



## ELLIOT RESIDENCE

3305 DESCARTES PLACE,  
SQUAMISH, BC





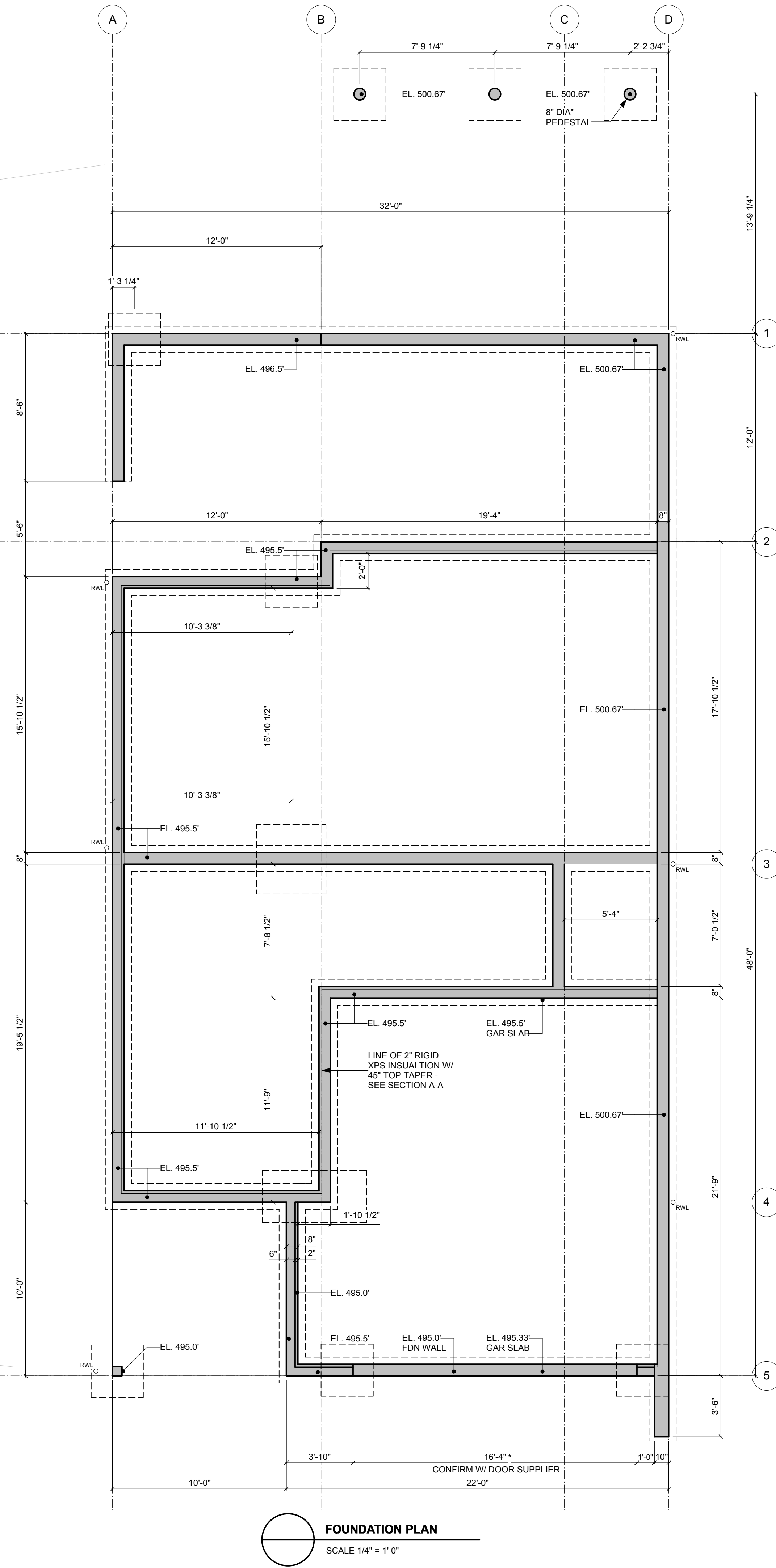




ZONING & BYLAW ANALYSIS			
Municipality:	District of Squamish		
Zoning:	UH-1		
Legal Address	Lot 35, DL 512, Grp 1, NWD, Plan BCP27757		
PID	026.923.742		
Lot Area:	8720.9 sf		
Setbacks	Allowed	Proposed	
Front	25.00 ft	29.26 ft	
Rear (covenant)	35.64 ft	38.67 ft	
Sideyard - Interior	7.00 ft	7.25 ft @ E	
Exterior	15.00 ft	15.57 ft @ W	
Height	29.50 ft	Sect B/A5 29.44 ft	
Lot Coverage 52%	4534.00 sf	287.00 sf	
FAR @ 0.5	4360.00 sf	3628.00 sf	
Height Datums	Front	Rear	
West	494.50 el	496.50 el	
East	500.00 el	500.00 el	
Datum Points	497.25 el	498.25 ft	
Average	497.75 el		
Floor Area			
Second Flr	1213 sf		
Main Flr	1452 sf		
Basement	963 sf		
Garage	449 sf		
Subtotal all Floor Areas	4077 sf		
Less Garage Exemption	449 sf		
Net Floor Area	3628 sf		
Secondary Suite	558 sf		
Lot Coverage			
House Footprint	1612 sf		
Front Deck	287 sf		
Rear Deck	752 sf		
Total	2651 sf		

