

# Crestwood25B.garage | 14110 - 98 AVENUE

EVERY EFFORT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE PLANS. HOWEVER DESIGN TWO GROUP ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS WHICH MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS, ELEVATIONS AND DETAILS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER AND CORRECTIONS WILL BE MADE TO THE DRAWINGS.

ALL WORK SHALL CONFORM TO THE CURRENT RESIDENTIAL STANDARDS OF THE ALBERTA BUILDING CODE AND SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS. WINDOW SUPPLIER SHALL PROVIDE ACTUAL ROUGH OPENINGS.

ALL FLOOR / WALL / STAIR / ROOF SYSTEMS TO BE DESIGNED/VERIFIED BY AN ENGINEER. GARAGE PILE LAYOUT (IF REQUIRED) TO BE DESIGNED BY A QUALIFIED ENGINEER. ROOF VENTS TO BE PROVIDED TO MEET CODE.

## CONSTRUCTION ASSEMBLIES:

SUBJECT TO INDIVIDUAL BUILDER SPECIFICATIONS

## ROOF CONSTRUCTION

ROOF FINISH AS PER SPECIFICATION  
 7/16" SHEATHING C/W H-CLIPS ON PRE-ENGINEERED ROOF TRUSSES @ 24" O.C.  
 R50 LOOSEFILL INSULATION  
 (R34 FIBERGLASS BATT. INSULATION TO VAULTED AREAS)  
 6MIL VAPOUR BARRIER  
 1/2" GYPSUM BOARD (TAPED & SANDED)  
 PAINT FINISH

**\_ROOF ASSEMBLY TO BE CONFIRMED WITH SUPPLIER / INSPECTOR**  
**\_ROOF DESIGN TO MEET ARCA / 2014 ABC GUIDELINES**

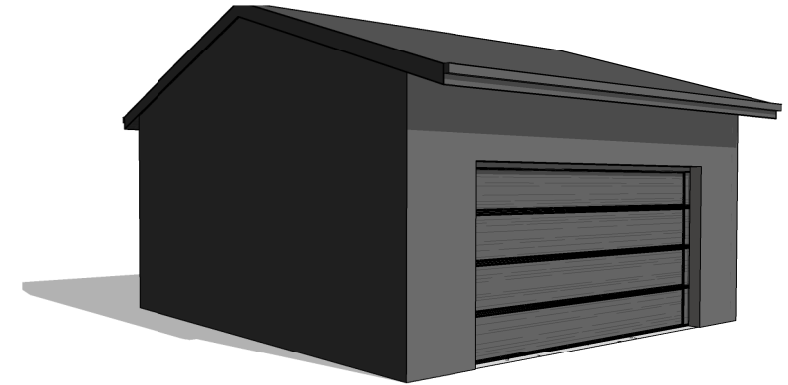
## TYPICAL EXTERIOR WALL CONSTRUCTION

EXTERIOR FINISH (EIFS, STONE, ETC.) REFER TO ELEVATIONS  
 WEATHER / AIR BARRIER (CONFIRM WITH MANUFACTURES GUIDELINES )  
 3/8" SHEATHING  
 2X6 K.D. SPRUCE FRAMING @ 16" O.C.  
 R20 FIBERGLASS BATT. INSULATION  
 6MIL VAPOUR BARRIER  
 1/2" GYPSUM BOARD (TAPED & SANDED)  
 PAINT FINISH

**\_WALL DESIGN TO MEET 2014 ABC GUIDELINES**

## TYPICAL GARAGE SLAB CONSTRUCTION

4" CONCRETE SLAB REINFORCED W/ 10M REBAR @ 24" O.C. BOTH WAYS  
 C/W THICKENED SLAB & 1'0" CURB  
 OVER 6 MIL POLY ON 6" COMPACTED GRANULAR FILL



