

Crestwood25B.house | 14110 - 98 AVENUE NW

EVERY EFFORT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE PLANS. HOWEVER DESIGN TWO GROUP ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS WHICH MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS, ELEVATIONS AND DETAILS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER AND CORRECTIONS WILL BE MADE TO THE DRAWINGS.

ALL WORK SHALL CONFORM TO THE CURRENT RESIDENTIAL STANDARDS OF THE ALBERTA BUILDING CODE AND SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS. WINDOW SUPPLIER SHALL PROVIDE ACTUAL ROUGH OPENINGS.

ALL FLOOR / WALL / STAIR / ROOF SYSTEMS TO BE DESIGNED/VERIFIED BY AN ENGINEER. GARAGE PILE LAYOUT (IF REQUIRED) TO BE DESIGNED BY A QUALIFIED ENGINEER. ROOF VENTS TO BE PROVIDED TO MEET CODE.

CONSTRUCTION NOTES:

- WORKING DRAWINGS ARE A GRAPHIC REPRESENTATION ONLY. ACTUAL PRODUCTS AND MATERIALS USED MAY VARY FROM DEPICTION ON DRAWINGS.
- SALES CONTRACT AND SPECIFICATIONS MUST TAKE PRECEDENCE OVER DRAWINGS.
- ENGINEERS DRAWINGS TO TAKE PRECEDENCE OVER ARCHITECTURAL DRAWINGS.
- WINDOW SIZES ARE APPROXIMATIONS ONLY AND MAY VARY BETWEEN DIFFERENT WINDOW MANUFACTURERS.
- GRADE IS ONLY SUGGESTED AND MUST BE ADJUSTED TO SUIT SITE CONDITIONS. ADJUST ALL STEPS TO SUIT GRADE. CONFIRM LOT GRADING ON SITE.
- FOUNDATION TO GARAGE SLAB HEIGHT DIMENSION IS TO BE VERIFIED BY BUILDER AND SURVEYOR WITH ACTUAL GRADES ON SITE.
- METAL FLASHING TYPICAL OVER ALL EXTERIOR OPENINGS
- ROOF VENTS 1/300 SF ATTIC SPACE.
- WINDOW WELLS AS REQUIRED.
- CONFIRM HEEL HEIGHTS WITH TRUSS MANUFACTURER.
- WALLS OVER 12'-0" IN HEIGHT TO BE 2X6" @ 12" O.C. C/W BLOCKING AT 1/3 SPANS. TRIPLE STUDS ON OPENINGS WITH 4'-0" IN WIDTH.
- ALL COMMON DWELLING/GARAGE WALLS, CEILINGS AND FLOORS TO BE MINIMUM ONE HOUR FIRE RATED AND GAS PROOFED.
- ENGINEERED LUMBER FLOOR SYSTEMS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS.
- CONCRETE GRADE BEAMS, PILES & FROST WALLS AS PER STAND DATA.
- WEEPING TILE TO BE INSTALLED AROUND ENTIRE PERIMETER OF STRIP FOOTINGS AND TIED TO DRAINAGE SYSTEM ACCORDING TO LOCAL BYLAWS.
- ALL FOOTING TO REST ON UNDISTURBED SOIL.

FOUNDATION NOTES:

- CONFIRM ALL COLUMN LOCATION WITH ENGINEERING DRAWINGS
- DESIGNER TO BE NOTIFIED IF COLUMNS, BEAMS, BEARING WALLS REQUIRE ADJUSTMENT TO MATCH ENGINEERS DESIGN.
- ENGINEERS DRAWINGS TO TAKE PRECEDENCE OVER ARCHITECTURAL DRAWINGS.
- GRADE IS ONLY SUGGESTED AND MUST BE ADJUSTED TO SUITE INDIVIDUAL SITE CONDITIONS. ALL STEPS TO BE ADJUSTED TO SUITE GRADE.
- ENGINEER LUMBER OR STEEL FLOOR SYSTEM TO BE INSTALLED TO MANUFACTURES SPECIFICATIONS.
- FOUNDATION WALL AND FOOTING DESIGN IS BASED ON STANDARD SOIL CONDITIONS.
- ANY VARIANCE IN THE SOIL WILL REQUIRE ENGINEERED FOUNDATIONS.
- ALL FOUNDATIONS TO BE DESIGNED AS PER ENGINEERS SOILS REPORT.
- ANY ENGINEERING IS THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR.
- STEPS IN FOOTINGS / FOUNDATION TO BE CALCULATED AS PER PLOT PLAN AND IN ACCORDANCE WITH THE BUILDING CODE.
- ALL FOOTINGS TO REST ON UNDISTURBED SOIL.
- CONCRETE GRADE BEAMS, PILES, FROST WALLS TO BE AS PER STAND DATA, UNLESS NOTED OTHERWISE BY ENGINEER.

CONSTRUCTION ASSEMBLIES:

ROOF CONSTRUCTION (FLAT) - 2 PLY SBS BUILT UP ROOF SYSTEM
REFER TO DRAWING A0.1

_ROOF ASSEMBLY TO BE CONFIRMED WITH SUPPLIER / INSPECTOR
_ROOF DESIGN TO MEET BUILDING CODE GUIDELINES

TYPICAL EXTERIOR WALL CONSTRUCTION
EXTERIOR FINISH (EIFS, STONE, ETC.) REFER TO ELEVATIONS
WEATHER / AIR BARRIER (CONFIRM WITH MANUFACTURES GUIDELINES)
3/8" SHEATHING
2X6 K.D. SPRUCE FRAMING (REFER TO DWG A0.1 FOR STUD SPACING)
FIBERGLASS BATT. INSULATION (REFER TO DWG A0.1 FOR R-VALUE)
6MIL VAPOUR BARRIER
1/2" GYPSUM BOARD (TAPED & SANDED)
PAINT FINISH
_WALL DESIGN TO MEET 2014 ABC GUIDELINES

TYPICAL FLOOR CONSTRUCTION
FLOOR FINISH (REFER TO FINISH PLAN & SCHEDULE, IF APPLICABLE)
7/8" T.G. FIR PLYWOOD SUBFLOOR
FLOOR JOISTS AS SPECIFIED ON ENGINEERING PLANS

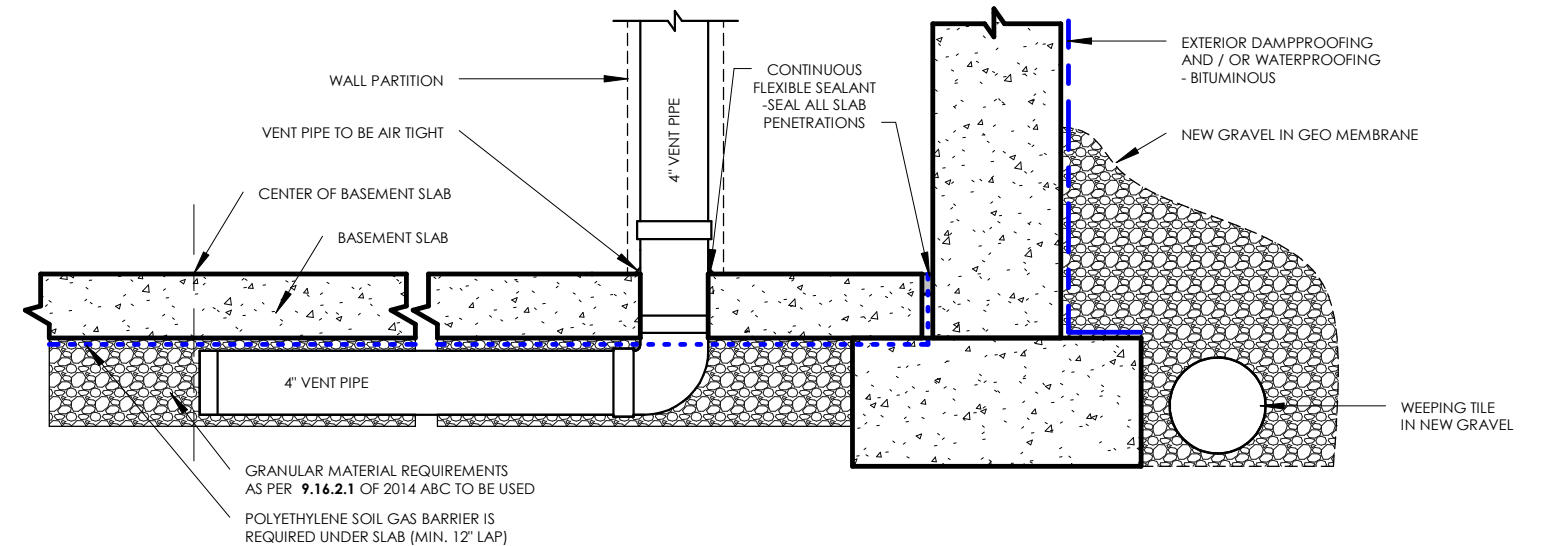
TYPICAL FOUNDATION CONSTRUCTION
PARGING (ABOVE GRADE)
DAMP-PROOFING (BELOW GRADE)
8" CONCRETE FOUNDATION WALL W/ 2-10M REBAR @ TOP, MIDDLE & BOTTOM ON 18"X8" CONCRETE STRIP FOOTING R/W 2-15M REBAR
4" DIA. WEEPING TILE TO PERIMETER
DAMP-PROOFING TO INTERIOR
WOOD STRAPPING (REFER TO DWG A0.1 FOR STUD / SIZE SPACING)
BATT INSULATION (REFER TO DWG A0.1 FOR R-VALUE)
6 MIL VAPOUR BARRIER
1/2" GYPSUM BOARD (TAPED & SANDED)
PAINT FINISH

TYPICAL BASEMENT SLAB CONSTRUCTION

4" CONCRETE SLAB OVER
6 MIL VAPOUR BARRIER ON
6" COMPACTED GRANULAR FILL

TYPICAL INTERIOR WALL CONSTRUCTION

PAINT FINISH (BOTH SIDES AS PER SPECIFICATIONS) -1/2" GYPSUM BOARD (TAPED & SANDED) B/S SPRUCE FRAMING @ 16" O.C. (SIZE OF STUDS AS PER PLAN)



1 SOIL GAS CONTROL & RADON DEPRESSURIZATION DETAIL

1" = 1'-0"

A0	COVER
A0.1	CONSTRUCTION ASSEMBLIES & DETAILS
A0.2	CONSTRUCTION DETAILS
A0.3	WALL SECTION & WINDOW INSTALLATION
A1.1	HOUSE ELEVATIONS
A1.2	HOUSE ELEVATIONS
A2.1	BASEMENT FLOOR PLAN
A2.2	MAIN FLOOR PLAN
A2.3	SECOND FLOOR PLAN
A2.4	ROOF PLAN
A3.1	HOUSE SECTION

FLOOR AREA SUMMARY:

MAIN FLOOR	_1222 SQ.FT.
SECOND FLOOR	_1238 SQ.FT.
TOTAL	_2460 SQ.FT.