- General Notes - Architectural**
- 1 All work shall conform to the standards of the BC Building Code 2012, specifically Section 9 & 10, all local codes, bylaws and amendments.
  - 2 Do not scale drawings. Dimensions always take precedence.
  - 3 The general contractor shall verify all datums, dimensions and levels prior to commencement of work. Any errors, omissions or discrepancies to be discussed with the Designer.
  - 4 Mark Kerschbaumer and/or Kerschbaumer Design shall not be held responsible beyond issuance of the Building Permit for any issues in relation, but not limited, to Structural design (seismic, lateral/vertical loading), Geotechnical (soil/slope stability, flood construction level), Building Envelope failure, (water ingress, or mould).
  - 5 All projects designed and/or drawn by Kerschbaumer Design shall have the services of a Professional Structural Engineer and Building Envelope Specialist provided and retained by the client.
  - 6 These drawings are the exclusive property of the Designer, and cannot be reproduced without the expressed written consent of the Designer.
  - 7 All work to be performed to current good trade practice standards by skilled journeymen, licensed and insured in their respective trades.
  - 8 All materials to be of good quality, properly transported, stored, and protected and to be installed as per the manufacturers specifications.
  - 9 Exterior wood trim/siding & pressure treated lumber to be painted all 6 sides, including fresh cut ends.
  - 10 Provide aluminum head flashings w/ end dams over all exterior openings each for both window and trim.
  - 11 Caulk and seal all exterior openings. It is the responsibility of the contractor to review the exterior building envelope one year after occupancy to inspect and repair any failed envelope issues including but not limited to caulking, paint, flashing siding and trim and provide written confirmation to the Designer upon completion.
  - 12 Moisture content of all wood framing material to be below 19%. It is the responsibility of the contractor to provide written confirmation to the designer prior to cover up.
  - 13 All materials and products to be handled and installed as per manufacturer's and industry governing organizations specifications.

- DRAWING LIST:**
- A1 SITE PLAN/ZONING/BYLAWS ANALYSIS, FOUNDATION PLAN
  - A2 BASEMENT / MAIN FLOOR PLAN
  - A3 SECOND FLOOR/ROOF PLAN
  - A4 SECTION A
  - A5 SECTIONS B,C,D
  - A6 SECTIONS E,F
  - A7 ELEVATIONS
  - A8 ELEVATIONS



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  - T/O TOP OF
  - U/S UNDERSIDE
  - O/H OVERHANG
  - B/U BUILT UP
  - C/L CENTRE LINE
  - RWL RAIN WATER LEADER
  - BATH EXHAUST FAN
  - INTERCONNECTED SMOKE ALARM
  - EQUAL
  - NATURAL GAS BBQ BIB
  - HOSE BIB

ISSUED FOR BUILDING PERMIT AUG 15, 2017

**kerschbaumer DESIGN**

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SQUAMISH BC CANADA V8B 0A5  
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Project