## CONSTRUCTION NOTES:

1. WORKING DRAWINGS ARE A GRAPHIC REPRESENTATION ONLY. ACTUAL PRODUCTS AND MATERIALS USED MAY VARY FROM DEPICTION ON DRAWINGS.
2. SALES CONTRACT AND SPECIFICATIONS MUST TAKE PRECEDENCE OVER DRAWINGS.
3. ENGINEERS DRAWINGS TO TAKE PRECEDENCE OVER ARCHITECTURAL DRAWINGS.
4. WINDOW SIZES ARE APPROXIMATIONS ONLY AND MAY VARY BETWEEN DIFFERENT WINDOW MANUFACTURERS.
5. GRADE IS ONLY SUGGESTED AND MUST BE ADJUSTED TO SUIT SITE CONDITIONS. ADJUST ALL STEPS TO SUIT GRADE. CONFIRM LOT GRADING ON SITE.
6. FOUNDATION TO GARAGE SLAB HEIGHT DIMENSION IS TO BE VERIFIED BY BUILDER AND SURVEYOR WITH ACTUAL GRADES ON SITE.
7. METAL FLASHING TYPICAL OVER ALL EXTERIOR OPENINGS
8. ROOF VENTS 1/300 SF ATTIC SPACE.
9. WINDOW WELLS AS REQUIRED.
10. CONFIRM HEEL HEIGHTS WITH TRUSS MANUFACTURER.
11. WALLS OVER 12'-0" IN HEIGHT TO BE 2X6" @ 12" O.C. C/W BLOCKING AT 1/3 SPANS. TRIPLE STUDS ON OPENINGS WITH 4'-0" IN WIDTH.
12. ALL COMMON DWELLING/GARAGE WALLS, CEILINGS AND FLOORS TO BE MINIMUM ONE HOUR FIRE RATED AND GAS PROOFED.
13. ENGINEERED LUMBER FLOOR SYSTEMS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS.
14. CONCRETE GRADE BEAMS, PILES & FROST WALLS AS PER STAND DATA.
15. WEEPING TILE TO BE INSTALLED AROUND ENTIRE PERIMETER OF STRIP FOOTINGS AND TIED TO DRAINAGE SYSTEM ACCORDING TO LOCAL BYLAWS.
16. ALL FOOTING TO REST ON UNDISTURBED SOIL.

## DRAWING LIST.

A0	COVER
A1.1	GARAGE ELEVATIONS & SECTION
A2.1	GARAGE PLANS

## SITE SUMMARY.

LEGAL ADDRESS	_LOT 25B BLOCK 6 PLAN
MUNICIPAL ADDRESS	_14110 - 98 AVENUE
ZONING	_RF1 - MNO

BUILDING HEIGHT MAX	_4.3M
SITE AREA	<b>_4546 SF</b>
SITE COVERAGE MAX.	_12% (545.49 SF)
SITE COVERAGE PRO.	_11.6% (529.00 SF)

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE, AND ANY OTHER GOVERNING AUTHORITIES. DIMENSIONS AT EXTERIOR WALL ARE TAKEN FROM FACE OF FRAMING OR FOUNDATION, DIMENSIONS AT INTERIOR WALLS ARE TAKEN FROM FACE OF FRAMING. DESIGN TWO GROUP SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME FOR ALL GOVERNING CODES AND BUILDING PRACTICES. THESE DRAWINGS CONFORM TO GENERALLY BUILDING PRACTICES HOWEVER PROVINCIAL AND LOCAL CODES VARY WIDELY. CONTRACTOR TO VERIFY ALL MECHANICAL AND ELECTRICAL REQUIREMENTS AND CLEARANCES. CONTRACTOR SHALL VERIFY ALL FLOOR AND ROOF BEARING LOCATIONS. CONTRACTOR SHALL VERIFY ALL BEAM AND HEAD SIZES FOR CODE COMPLIANCE.