WALL HEIGHT SUMMARY:

FOUNDATION WALL	_9'0"
MAIN FLOOR WALL	_10'1 1/8"
SECOND FLOOR WALL	_9'1 1/8"

SITE / FOUNDATION NOTES:

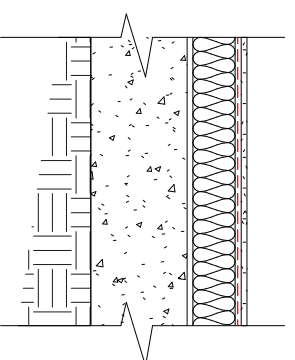
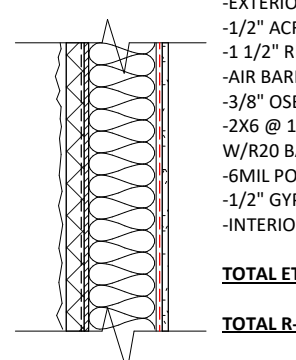
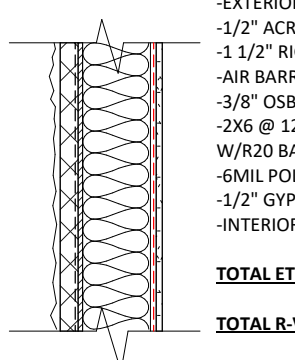
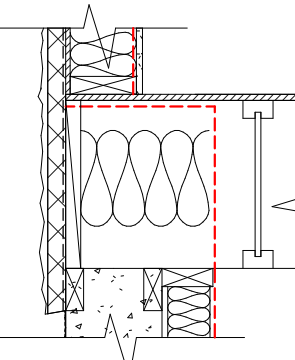
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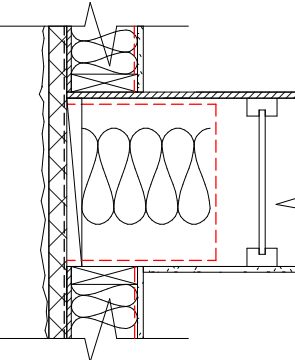
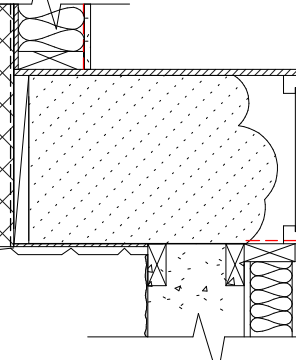
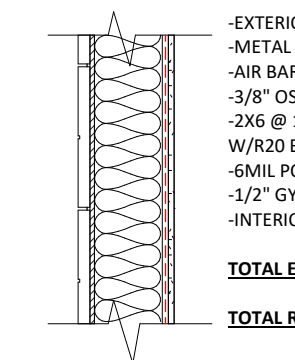
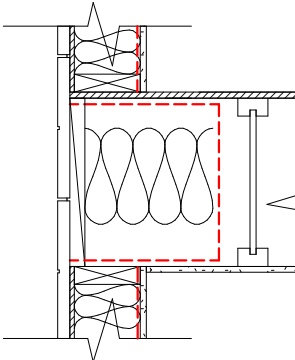
GENERAL NOTE:

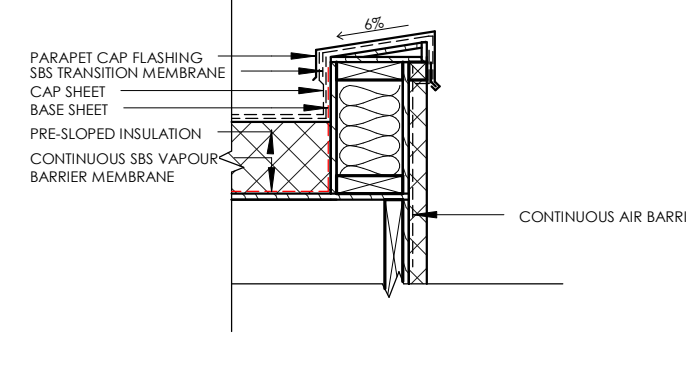
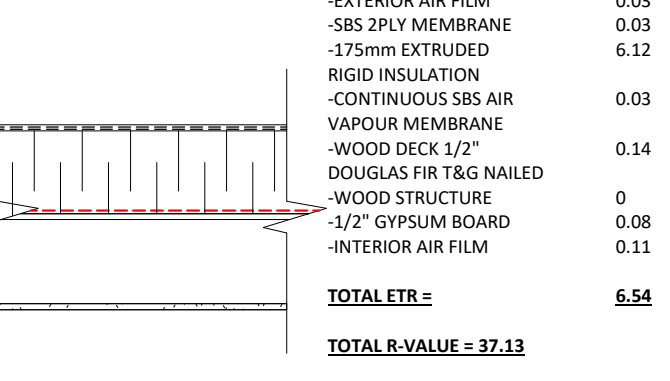
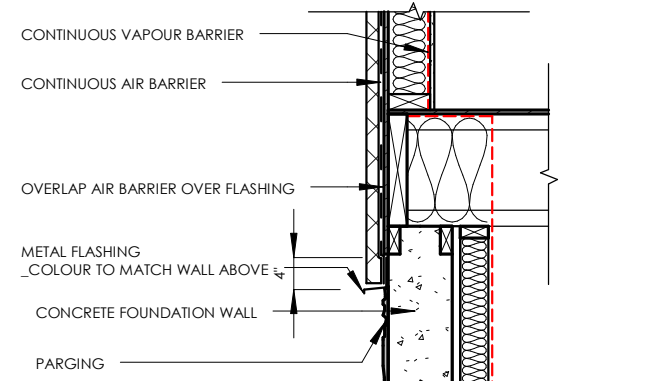
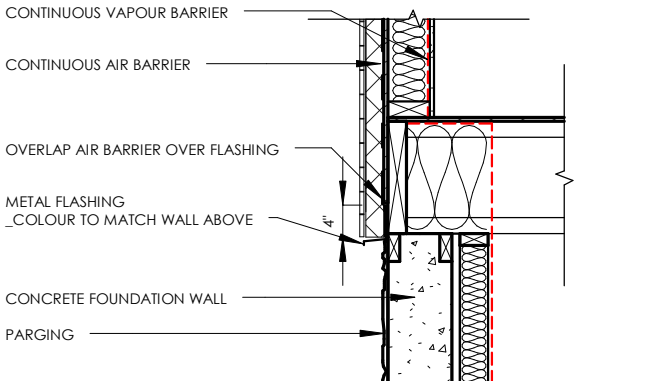
- SEE BUILDING ELEVATIONS FOR WINDOW SIZES.
- ALL DOORS TO BE INSTALLED 4" OF ADJACENT WALL, TYPICAL U.N.O.
- ALL CLOSET DOORS TO BE CENTERED ON CLOSETS U.N.O.
- ALL CLOSETS TO BE WARDROBE STYLE (OWNER CONFIRM STYLE & FINISH)
- ALL BATHROOMS AND LAUNDRY RM WALLS TO BE INSULATED W/ ROXUL SAFE'n'SOUND®
- ALL DOORS AT MAIN & SECOND FLOOR TO BE 8'0" HIGH U.N.O.
- ALL DOORS AT BASEMENT FLOOR TO BE 7'0" HIGH U.N.O.

SITE SUMMARY

LEGAL ADDRESS	_14110 - 98 AVENUE NW
MUNICIPAL ADDRESS	_LOT 25B BLOCK 6 PLAN UNREG
ZONING	_R1 /MNO
BUILDING HEIGHT MAX	_8.9M
SITE AREA	4546 SF
SITE COVERAGE MAX.	_28.0% (1272.88 SF)
SITE COVERAGE PRO.	_26.5% (1238.28 SF)