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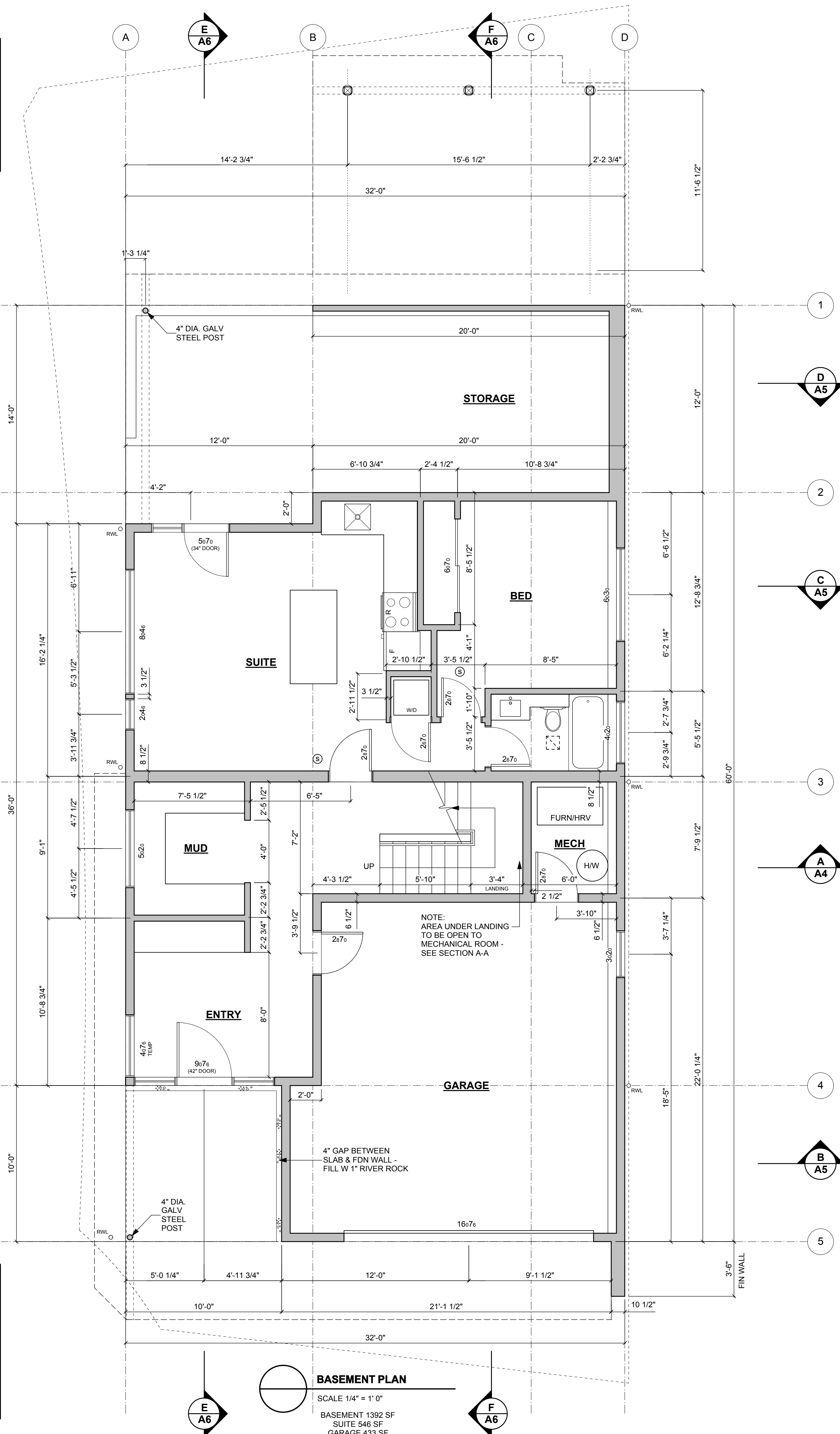
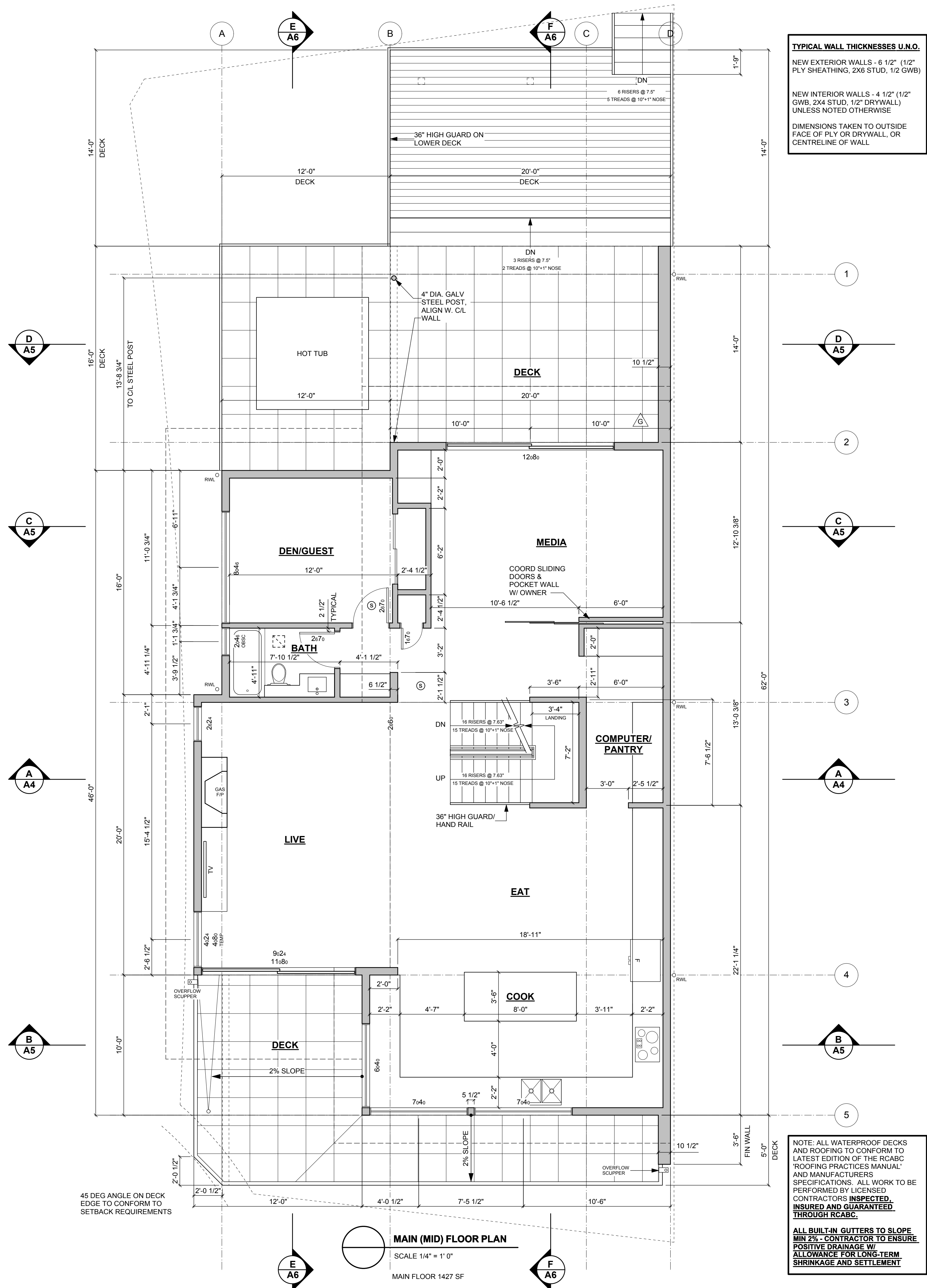
3305 DESCARTES PLACE,  
SQUAMISH, BC

Drawing Title

**SITE PLAN, ZONING INFO,  
GENERAL NOTES,  
FOUNDATION PLAN**

Date	DEC 20, 2017	Project No.	1712
Scale	AS SHOWN	Drawing No.	<b>A1</b>
Drawn By	MK		
Approved By			