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 DO NOT SCALE THIS DRAWING. VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE DESIGNERS IMMEDIATELY. THESE DRAWINGS AND DESIGN ARE THE EXCLUSIVE PROPERTY OF THE DESIGNERS AND MAY NOT BE REPRODUCED IN ANY WAY OR FORM WITHOUT THE DIRECT WRITTEN PERMISSION OF THE DESIGNER. IN WHICH CASE THE REPRODUCTION MUST BEAR THE NAME OF DESIGN TWO GROUP.  
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## Crestwood25B.garage

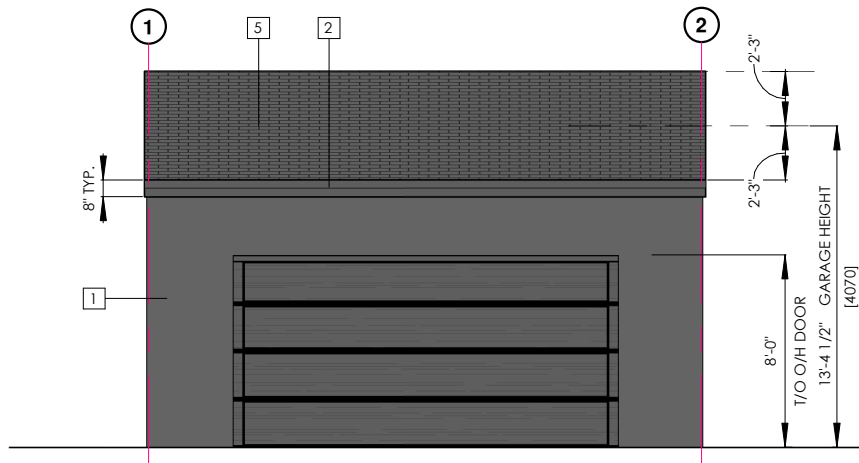
14110 - 98 AVENUE NW - LOT 25B BLOCK 6 PLAN UNREG

COVER

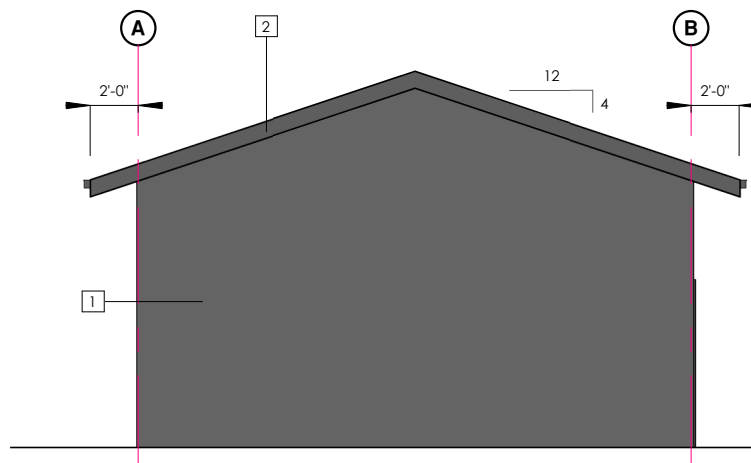
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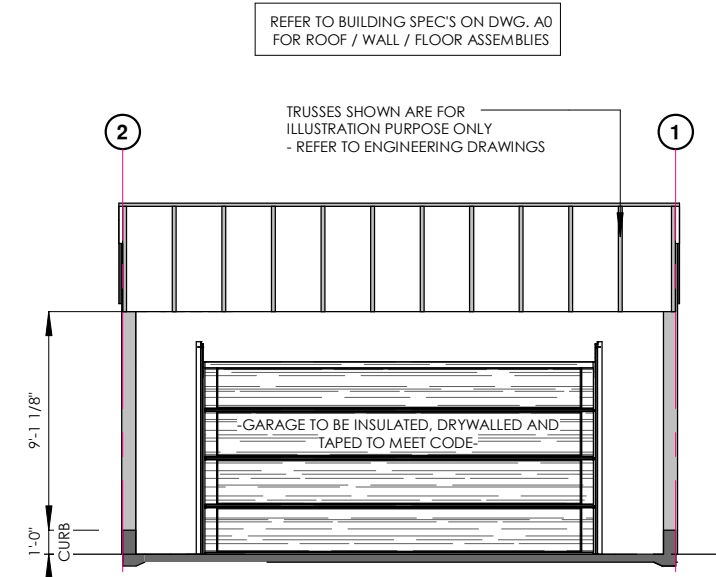
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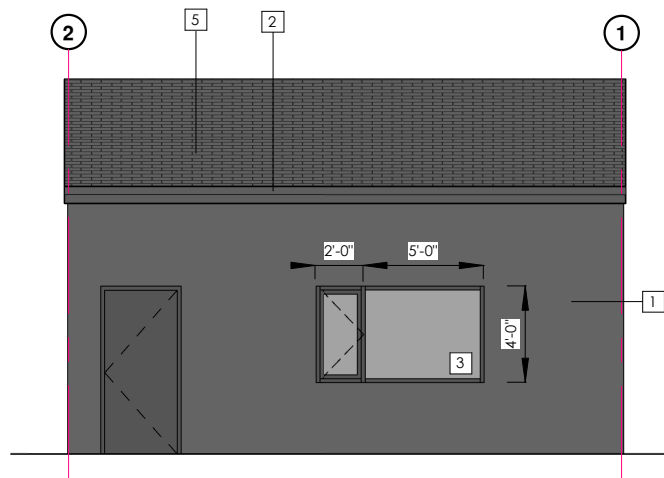
**1 FRONT ELEVATION**  
1/8" = 1'-0"