<p>ETR ≥ 2.98 W/HRV ETR ≥ 3.46 W/NO HRV</p> <p>*DOES NOT MEET PRESCRIBED ETR*</p>  <table border="1"> <thead> <tr> <th></th> <th>RSI VALUE</th> </tr> </thead> <tbody> <tr><td>-EARTH</td><td>0</td></tr> <tr><td>-8" CONCRETE</td><td>0.08</td></tr> <tr><td>-1/2" AIR SPACE</td><td>0.16</td></tr> <tr><td>-2X4 @ 16" O.C. W/R12 BATT INSUL.</td><td>1.49</td></tr> <tr><td>-6 MIL POLY</td><td>0</td></tr> <tr><td>-1/2" GYPSUM BOARD</td><td>0.08</td></tr> <tr><td>-INTERIOR AIR FILM</td><td>0.12</td></tr> <tr><td>TOTAL ETR =</td><td>1.93</td></tr> <tr><td>TOTAL R-VALUE =</td><td>10.96</td></tr> </tbody> </table>		RSI VALUE	-EARTH	0	-8" CONCRETE	0.08	-1/2" AIR SPACE	0.16	-2X4 @ 16" O.C. W/R12 BATT INSUL.	1.49	-6 MIL POLY	0	-1/2" GYPSUM BOARD	0.08	-INTERIOR AIR FILM	0.12	TOTAL ETR =	1.93	TOTAL R-VALUE =	10.96	<p>ETR ≥ 2.97 W/HRV ETR ≥ 3.08 W/NO HRV</p>  <table border="1"> <thead> <tr> <th></th> <th>RSI VALUE</th> </tr> </thead> <tbody> <tr><td>-EXTERIOR AIR FILM</td><td>0.03</td></tr> <tr><td>-1/2" ACRYLIC STUCCO</td><td>0.011</td></tr> <tr><td>-1 1/2" RIGID INSUL.</td><td>1.33</td></tr> <tr><td>-AIR BARRIER</td><td>0</td></tr> <tr><td>-3/8" OSB</td><td>0.093</td></tr> <tr><td>-2X6 @ 16" O.C. W/R20 BATT INSUL.</td><td>2.36</td></tr> <tr><td>-6MIL POLY</td><td>0</td></tr> <tr><td>-1/2" GYPSUM BOARD</td><td>0.08</td></tr> <tr><td>-INTERIOR AIR FILM</td><td>0.12</td></tr> <tr><td>TOTAL ETR =</td><td>4.02</td></tr> <tr><td>TOTAL R-VALUE =</td><td>22.85</td></tr> </tbody> </table>		RSI VALUE	-EXTERIOR AIR FILM	0.03	-1/2" ACRYLIC STUCCO	0.011	-1 1/2" RIGID INSUL.	1.33	-AIR BARRIER	0	-3/8" OSB	0.093	-2X6 @ 16" O.C. W/R20 BATT INSUL.	2.36	-6MIL POLY	0	-1/2" GYPSUM BOARD	0.08	-INTERIOR AIR FILM	0.12	TOTAL ETR =	4.02	TOTAL R-VALUE =	22.85	<p>ETR ≥ 2.97 W/HRV ETR ≥ 3.08 W/NO HRV</p>  <table border="1"> <thead> <tr> <th></th> <th>RSI VALUE</th> </tr> </thead> <tbody> <tr><td>-EXTERIOR AIR FILM</td><td>0.03</td></tr> <tr><td>-1/2" ACRYLIC STUCCO</td><td>0.011</td></tr> <tr><td>-1 1/2" RIGID INSUL.</td><td>1.33</td></tr> <tr><td>-AIR BARRIER</td><td>0</td></tr> <tr><td>-3/8" OSB</td><td>0.093</td></tr> <tr><td>-2X6 @ 12" O.C. W/R20 BATT INSUL.</td><td>2.38</td></tr> <tr><td>-6MIL POLY</td><td>0</td></tr> <tr><td>-1/2" GYPSUM BOARD</td><td>0.08</td></tr> <tr><td>-INTERIOR AIR FILM</td><td>0.12</td></tr> <tr><td>TOTAL ETR =</td><td>4.04</td></tr> <tr><td>TOTAL R-VALUE =</td><td>22.96</td></tr> </tbody> </table>		RSI VALUE	-EXTERIOR AIR FILM	0.03	-1/2" ACRYLIC STUCCO	0.011	-1 1/2" RIGID INSUL.	1.33	-AIR BARRIER	0	-3/8" OSB	0.093	-2X6 @ 12" O.C. W/R20 BATT INSUL.	2.38	-6MIL POLY	0	-1/2" GYPSUM BOARD	0.08	-INTERIOR AIR FILM	0.12	TOTAL ETR =	4.04	TOTAL R-VALUE =	22.96	<p>ETR ≥ 2.97 W/HRV ETR ≥ 3.08 W/NO HRV</p>  <table border="1"> <thead> <tr> <th></th> <th>RSI VALUE</th> </tr> </thead> <tbody> <tr><td>-EXTERIOR AIR FILM</td><td>0.03</td></tr> <tr><td>-1/2" ACRYLIC STUCCO</td><td>0.011</td></tr> <tr><td>-AIR BARRIER</td><td>0</td></tr> <tr><td>-1 1/4" RIM JOIST</td><td>1.33</td></tr> <tr><td>-R20 BATT INSUL.</td><td>0.27</td></tr> <tr><td>-6MIL POLY</td><td>3.52</td></tr> <tr><td>-INTERIOR AIR FILM</td><td>0</td></tr> <tr><td>TOTAL ETR =</td><td>5.27</td></tr> <tr><td>TOTAL R-VALUE =</td><td>29.92</td></tr> </tbody> </table>		RSI VALUE	-EXTERIOR AIR FILM	0.03	-1/2" ACRYLIC STUCCO	0.011	-AIR BARRIER	0	-1 1/4" RIM JOIST	1.33	-R20 BATT INSUL.	0.27	-6MIL POLY	3.52	-INTERIOR AIR FILM	0	TOTAL ETR =	5.27	TOTAL R-VALUE =	29.92
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<p>FOUNDATION WALL SYSTEM</p> <p>ETR ≥ 2.97 W/HRV ETR ≥ 3.08 W/NO HRV</p>  <table border="1"> <thead> <tr> <th></th> <th>RSI VALUE</th> </tr> </thead> <tbody> <tr><td>-EXTERIOR AIR FILM</td><td>0.03</td></tr> <tr><td>-1/2" ACRYLIC STUCCO</td><td>0.011</td></tr> <tr><td>-1 1/2" RIGID INS.</td><td>1.33</td></tr> <tr><td>-AIR BARRIER</td><td>0</td></tr> <tr><td>-1 1/4" RIM JOIST</td><td>0.27</td></tr> <tr><td>-R20 BATT INSUL.</td><td>3.52</td></tr> <tr><td>-6MIL POLY</td><td>0</td></tr> <tr><td>-INTERIOR AIR FILM</td><td>0.12</td></tr> <tr><td>TOTAL ETR =</td><td>5.28</td></tr> <tr><td>TOTAL R-VALUE =</td><td>29.99</td></tr> </tbody> </table>		RSI VALUE	-EXTERIOR AIR FILM	0.03	-1/2" ACRYLIC STUCCO	0.011	-1 1/2" RIGID INS.	1.33	-AIR BARRIER	0	-1 1/4" RIM JOIST	0.27	-R20 BATT INSUL.	3.52	-6MIL POLY	0	-INTERIOR AIR FILM	0.12	TOTAL ETR =	5.28	TOTAL R-VALUE =	29.99	<p>EIFS WALL SYSTEM</p> <p>ETR ≥ 5.02</p>  <table border="1"> <thead> <tr> <th></th> <th>RSI VALUE</th> </tr> </thead> <tbody> <tr><td>-EXTERIOR AIR FILM</td><td>0.03</td></tr> <tr><td>-1/2" ACRYLIC STUCCO</td><td>0.011</td></tr> <tr><td>-1 1/2" RIGID INS.</td><td>1.33</td></tr> <tr><td>-AIR BARRIER</td><td>0</td></tr> <tr><td>-1 1/4" RIM JOIST</td><td>0.27</td></tr> <tr><td>-R28 2lb CLOSED CELL SPRAY FOAM</td><td>4.93</td></tr> <tr><td>-6MIL POLY</td><td>0</td></tr> <tr><td>-INTERIOR AIR FILM</td><td>0.12</td></tr> <tr><td>TOTAL ETR =</td><td>6.69</td></tr> <tr><td>TOTAL R-VALUE =</td><td>37.99</td></tr> </tbody> </table>		RSI VALUE	-EXTERIOR AIR FILM	0.03	-1/2" ACRYLIC STUCCO	0.011	-1 1/2" RIGID INS.	1.33	-AIR BARRIER	0	-1 1/4" RIM JOIST	0.27	-R28 2lb CLOSED CELL SPRAY FOAM	4.93	-6MIL POLY	0	-INTERIOR AIR FILM	0.12	TOTAL ETR =	6.69	TOTAL R-VALUE =	37.99	<p>EIFS TALL WALL SYSTEM</p> <p>ETR ≥ 2.97 W/HRV ETR ≥ 3.08 W/NO HRV</p> <p>*DOES NOT MEET PRESCRIBED ETR*</p>  <table border="1"> <thead> <tr> <th></th> <th>RSI VALUE</th> </tr> </thead> <tbody> <tr><td>-EXTERIOR AIR FILM</td><td>0.03</td></tr> <tr><td>-METAL PANEL</td><td>0.11</td></tr> <tr><td>-AIR BARRIER</td><td>0</td></tr> <tr><td>-3/8" OSB</td><td>0.10</td></tr> <tr><td>-2X6 @ 16" O.C. W/R20 BATT INSUL.</td><td>2.36</td></tr> <tr><td>-6MIL POLY</td><td>0</td></tr> <tr><td>-1/2" GYPSUM BOARD</td><td>0.08</td></tr> <tr><td>-INTERIOR AIR FILM</td><td>0.12</td></tr> <tr><td>TOTAL ETR =</td><td>2.80</td></tr> <tr><td>TOTAL R-VALUE =</td><td>15.90</td></tr> </tbody> </table>		RSI VALUE	-EXTERIOR AIR FILM	0.03	-METAL PANEL	0.11	-AIR BARRIER	0	-3/8" OSB	0.10	-2X6 @ 16" O.C. W/R20 BATT INSUL.	2.36	-6MIL POLY	0	-1/2" GYPSUM BOARD	0.08	-INTERIOR AIR FILM	0.12	TOTAL ETR =	2.80	TOTAL R-VALUE =	15.90	<p>TYPICAL FOUNDATION RIM JOIST - EIFS</p> <p>ETR ≥ 2.97 W/HRV ETR ≥ 3.08 W/NO HRV</p>  <table border="1"> <thead> <tr> <th></th> <th>RSI VALUE</th> </tr> </thead> <tbody> <tr><td>-EXTERIOR AIR FILM</td><td>0.03</td></tr> <tr><td>-METAL PANEL</td><td>0.11</td></tr> <tr><td>-AIR BARRIER</td><td>0</td></tr> <tr><td>-1 1/4" RIM JOIST</td><td>0.27</td></tr> <tr><td>-R20 BATT INSUL.</td><td>3.52</td></tr> <tr><td>-6MIL POLY</td><td>0</td></tr> <tr><td>-INTERIOR AIR FILM</td><td>0.12</td></tr> <tr><td>TOTAL ETR =</td><td>4.05</td></tr> <tr><td>TOTAL R-VALUE =</td><td>22.99</td></tr> </tbody> </table>		RSI VALUE	-EXTERIOR AIR FILM	0.03	-METAL PANEL	0.11	-AIR BARRIER	0	-1 1/4" RIM JOIST	0.27	-R20 BATT INSUL.	3.52	-6MIL POLY	0	-INTERIOR AIR FILM	0.12	TOTAL ETR =	4.05	TOTAL R-VALUE =	22.99
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PARAPET DETAIL	FLAT ROOF SYSTEM	AIR BARRIER @ EIFS DETAIL	AIR BARRIER @ METAL PANEL DETAIL
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ALL VALUES ARE DERIVED FROM 9.36.2.4 AND 9.36.2.6 OF THE ALBERTA BUILDING CODE 2014 - FOR ZONE 7A

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DO NOT SCALE THIS DRAWING. VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE DESIGNERS IMMEDIATELY. THESE DRAWINGS AND DESIGN ARE THE EXCLUSIVE PROPERTY OF THE DESIGNERS AND MAY NOT BE REPRODUCED IN ANY WAY OR FORM WITHOUT THE DIRECT WRITTEN PERMISSION OF THE DESIGNER. IN WHICH CASE THE REPRODUCTION MUST BEAR THE NAME OF DESIGN TWO GROUP.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE, AND ANY OTHER GOVERNING AUTHORITIES. DIMENSIONS AT EXTERIOR WALL ARE TAKEN FROM FACE OF FRAMING OR FOUNDATION. DIMENSIONS AT INTERIOR WALLS ARE TAKEN FROM FACE OF FRAMING. D2 SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME FOR ALL GOVERNING CODES AND BUILDING PRACTICES. THESE DRAWINGS CONFORM TO GENERALLY BUILDING PRACTICES HOWEVER PROVINCIAL AND LOCAL CODES VARY WIDELY. CONTRACTOR TO VERIFY ALL MECHANICAL AND ELECTRICAL REQUIREMENTS AND CLEARANCES.