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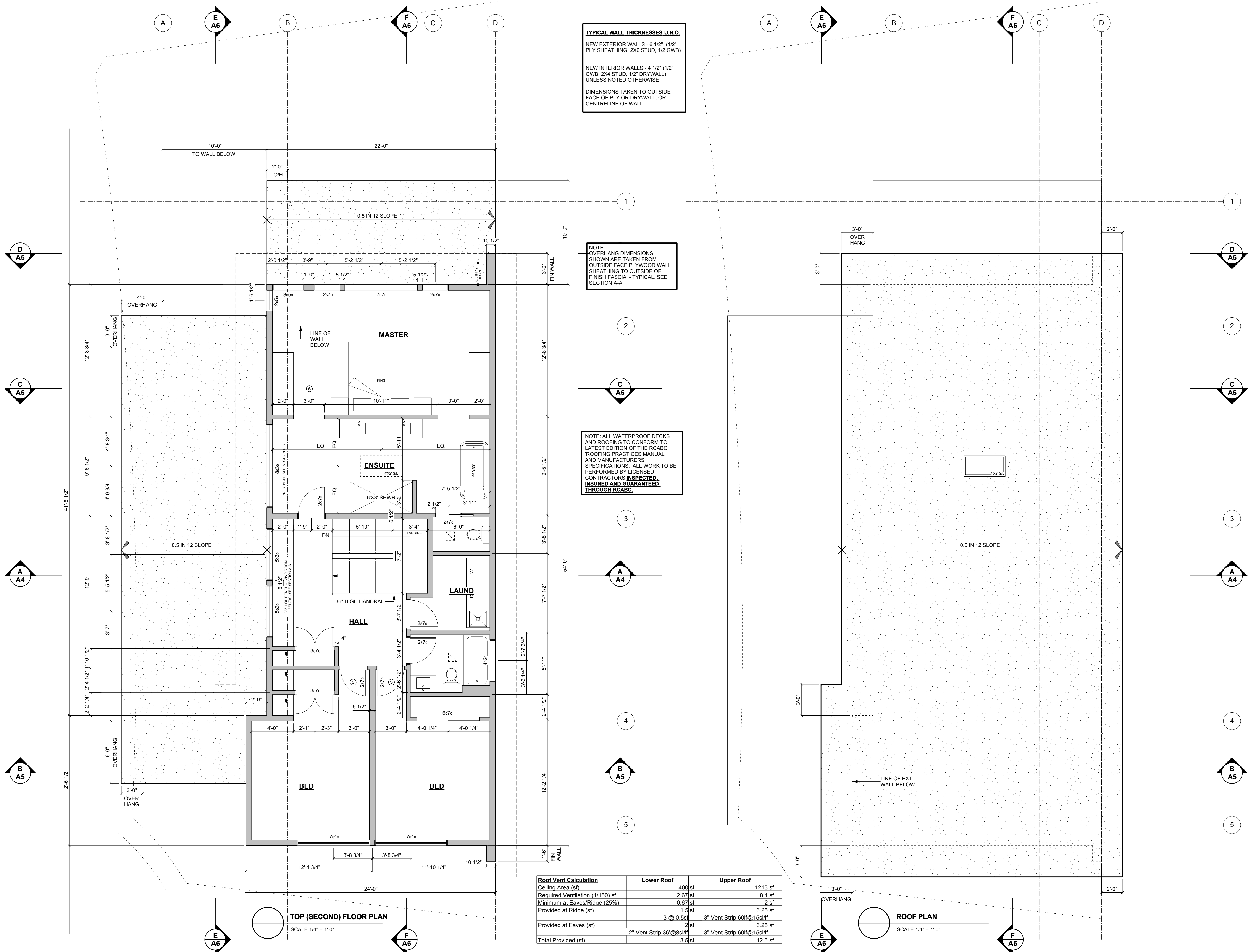
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3305 DESCARTES PLACE,  
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Drawing Title

**MAIN FLOOR,  
BASEMENT PLAN**

Date DEC 20, 2017	Project No. 1712
Scale 1/4" = 1' 0"	Drawing No. <b>A2</b>
Drawn By MK	
Approved By	



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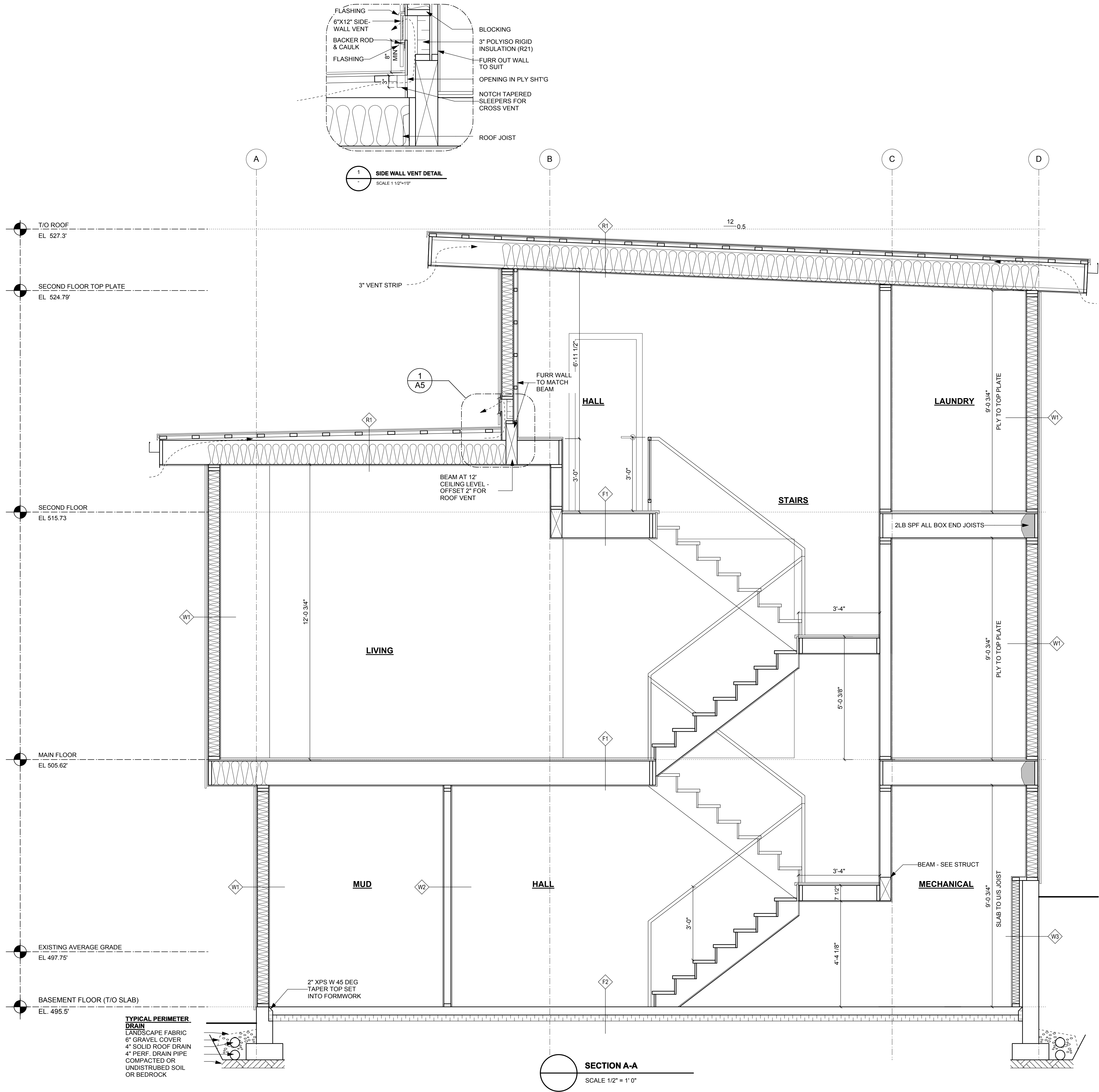
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**SECOND FLOOR,  
ROOF PLAN**