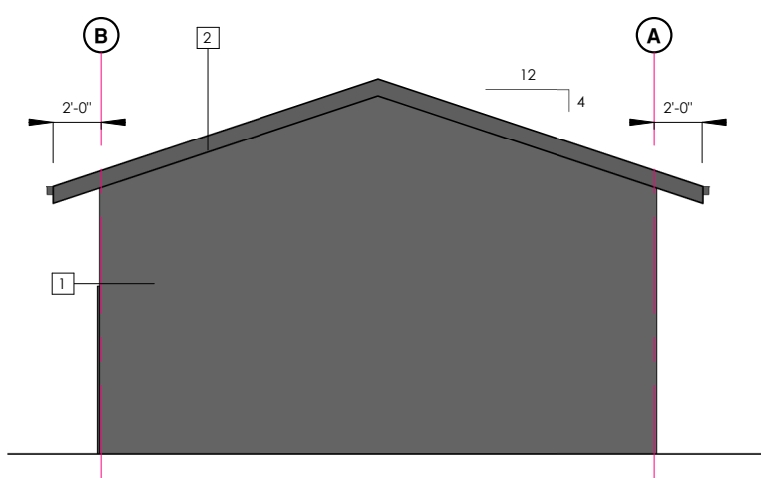
**3 RIGHT ELEVATION**  
1/8" = 1'-0"