Crestwood25B.house

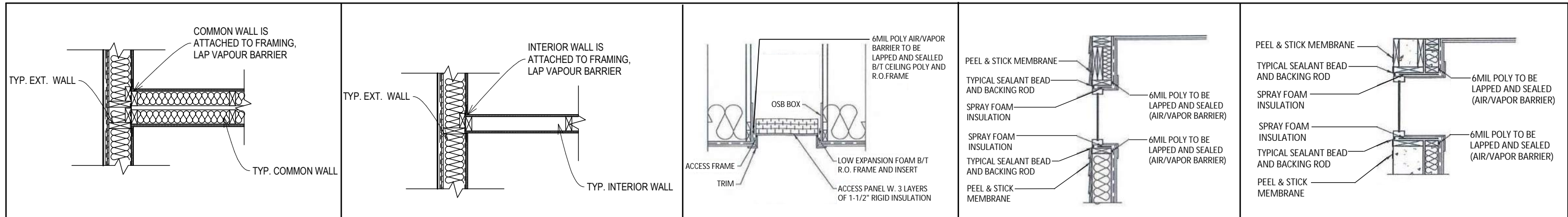
14108 - 98 AVENUE NW - LOT 25B BLOCK 6 PLAN

CONSTRUCTION ASSEMBLIES & DETAILS

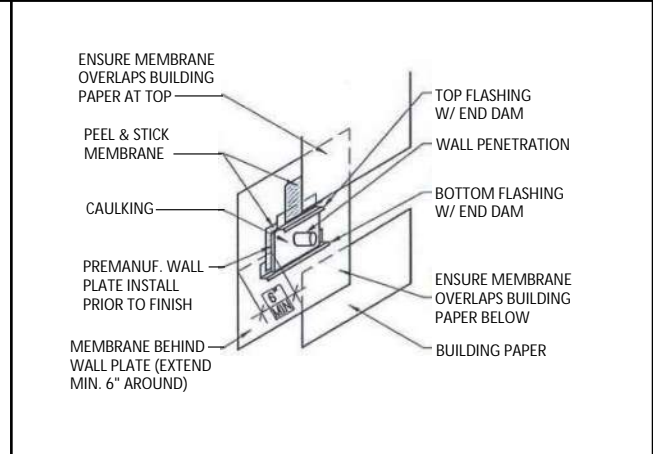
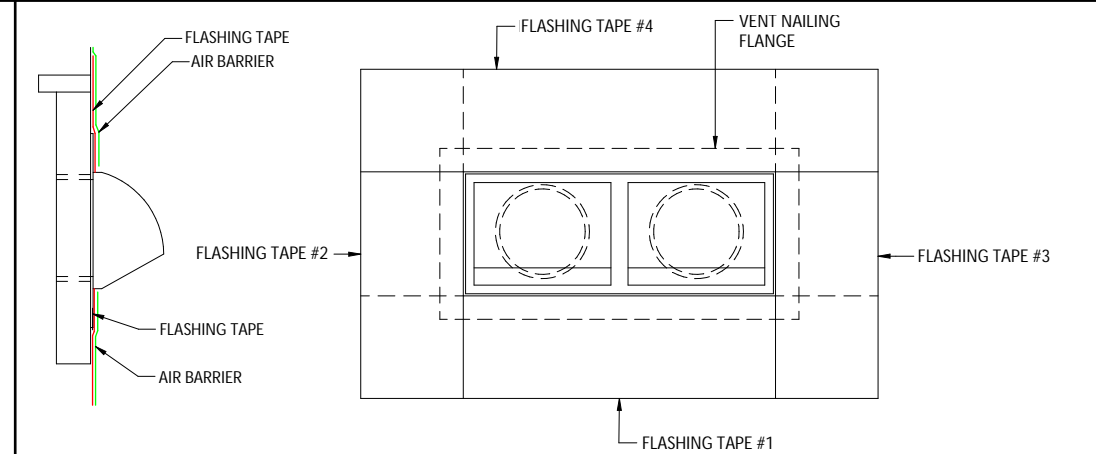
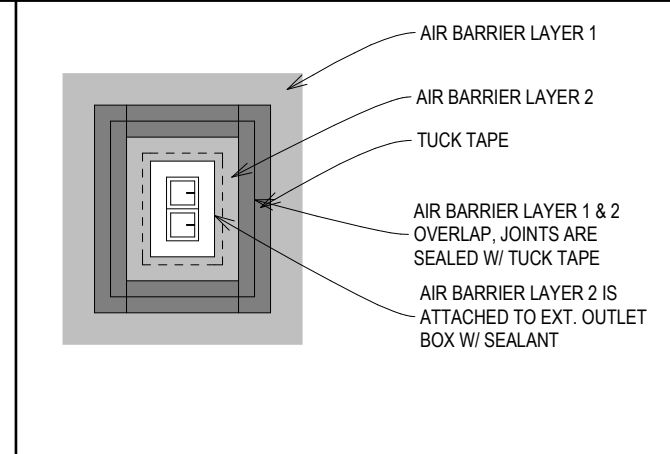
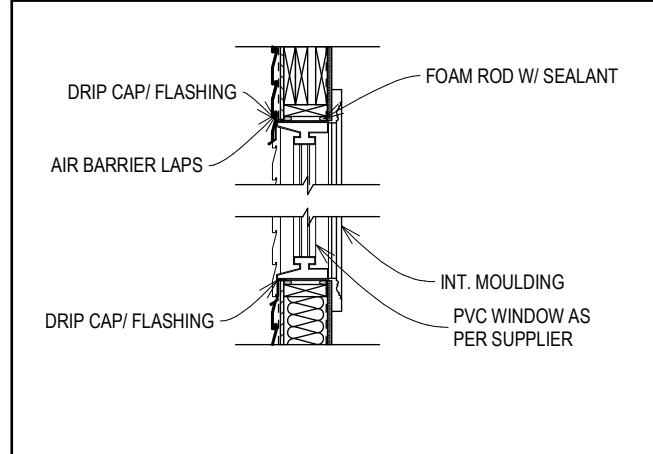
11X17 - P1804

2018.06.20 ISSUED FOR PERMITS

A0.1



COMMON WALL/EXTERIOR WALL INTERSECTION DETAIL **TYP. WALL / EXTERIOR WALL INTERSECTION DETAIL** **ATTIC ACCESS DETAIL** **WINDOW DETAIL @ FRAMING** **WINDOW DETAIL @ FOUNDATION**

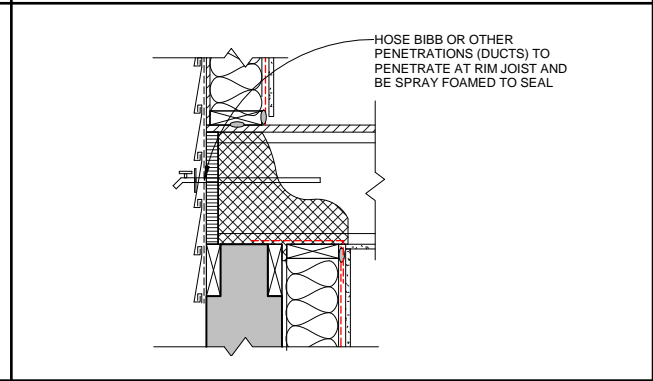
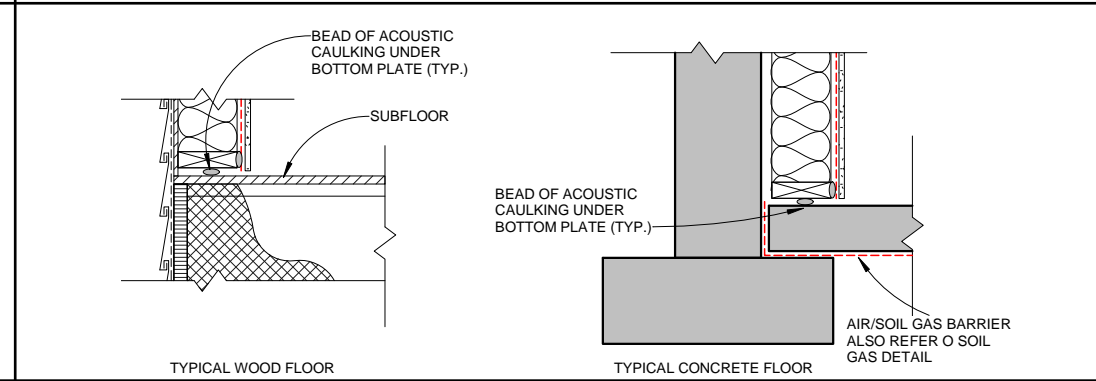
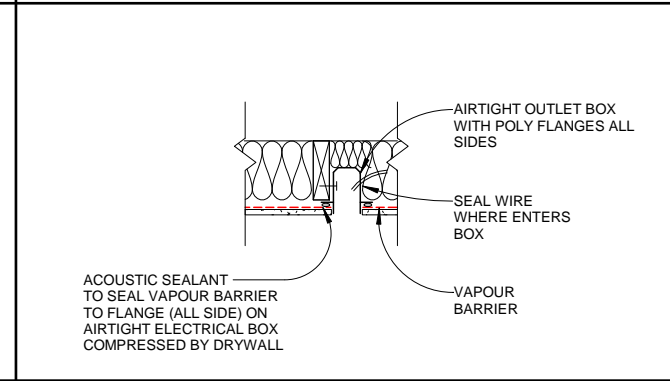
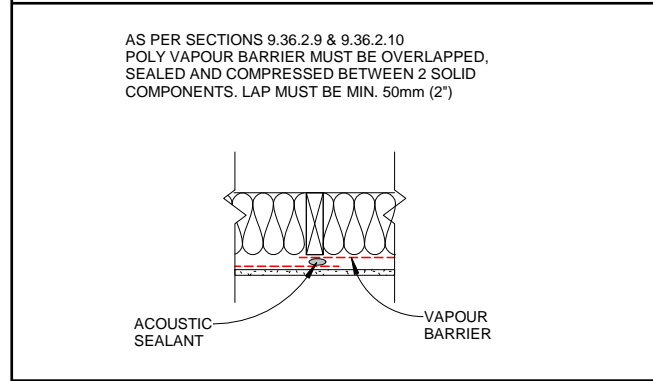


AIR BARRIER LAP DETAIL @ WINDOWS

AIR BARRIER LAP DETAIL @ OUTLET BOX

EXHAUST VENT

PIPING AND VENT PENETRATIONS

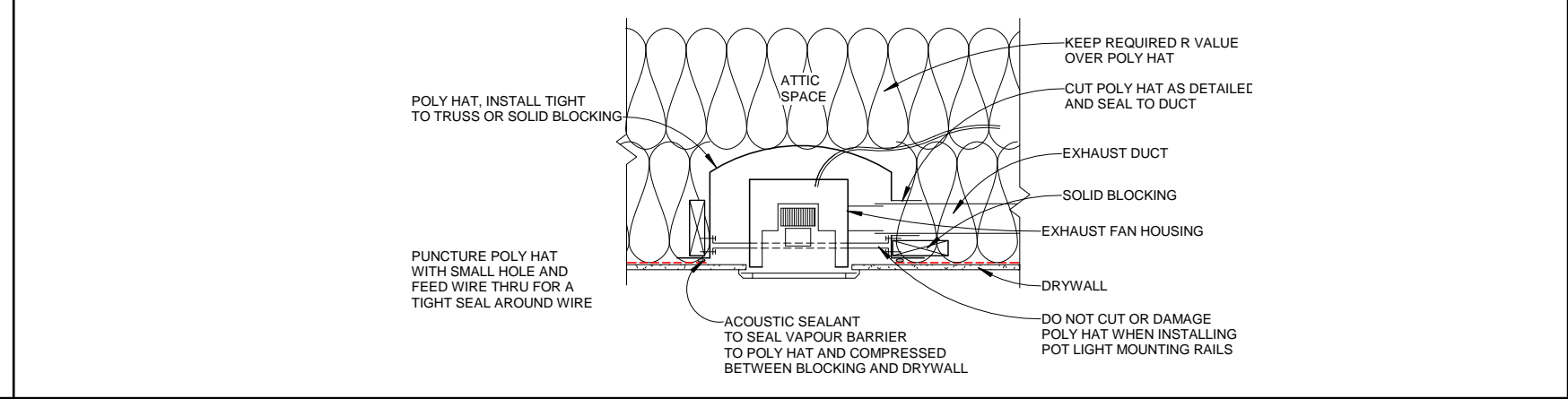
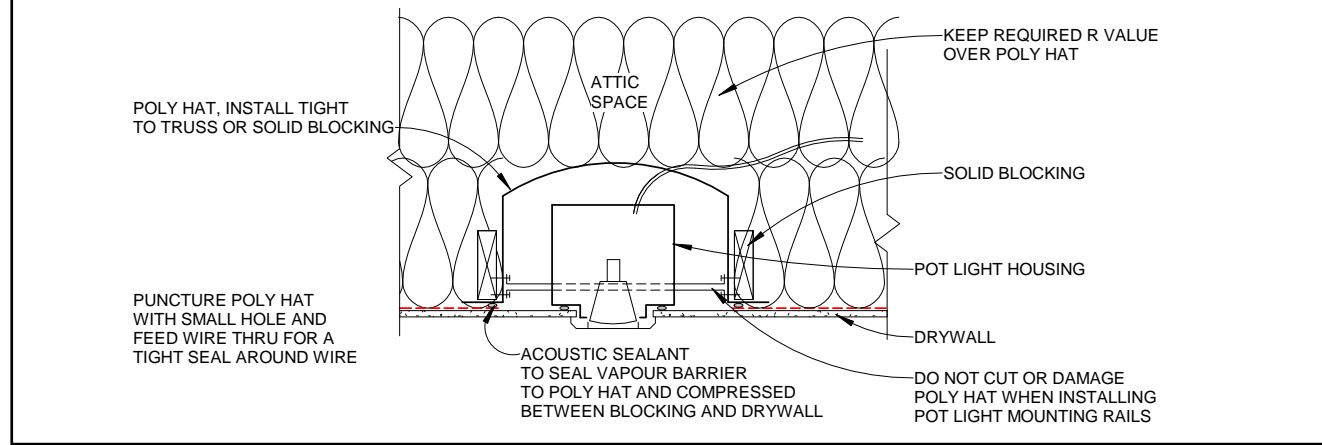