Date DEC 20, 2017	Project No. 1712
Scale 1/4" = 1' 0"	Drawing No.
Drawn By MK	<b>A3</b>
Approved By	





ROOF ASSEMBLIES	% FRAM'G	RSI	RSI
<b>AB - INDICATES AIR BARRIER</b>			
<b>R1 - TYPICAL SLOPED ROOF ASSEMBLY</b>			
2 PLY TORCH-ON ROOF			0
SOPREMA FLAM 180 W/ CHARCOL CAP SHEET			
PER RCASC STANDARDS			
3MM PROTECTION BOARD ON			0
5/8" FIR PLYWOOD SHEATHING (SEE STRUCT) ON			0.139
<b>LIVING ROOM ROOF ONLY - 2X TAPAERED SHIMS @ 2% SLOPE</b>			
TJI JOISTS	9	2.07	5.789
R40 MINERAL WOOL BATT INSULATION	91	7.04	
<b>AB</b> 0.6 MIL POLY UV AIR/VAPOUR BARRIER			0
1/2" DRYWALL-PAINT FINISH			0.08
<b>TOTAL EFFECTIVE RSI (MIN REQ'D RSI 4.67)</b>			<b>6.008</b>

WALL ASSEMBLIES	% FRAM'G	RSI	RSI
<b>W1 - ABV GRADE EXTERIOR WALL ASSEMBLY</b>			
EXTERIOR AIR FILM			0.03
SIDING (REFER ELEVATIONS)			0.023
1/2" PT VERT PLY STRAPPING (ALIGN W/ STUDS) ON			0.16
TYVEK BUILDING PAPER ON			0
1/2" FIR PLYWOOD SHEATHING			0.139
2X6 STUD WALL @ 16" O/C	23	1.19	2.664
R24 BATT INSULATION	77	4.23	
<b>AB</b> 0.6 MIL POLY UV AV BARRIER			0
1/2" GYPSUM BOARD			0.08
INTERIOR AIR FILM			0.12
<b>TOTAL EFFECTIVE RSI (MIN RSI 2.78)</b>			<b>3.216</b>
<b>W2 - INTERIOR WALL ASSEMBLY</b>			
1/2" G.W.B.			
2X4 OR 6 STUD WALL (16" O.C.)			
1/2" G.W.B.			
<b>W3 - BELOW GRADE FOUNDATION WALL CONST. - INSULATED</b>			
DIMPLE DRAINAGE MATTING ON			0
2 COATS BITUMOUS DAMP PROOFING ON			0.21
8" REINF'D CONC FDN WALL			0.08
1.5" EXTRUDED POLYSTYRENE			1.32
2X4 STUD WALL @ 24" O/C	13	0.756	1.903
R-14 MINERAL WOOL INSULATION	87	2.46	
<b>AB</b> 1/2" GWB W. PAINT FINISH			0.08
<b>TOTAL EFFECTIVE RSI (MIN RSI 1.99) :</b>			<b>3.593</b>
<b>W4 - BELOW GRADE FOUNDATION WALL CONST.</b>			
DIMPLE DRAINAGE MATTING ON			
2 COATS BITUMOUS DAMP PROOFING ON			
8" REINF'D CONC FDN WALL			
<b>W5 - INTERIOR WALL ASSEMBLY -1 HR FIRE RATED (BCBC WALL TYPE W13b)</b>			
1/2" G.W.B. (TYPE 'X' WHERE INDICATED)			
2- 2X4 STUD WALL (16" O.C.) W/ 1/2" AIRSPACE			
ACCOUSTIC BATT INSULATION BOTH WALLS			
1/2" G.W.B. (TYPE 'X' WHERE INDICATED)			
<b>W6 - INTERIOR GARAGE PARTITION</b>			
INT AIR FILM			0.120
1/2" DRYWALL			0.080
2X6 STUD WALL @ 16" O/C	23	1.117	2.470
<b>AB</b> R22 BATT INSUL	77	3.87	
1/2" DRYWALL			0.080
INT AIR FILM			0.120
<b>TOTAL EFFECTIVE RSI (MIN REQ'D 2.78 RSI)</b>			<b>2.870</b>
<b>W7 - VERT FIN WALL</b>			
SIDING (REFER ELEVATIONS)			
1/2" PT VERT PLY STRAPPING (ALIGN W/ STUDS) ON			
TYVEK BUILDING PAPER ON			
1/2" FIR PL-WOOD SHEATHING			
2X10 STUD WALL @ 16" O/C			
1/2" FIR PLYWOOD SHEATHING			
TYVEK BUILDING PAPER ON			
1/2" PT VERT PLY STRAPPING (ALIGN W/ STUDS) ON			
SIDING (REFER ELEVATIONS)			