**5 GARAGE SECTION**  
1/8" = 1'-0"



**2 REAR ELEVATION**  
1/8" = 1'-0"



**4 LEFT ELEVATION**  
1/8" = 1'-0"

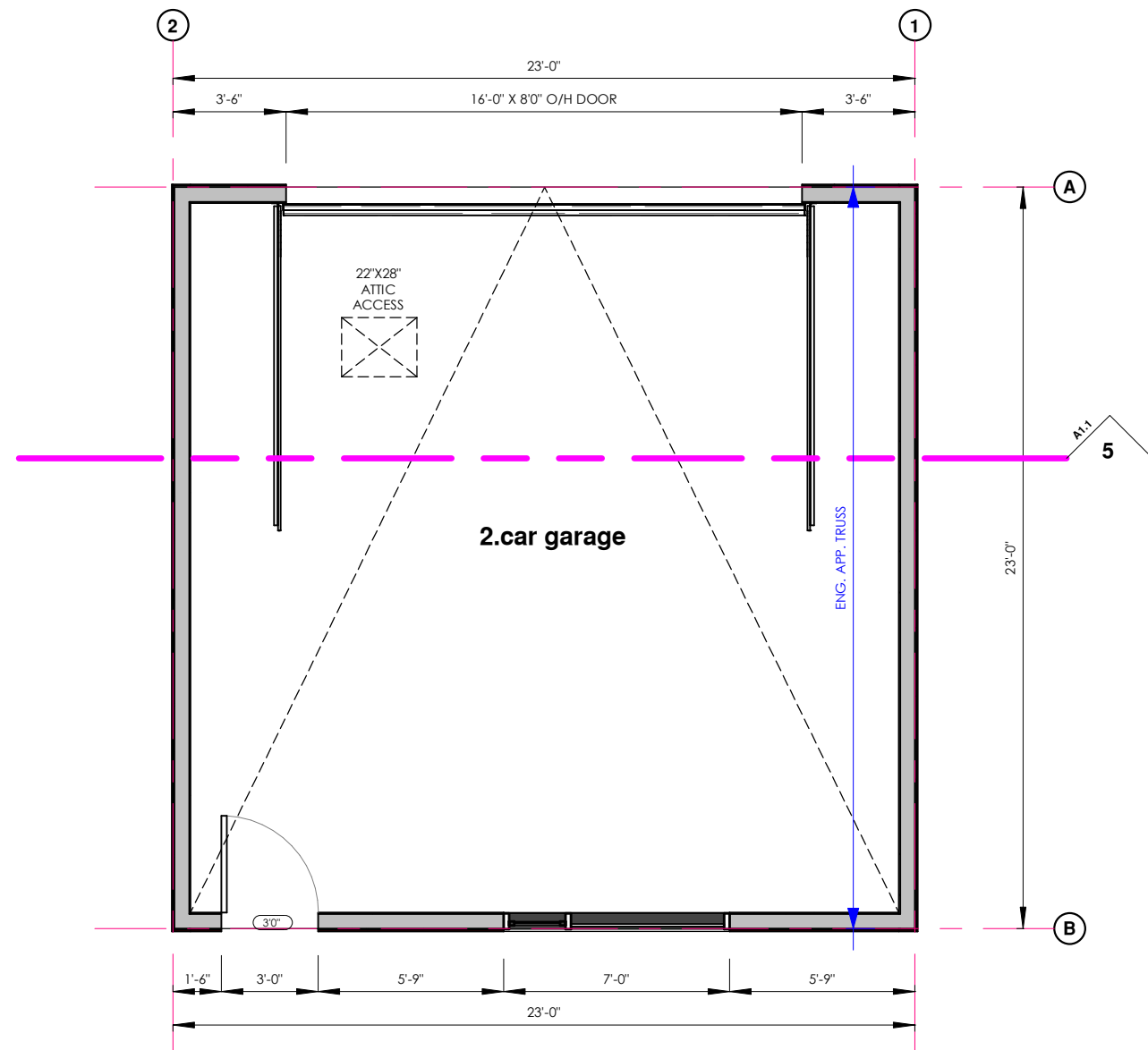
**MATERIAL LEGEND.**

- 1. STUCCO SYSTEM
- 2. METAL / FASCIA CLADDING SYSTEM
- 3. HYBRID WINDOW/DOOR SYSTEM
- 4. SACK & RUB CONCRETE
- 5. ASPHALT SHINGLES