TYPICAL POLY JOINT

TYPICAL ELECTRICAL WALL BOX

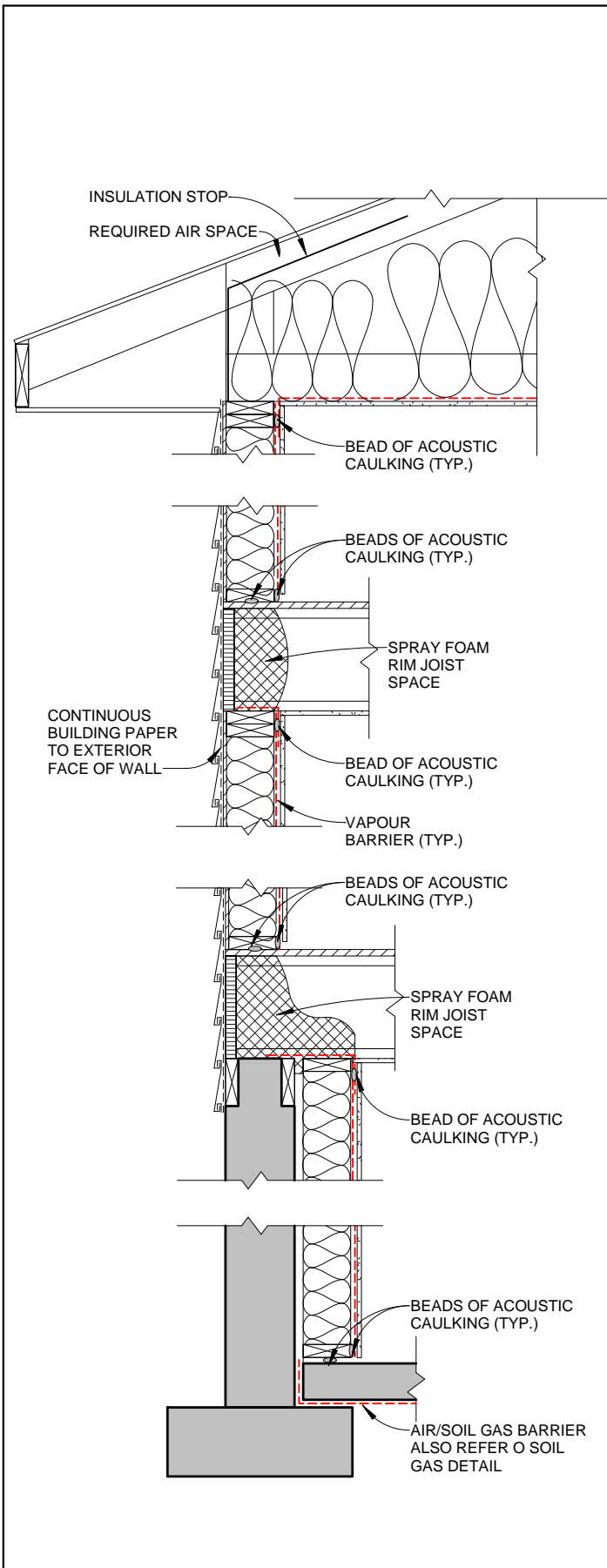
TYPICAL SEALS AT BOTTOM WALL PLATES

HOSE BIB THRU RIM

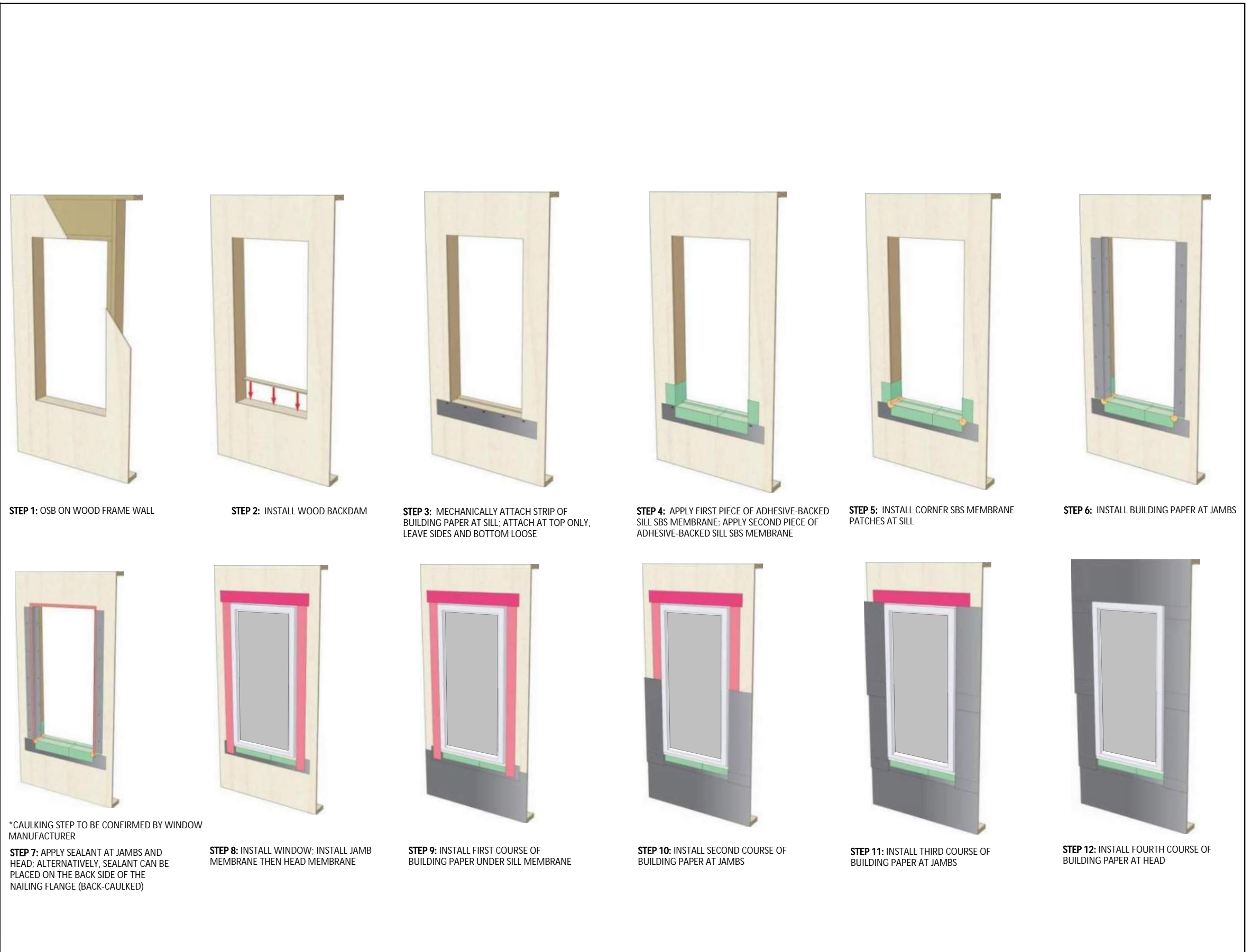


TYPICAL POTLIGHT HOUSING DETAIL

TYPICAL EXHAUST FAN HOUSING DETAIL



TYPICAL WALL SECTION



WINDOW INSTALLATION



1 FRONT ELEVATION
3/16" = 1'-0"

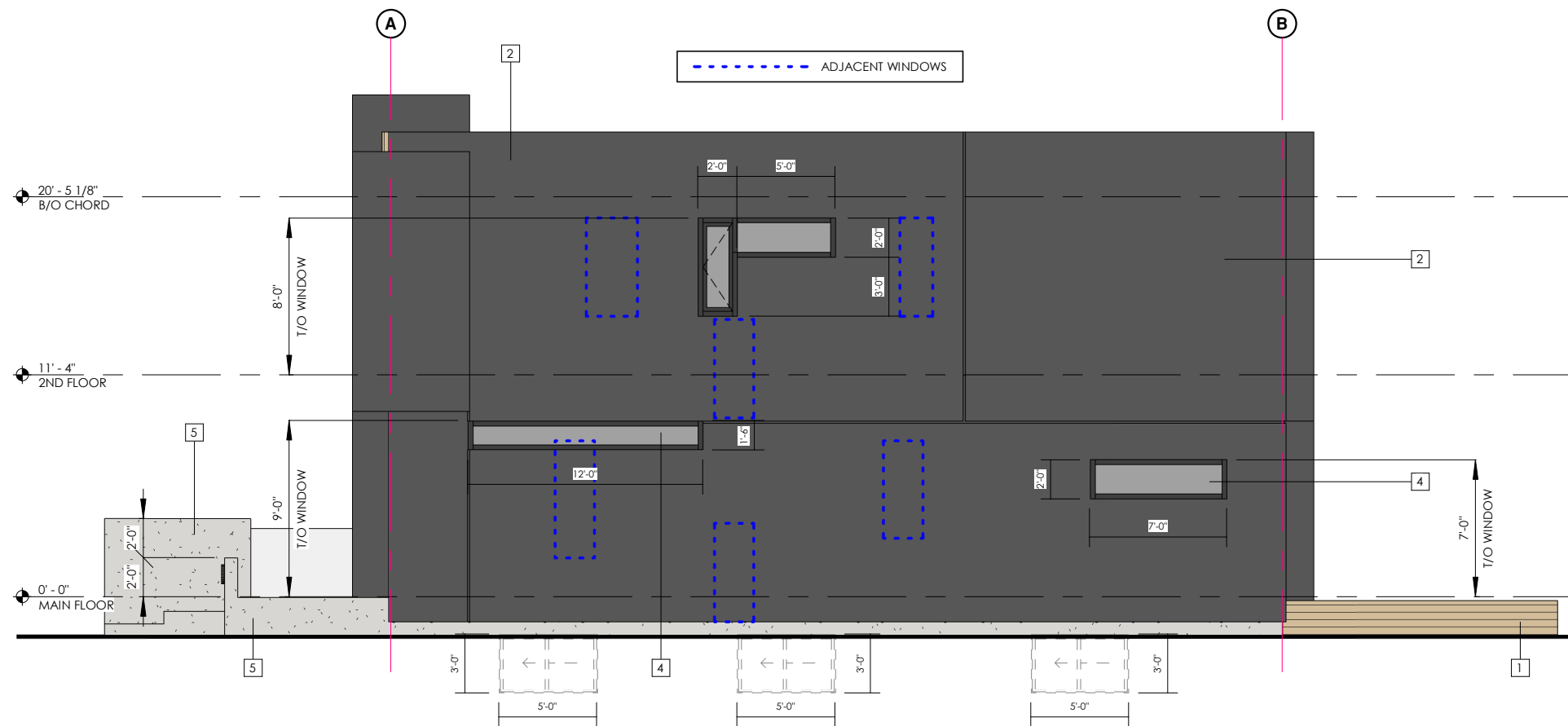


2 REAR ELEVATION
3/16" = 1'-0"

MATERIAL LEGEND.