FLOOR ASSEMBLIES	% FRAM'G	RSI	RSI
<b>F1 - TYPICAL FLOOR ASSEMBLY</b>			
INT AIR FILM			0.16
FIN FLOORING (SEE PLANS) ON			
<b>AB</b> 3/4" T&G PLY SUBFLOOR			0.205
(GLUED AND SCREWED) ON			
11 7/8 TJI FLOOR JOIST W/	9	2.05	5.775
CROSS BRIDGING (SEE STRUCT)			
<b>FOR INTERIOR FLOOR</b>			
1/2" DRYWALL			
PAINT FINISH			
<b>FOR FLOOR OVER SUITE (BCBC F6c)</b>			
2 LAYERS 3.5" ROXUL SAFE-N-SOUND INSUL			
1/2" RESILIENT CHANNEL			
2 LAYERS 5/8" TYPE 'X' DRYWALL - PAINT FINISH			
<b>FOR EXT COLD FLOOR</b>			
R40 BATT INSULATION	91	7.04	
CEDAR SOFFIT W/ VENT STRIP			0
EXT AIR FILM			0.03
<b>TOTAL EFFECTIVE RSI (MIN REQ'D RSI 4.67)</b>			<b>6.01</b>
<b>F2 - TYPICAL REINFORCED CONCRETE SLAB</b>			
INT AIR FILM			0.16
FINISHED FLOOR ON			0
4" REINF'D CONC. SLAB- (30 MPA IN GARAGE)			0.041
(SEE STRUCT'L) ON			
R15 XPS RIGID INSULATION			2.64
<b>AB</b> 6 MIL U.V. POLY MOISTURE BARRIER-			0
COMPACTED FILL			
<b>TOTAL EFFECTIVE RSI (MIN REQ'D RSI 1.96)</b>			<b>2.841</b>
<b>F3 - DECK</b>			
24"X24"X2" CONC PAVERS ON			
RUBBER SHIMS ON			
2 PLY TORCH ON MEMBRANE ON			
3/4" FIR PLY T&G SHEATHING ON			
<b>FURRING STRIPS 2% SLOPE TO MIN 1.5" THICK ON</b>			
2X10 JOISTS - SEE STRUCT			
1/4 SQUARE EDGE CEDAR SOFFIT W/ VENT STRIP			
<b>F4 - LOWER DECK</b>			
COMPOSITE WOOD DECKING ON			
2X10 PT JOISTS @ 16" O/C (SEE STRUCT)			