**NOTE:**

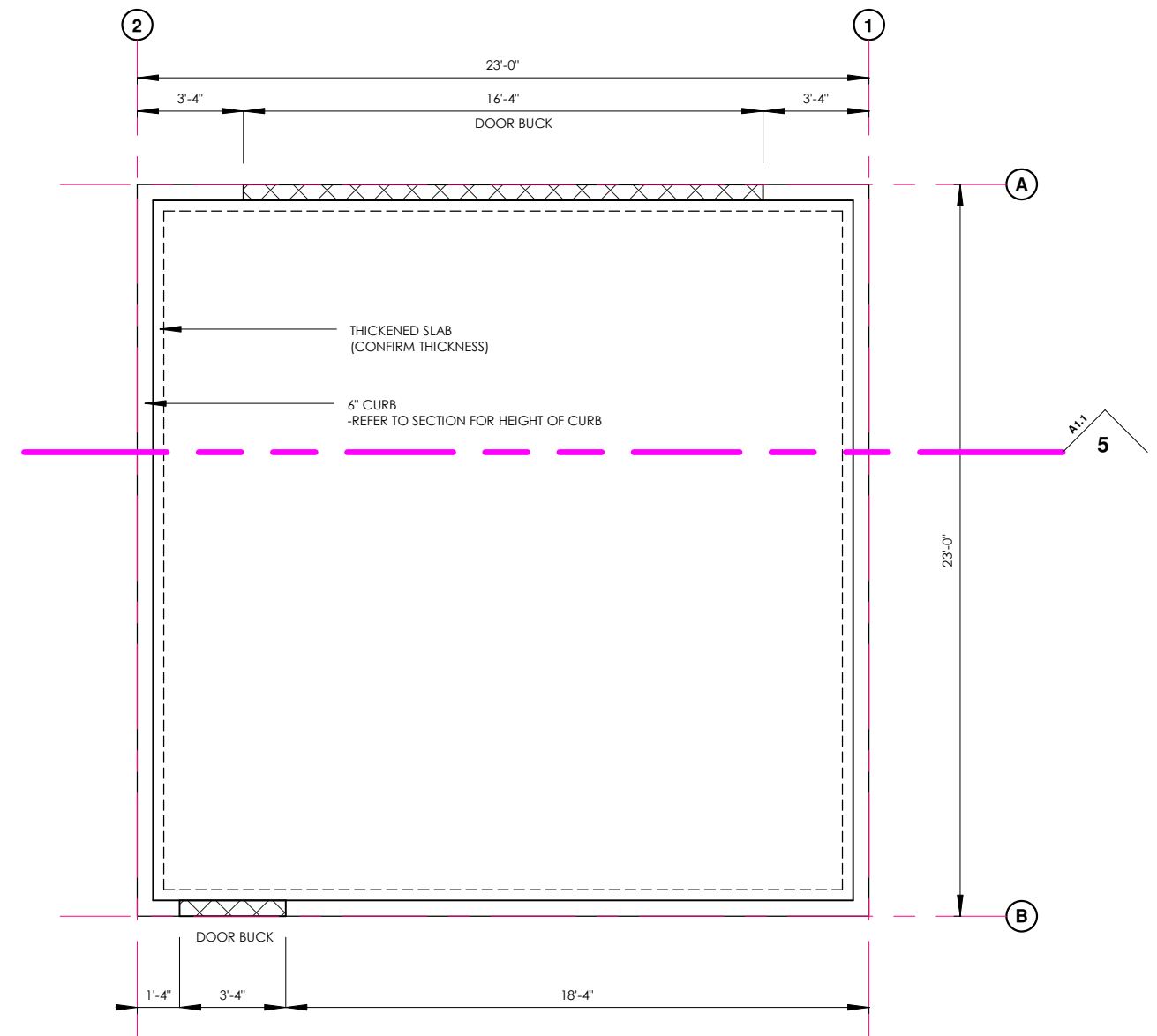
- \_ TYPICAL DOWNSPOUTS NOT SHOWN ON ELEVATIONS FOR BUILDING ELEVATION CLARITY.
- \_ COLORS SHOWN DO NOT REFLECT THE ACTUAL MATERIAL COLOR.
- \_ ALL PRODUCTS & MATERIALS TO BE INSTALLED AS PER MANUFACTURES GUIDELINES & INSTRUCTIONS.

ANY SOFFITS PROJECTING INTO 1.2M SIDE YARD SHALL HAVE NO OPENING, AND SHALL BE PROTECTED W/ MATERIAL CONFORMING TO CAN/CGSB-93.2-M AS PER 3.2.3.6 (2014 ABC).  
\_ VENTING TO BE MADE-UP IN OTHER LOCATIONS



**1 MAIN FLOOR PLAN (GARAGE)**

3/16" = 1'-0"



**2 FOUNDATION PLAN (GARAGE)**

3/16" = 1'-0"