- 1. WOOD CLADDING SYSTEM
- 2. EIFS STUCCO SYSTEM - (C/W 1/2"X1/2" REVEALS)
- 3. METAL FASCIA / METAL CLADDING
- 4. HYBRID WINDOW/DOOR SYSTEM
- 5. SACK AND RUB FINISH CONCRETE STAIR / LANDING / PLANTER

NOTES:
 _TYPICAL DOWNSPOUTS NOT SHOWN ON ELEVATIONS FOR BUILDING ELEVATION CLARITY.
 _COLORS SHOWN DO NOT REFLECT THE ACTUAL MATERIAL COLOR.
 _WINDOW SIZES ARE APPROXIMATIONS ONLY AND MAY VARY BETWEEN DIFFERENT WINDOW MANUFACTURERS.
 _ALL WINDOW DETAILS/SIZES TO BE CONFIRMED BY BUILDER/SUPPLIER TO ENSURE PROPER FITMENT/PERFORMANCE.
 _WINDOW AND DOOR EXTERIOR SILLS TO HAVE 6% DRAINAGE SLOPE - TYPICAL.
 _ALL LEDGES AND TRIMS TO HAVE 6% DRAINAGE SLOPE - TYPICAL.
 _ALL PRODUCTS & MATERIALS TO BE INSTALLED AS PER MANUFACTURES GUIDELINES & INSTRUCTIONS.



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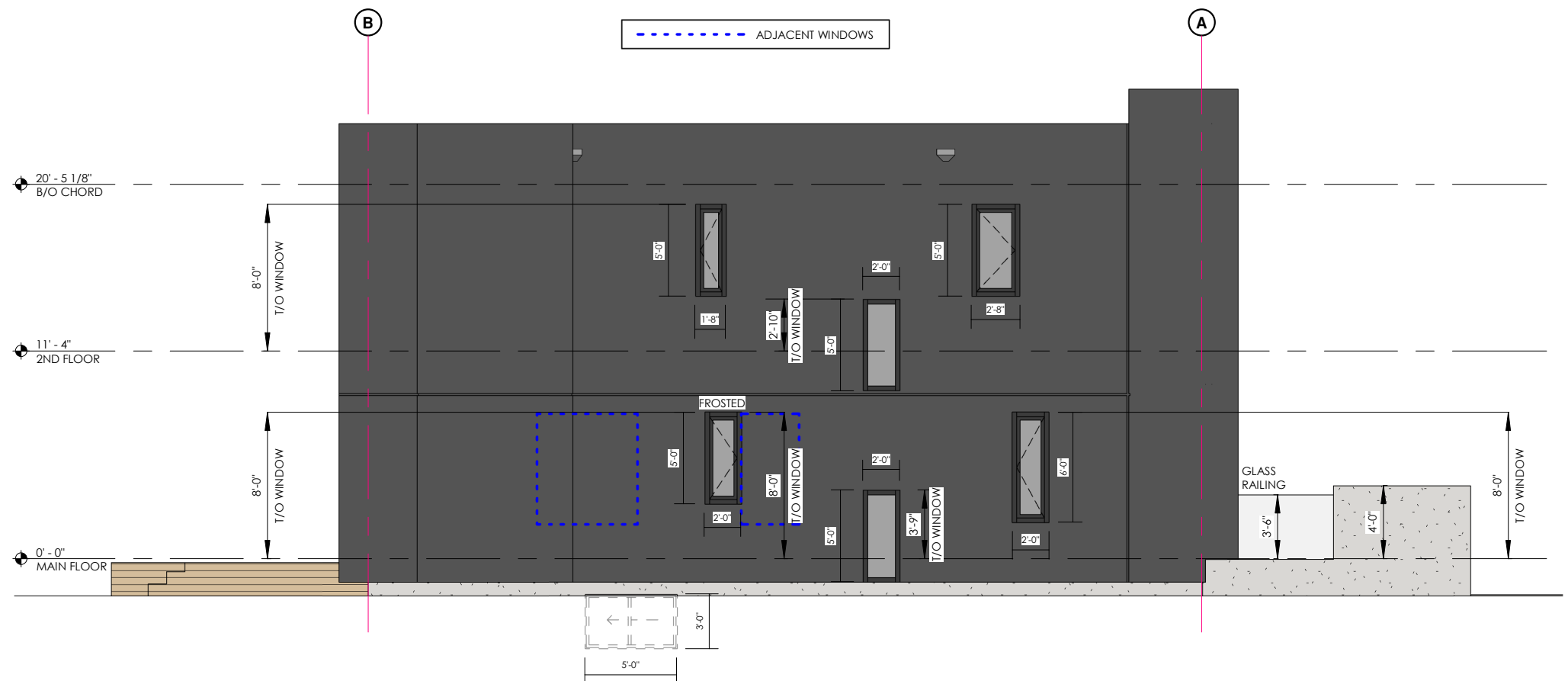
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1 RIGHT ELEVATION
1/8" = 1'-0"

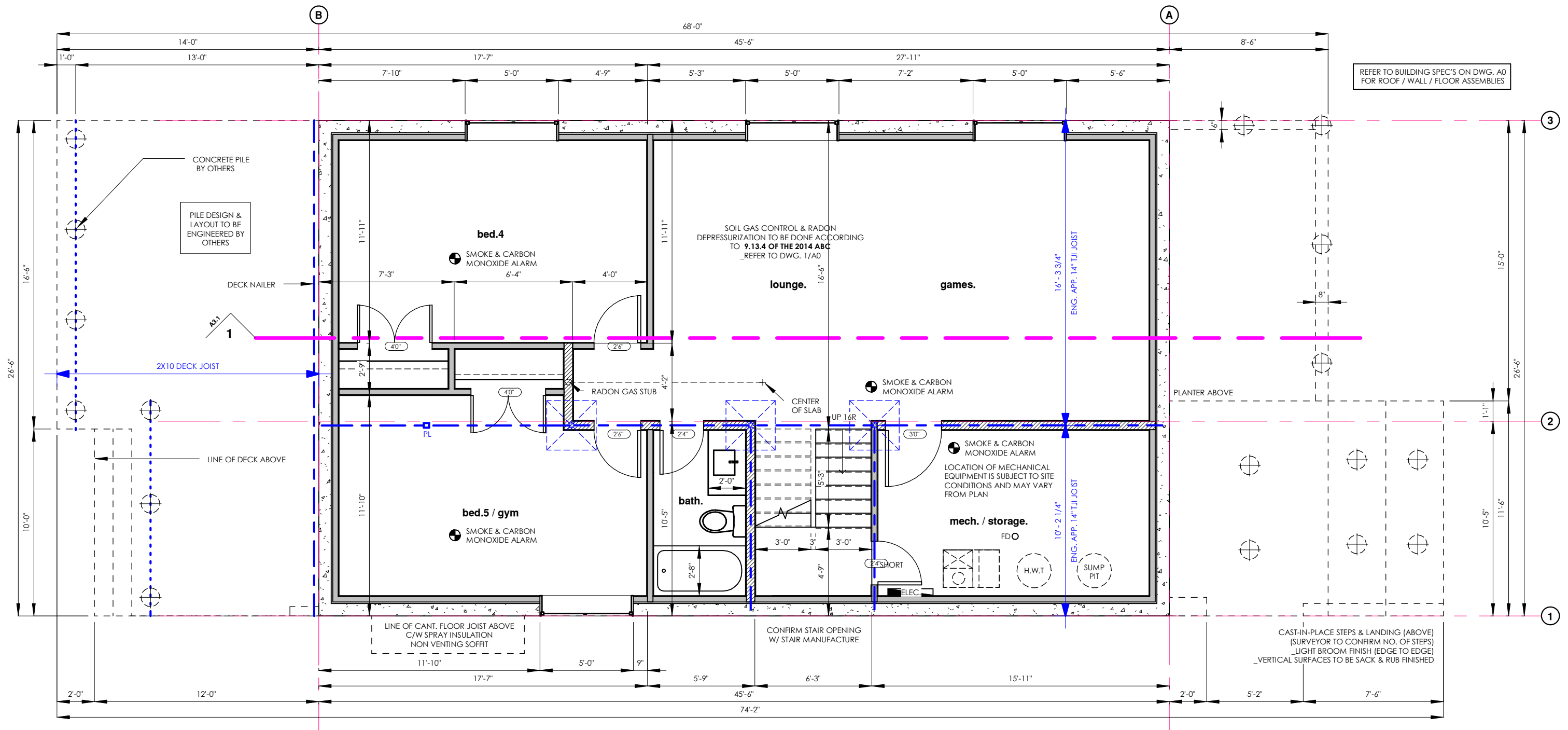
AREA OF UNPROTECTED OPENINGS.

LEFT ELEVATION - 6.2% (7% MAX.)	
EXPOSED BUILDING FACE	_1030 SQ.FT.
UNPROTECTED WINDOW AREA	_63.69 SQ.FT.
RIGHT ELEVATION - 6.8% (7% MAX.)	
EXPOSED BUILDING FACE	_1020 SQ.FT.
UNPROTECTED WINDOW AREA	_52.09 SQ.FT.

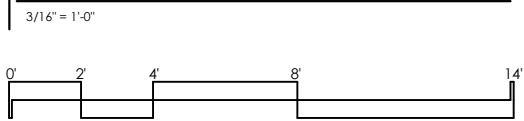
WINDOW AREA CALCULATION IS IN ACCORDANCE TO THE ABC2014 9.10.14.4 AND SUBSECTION 3.2.3.1 (REFER TO TABLE 3.2.3.1.A)



2 LEFT ELEVATION
1/8" = 1'-0"



1 BASEMENT FLOOR PLAN



LEGEND:

- JOIST/TRUSS SPAN / DIRECTION
- ENG. APP. FLUSH BEAM SIZED BY SUPPLIER (U.N.O.)
- ENG. APP. DROPPED BEAM SIZED BY SUPPLIER (U.N.O.)
- 2x6 INTERIOR WALL

FLOOR AREA SUMMARY:

MAIN FLOOR	_1222 SQ.FT.
SECOND FLOOR	_1238 SQ.FT.
TOTAL	_2460 SQ.FT.