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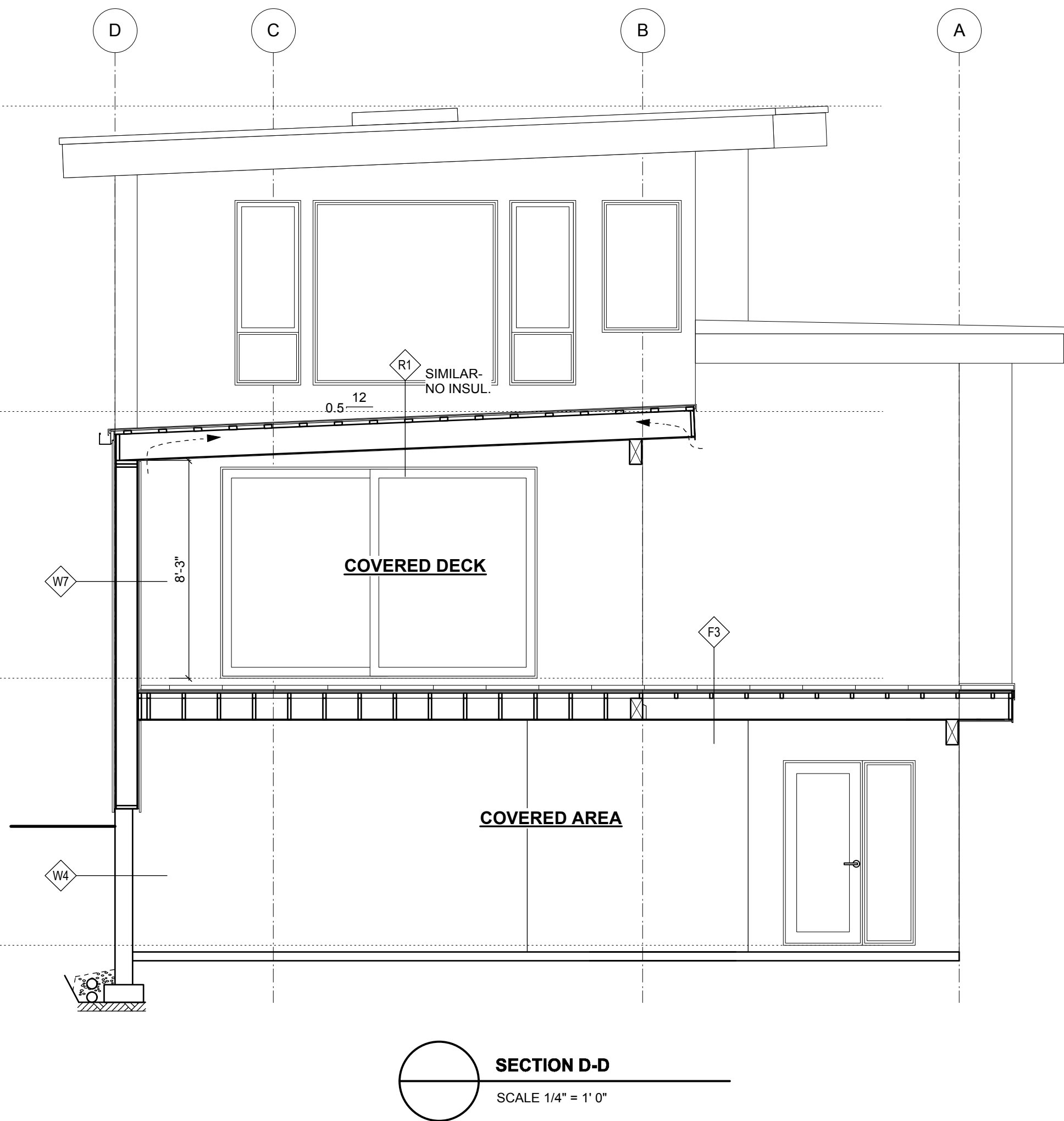
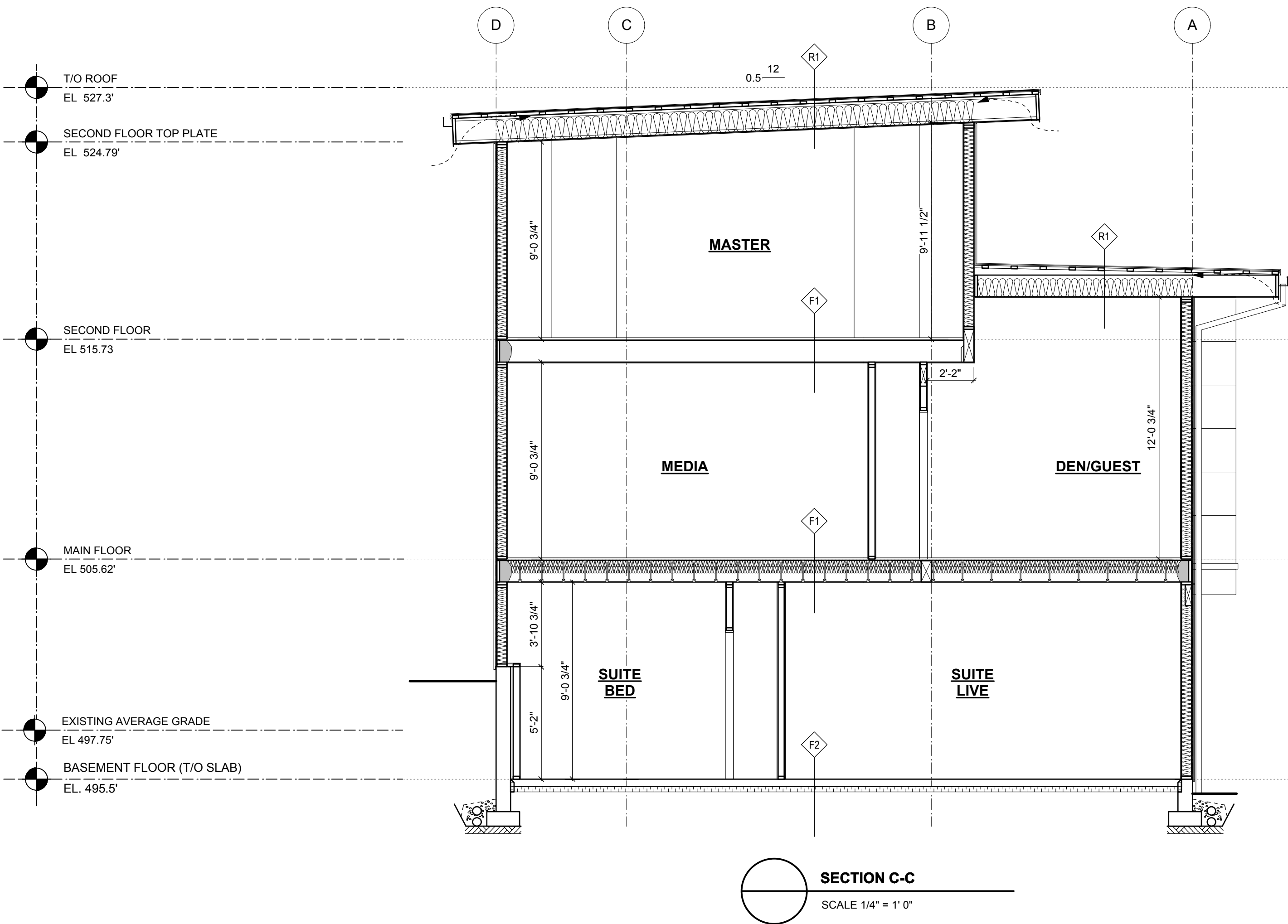
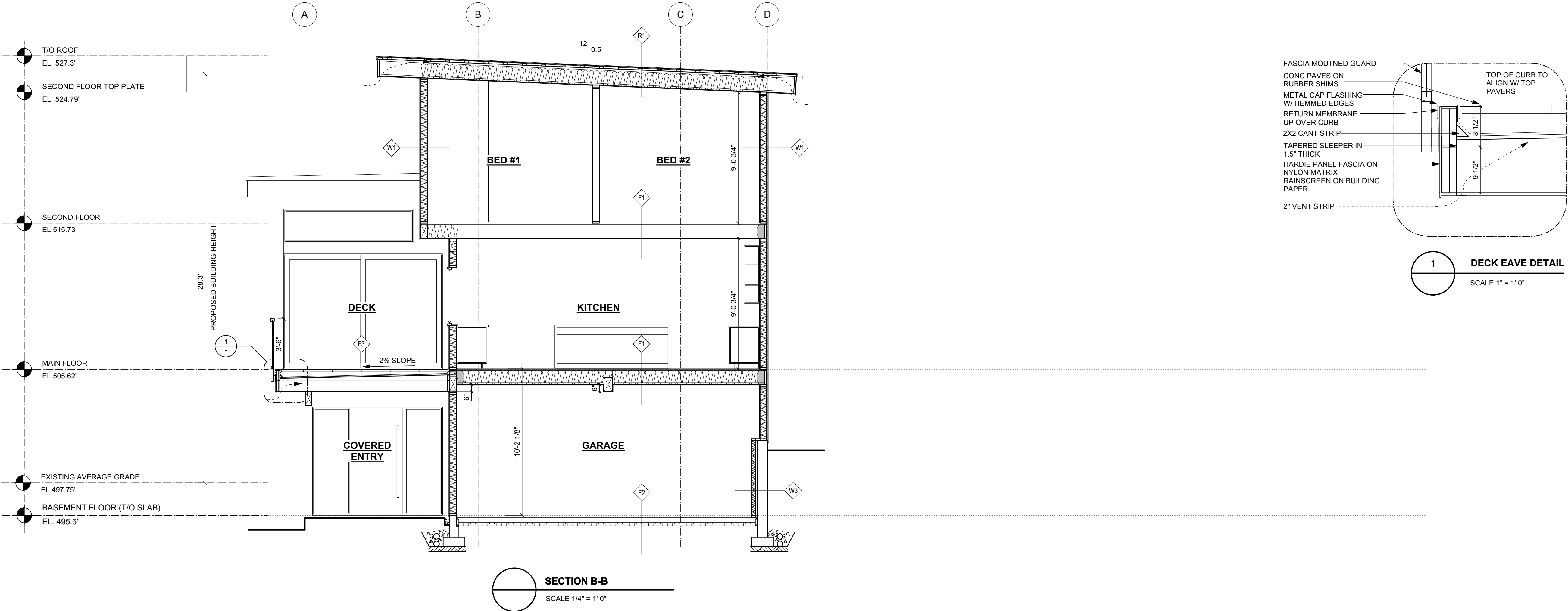
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Project  
**ELLIOT RESIDENCE**  
3305 DESCARTES PLACE,  
SQUAMISH, BC

