LOCATION.  
2. REFER TO EASEMENT DOCUMENT (INST. #95220091B).

PLAN 735JY

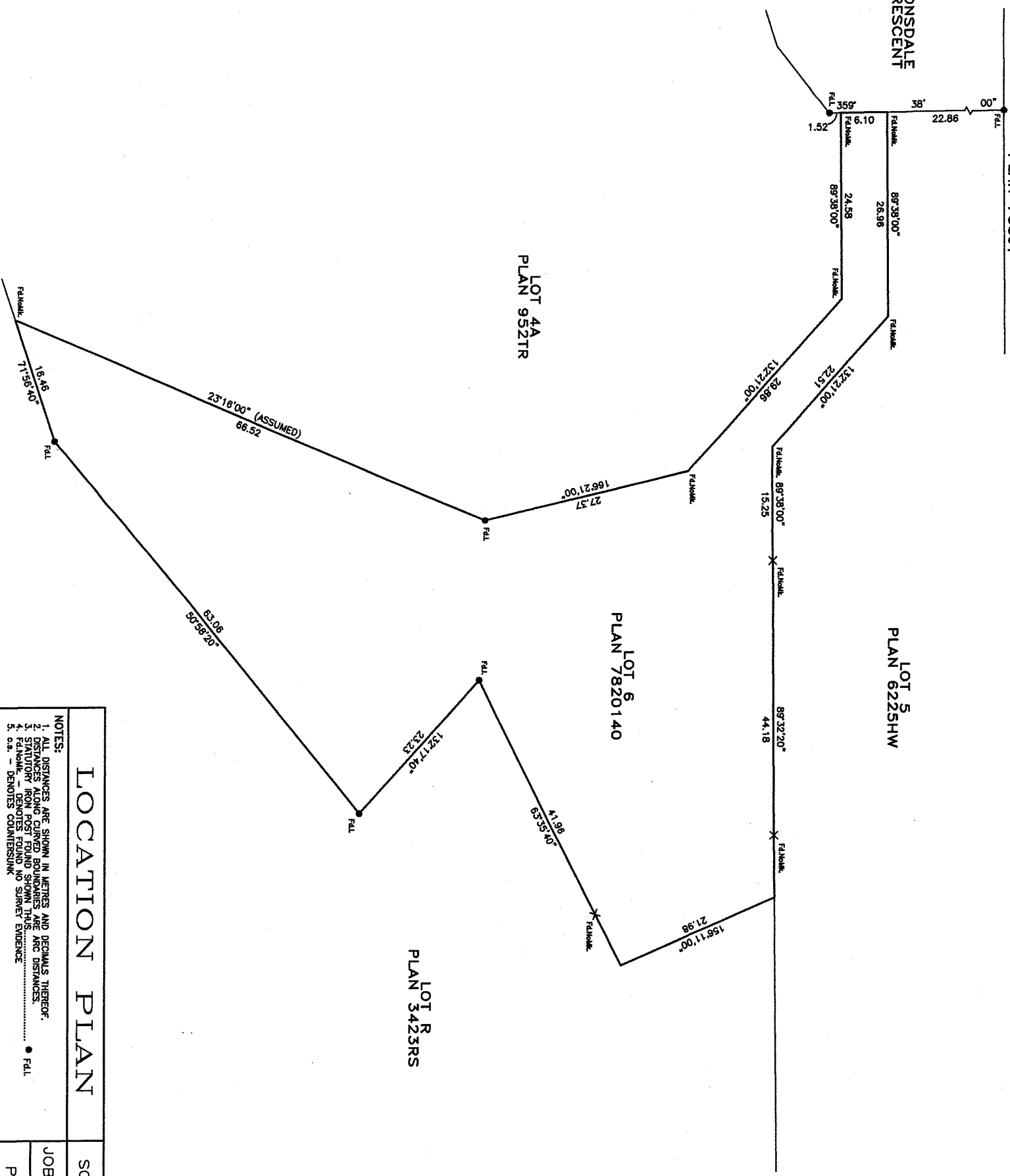
DONSDALE  
CRESCENT

LOT 5  
PLAN 6225HW

LOT 4A  
PLAN 952TR

LOT 6  
PLAN 7820140

LOT R  
PLAN 3425RS



<b>LOCATION PLAN</b>	
SCALE: 1:500	JOB No. G0377HOP
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NOTES:  
 1. ALL DISTANCES ARE SHOWN IN METRES AND DECIMALS THEREOF.  
 2. STATIONING FROM POST FOUND SHOWN IN ARC DISTANCES.  
 3. STATIONING FROM POST FOUND SHOWN IN STRAIGHT LINE DISTANCES.  
 4. FALNMK - DENOTES FOUND NO SURVEY EVIDENCE.  
 5. o.s. - DENOTES COUNTERSUNK