WALL HEIGHT SUMMARY:

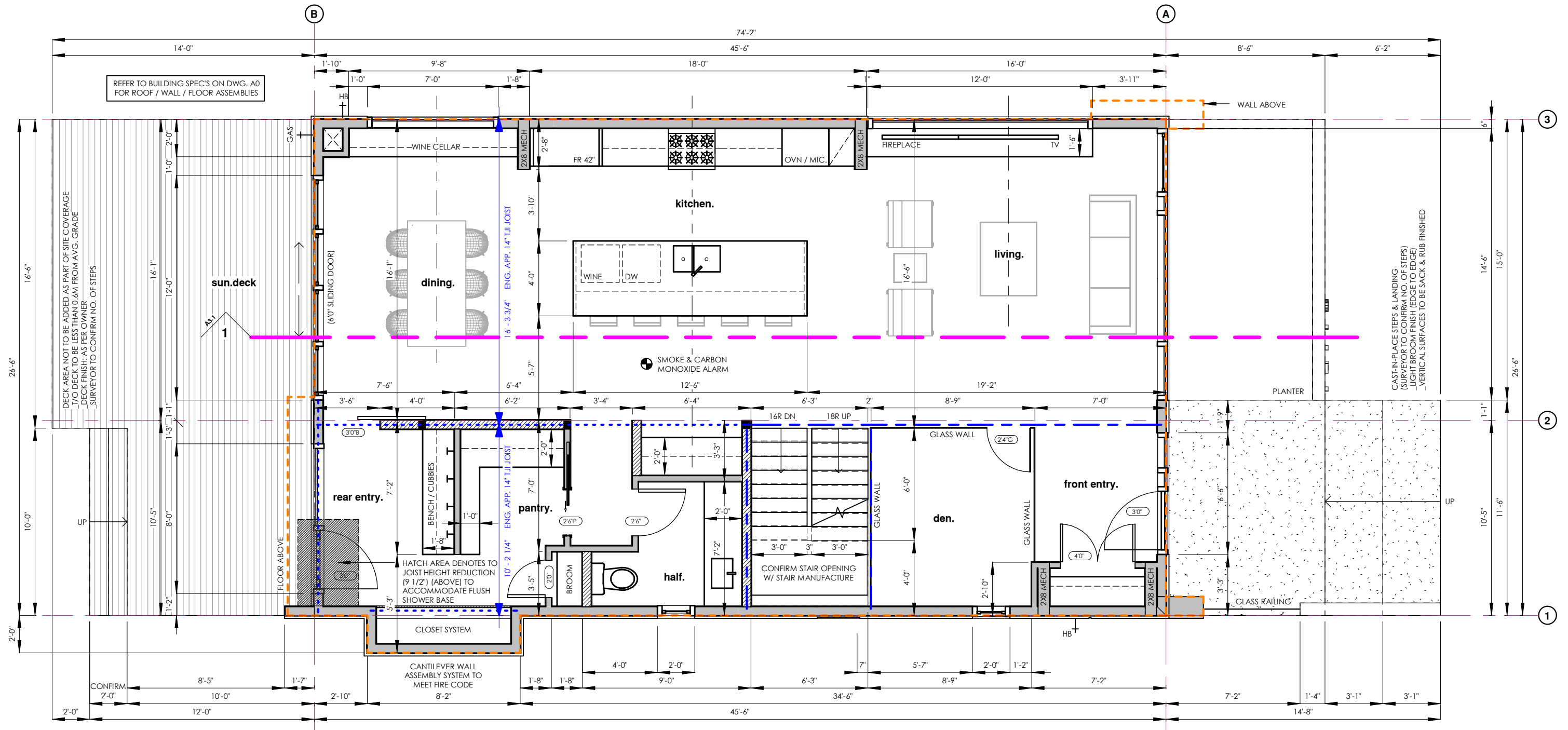
FOUNDATION WALL	_9'0"
MAIN FLOOR WALL	_10'1 1/8"
SECOND FLOOR WALL	_9'1 1/8"

SITE / FOUNDATION NOTES:

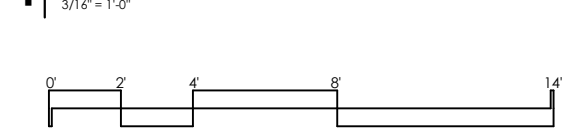
1. GRADE IS ONLY SUGGESTED AND MUST BE ADJUSTED TO SUITE INDIVIDUAL SITE CONDITIONS. ALL STEPS TO BE ADJUSTED TO SUITE GRADE.
2. ANY ENGINEERING IS THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR.
3. STEPS IN FOOTINGS / FOUNDATION TO BE CALCULATED AS PER PLOT PLAN AND IN ACCORDANCE WITH THE BUILDING CODE.
4. CONFIRM ALL COLUMN LOCATION WITH ENGINEERING DRAWINGS

GENERAL NOTE:

1. SEE BUILDING ELEVATIONS FOR WINDOW SIZES.
2. ALL DOORS TO BE INSTALLED 4" OF ADJACENT WALL. TYPICAL U.N.O.
3. ALL CLOSET DOORS TO BE CENTERED ON CLOSETS U.N.O.
4. ALL CLOSETS TO BE WARDROBE STYLE (OWNER CONFIRM STYLE & FINISH)
5. ALL BATHROOMS AND LAUNDRY RM WALLS TO BE INSULATED W/ ROXUL SAFE'n'SOUND®
6. ALL DOORS AT MAIN & SECOND FLOOR TO BE 80" HIGH U.N.O.
7. ALL DOORS AT BASEMENT FLOOR TO BE 70" HIGH U.N.O.



1 MAIN FLOOR PLAN



LEGEND:

	JOIST/TRUSS SPAN / DIRECTION
	ENG. APP. FLUSH BEAM SIZED BY SUPPLIER (U.N.O.)
	ENG. APP. DROPPED BEAM SIZED BY SUPPLIER (U.N.O.)
	2x6 INTERIOR WALL

FLOOR AREA SUMMARY:

MAIN FLOOR	_1222 SQ.FT.
SECOND FLOOR	_1238 SQ.FT.
TOTAL	_2460 SQ.FT.

WALL HEIGHT SUMMARY:

FOUNDATION WALL	_9'0"
MAIN FLOOR WALL	_10'1 1/8"
SECOND FLOOR WALL	_9'1 1/8"

SITE / FOUNDATION NOTES:

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 DO NOT SCALE THIS DRAWING. VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE DESIGNER IMMEDIATELY. THESE DRAWINGS AND DESIGN ARE THE EXCLUSIVE PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED IN ANY WAY OR FORM WITHOUT THE DIRECT WRITTEN PERMISSION OF THE DESIGNER. IN WHICH CASE THE REPRODUCTION MUST BEAR THE NAME OF DESIGN TWO GROUP.
 ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE, AND ANY OTHER GOVERNING AUTHORITIES. DIMENSIONS AT EXTERIOR WALL ARE TAKEN FROM FACE OF FRAMING OR FOUNDATION. DIMENSIONS AT INTERIOR WALLS ARE TAKEN FROM FACE OF FRAMING. D2 SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME FOR ALL GOVERNING CODES AND BUILDING PRACTICES. THESE DRAWINGS CONFORM TO GENERALLY BUILDING PRACTICES HOWEVER PROVINCIAL AND LOCAL CODES VARY WIDELY. CONTRACTOR TO VERIFY ALL MECHANICAL AND ELECTRICAL REQUIREMENTS AND CLEARANCES.

Crestwood25B.house

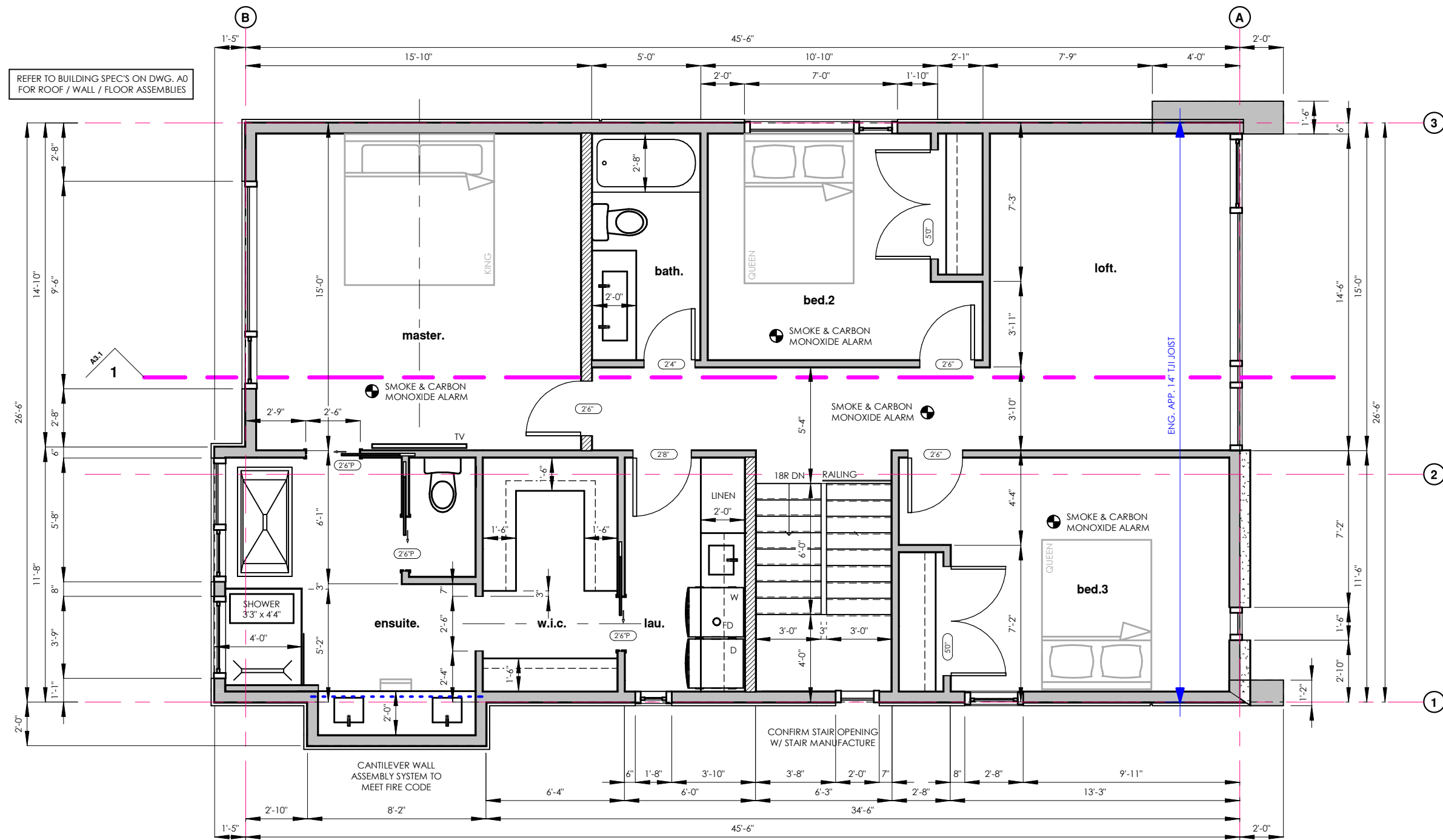
14110 - 98 AVENUE NW - LOT 25B BLOCK 6 PLAN UNREG

MAIN FLOOR PLAN

11X17 - P1804

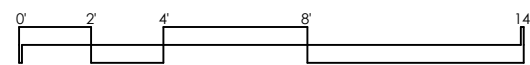
2018.06.21 ISSUED FOR PERMITS

A2.2



1 SECOND FLOOR PLAN

3/16" = 1'-0"



LEGEND:

- JOIST/TRUSS SPAN / DIRECTION
- ENG. APP. FLUSH BEAM SIZED BY SUPPLIER (U.N.O.)
- ENG. APP. DROPPED BEAM SIZED BY SUPPLIER (U.N.O.)
- 2x6 INTERIOR WALL

FLOOR AREA SUMMARY:

MAIN FLOOR	_1222 SQ.FT.
SECOND FLOOR	_1238 SQ.FT.
TOTAL	_2460 SQ.FT.

WALL HEIGHT SUMMARY:

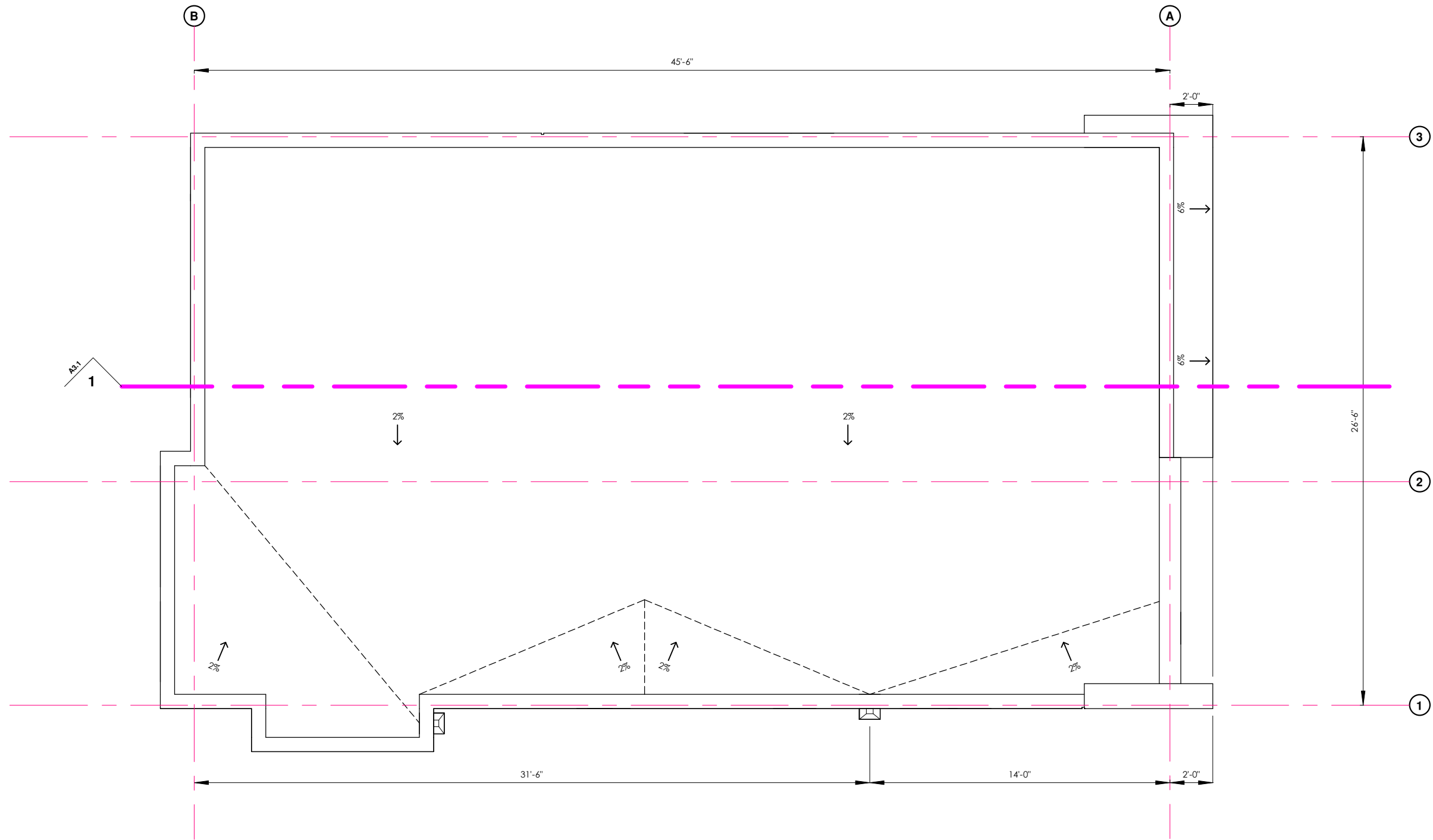
FOUNDATION WALL	_9'0"
MAIN FLOOR WALL	_10'1 1/8"
SECOND FLOOR WALL	_9'1 1/8"

SITE / FOUNDATION NOTES:

1. GRADE IS ONLY SUGGESTED AND MUST BE ADJUSTED TO SUITE INDIVIDUAL SITE CONDITIONS. ALL STEPS TO BE ADJUSTED TO SUITE GRADE.
2. ANY ENGINEERING IS THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR.
3. STEPS IN FOOTINGS / FOUNDATION TO BE CALCULATED AS PER PLOT PLAN AND IN ACCORDANCE WITH THE BUILDING CODE.
4. CONFIRM ALL COLUMN LOCATION WITH ENGINEERING DRAWINGS

GENERAL NOTE:

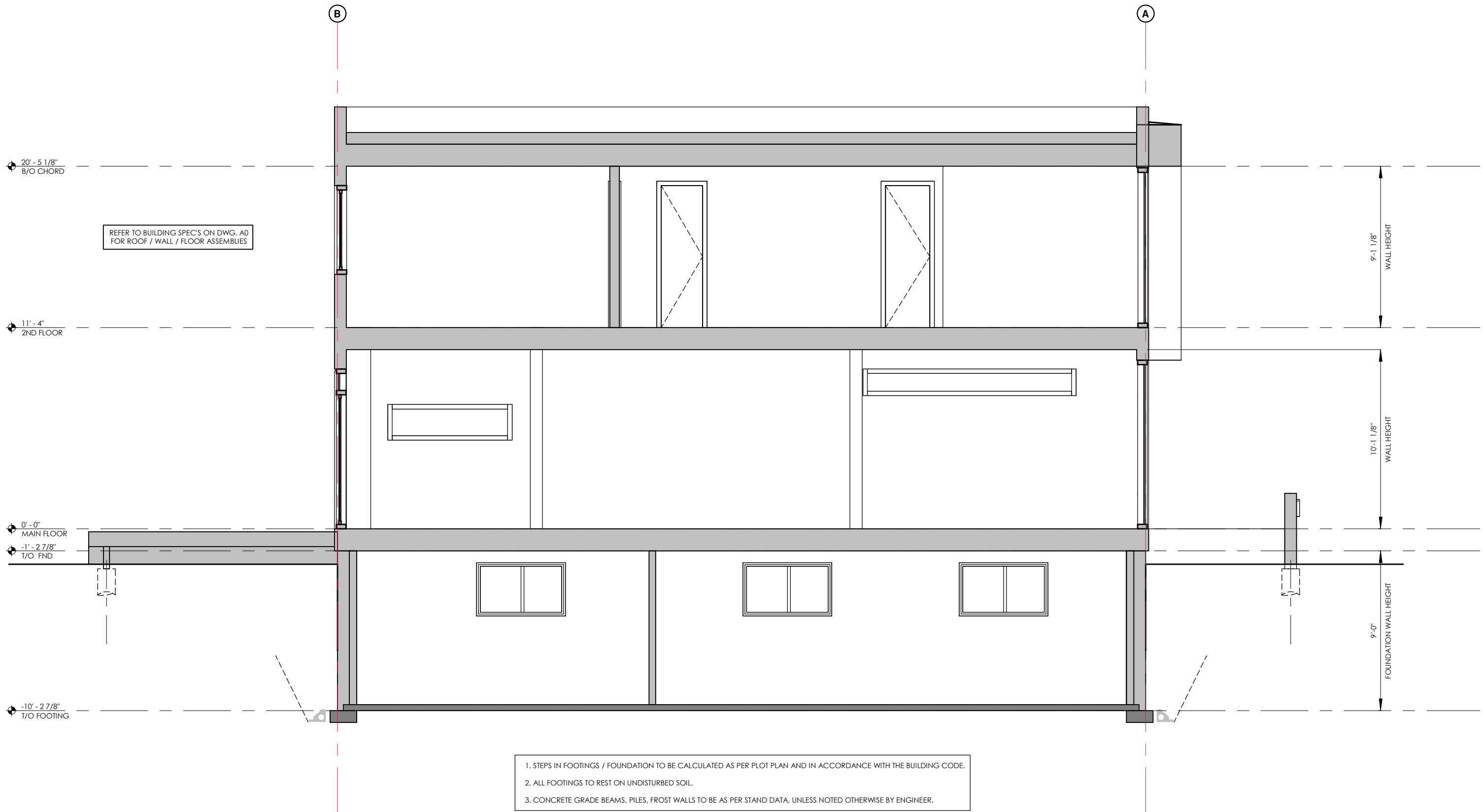
1. SEE BUILDING ELEVATIONS FOR WINDOW SIZES.
2. ALL DOORS TO BE INSTALLED 4" OF ADJACENT WALL, TYPICAL U.N.O.
3. ALL CLOSET DOORS TO BE CENTERED ON CLOSETS U.N.O.
4. ALL CLOSETS TO BE WARDROBE STYLE (OWNER CONFIRM STYLE & FINISH)
5. ALL BATHROOMS AND LAUNDRY RM WALLS TO BE INSULATED W/ ROXUL SAFE'n'SOUND®
6. ALL DOORS AT MAIN & SECOND FLOOR TO BE 8'0" HIGH U.N.O.
7. ALL DOORS AT BASEMENT FLOOR TO BE 7'0" HIGH U.N.O.



1 ROOF PLAN
3/16" = 1'-0"

ROOF NOTES:

REFER TO CONSTRUCTION NOTES FOR ROOF ASSEMBLY ON DWG. A0
 ANY SOFFITS PROJECTING INTO 1.2M SIDE YARD SHALL HAVE NO OPENING, AND SHALL BE PROTECTED W/ MATERIAL CONFORMING TO CAN/CGSB-93.2-M
 _VENTING TO BE MADE-UP IN OTHER LOCATIONS



1 HOUSE SECTION
3/16" = 1'-0"