Drawing Title  
**SECTIONS**

Date DEC 20, 2017	Project No. 1712
Scale AS SHOWN	Drawing No.
Drawn By MK	<b>A4</b>
Approved By	





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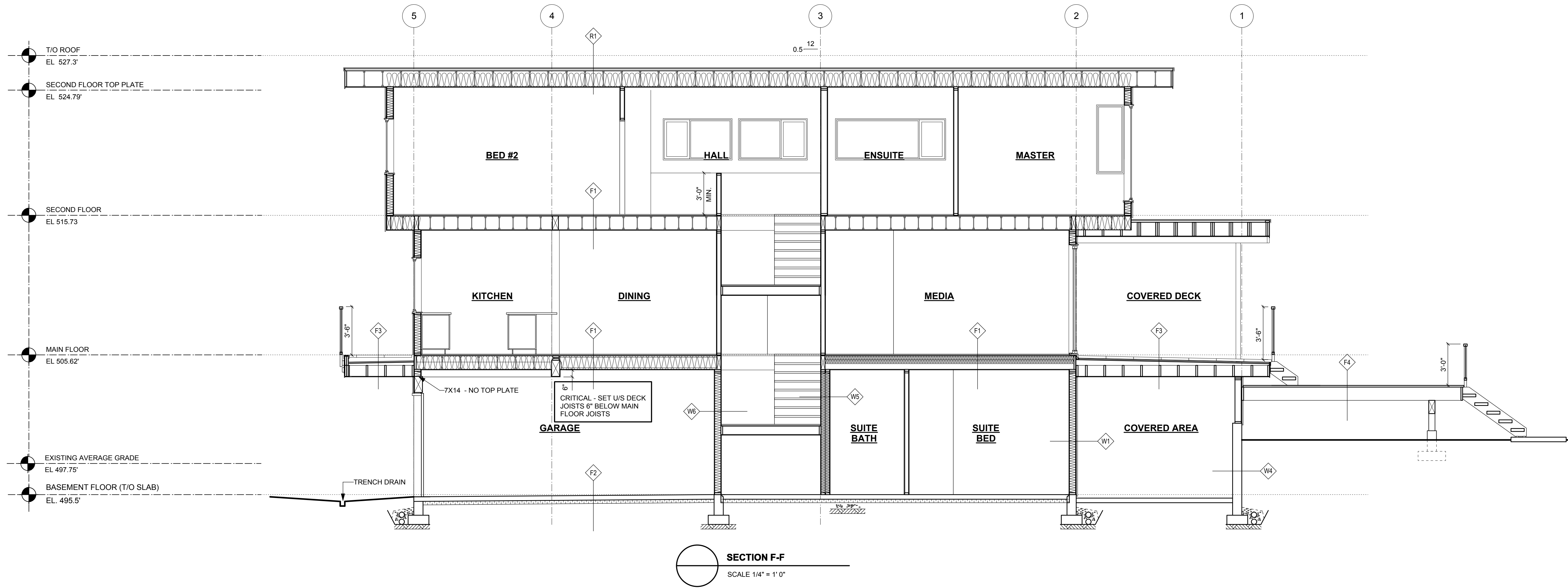
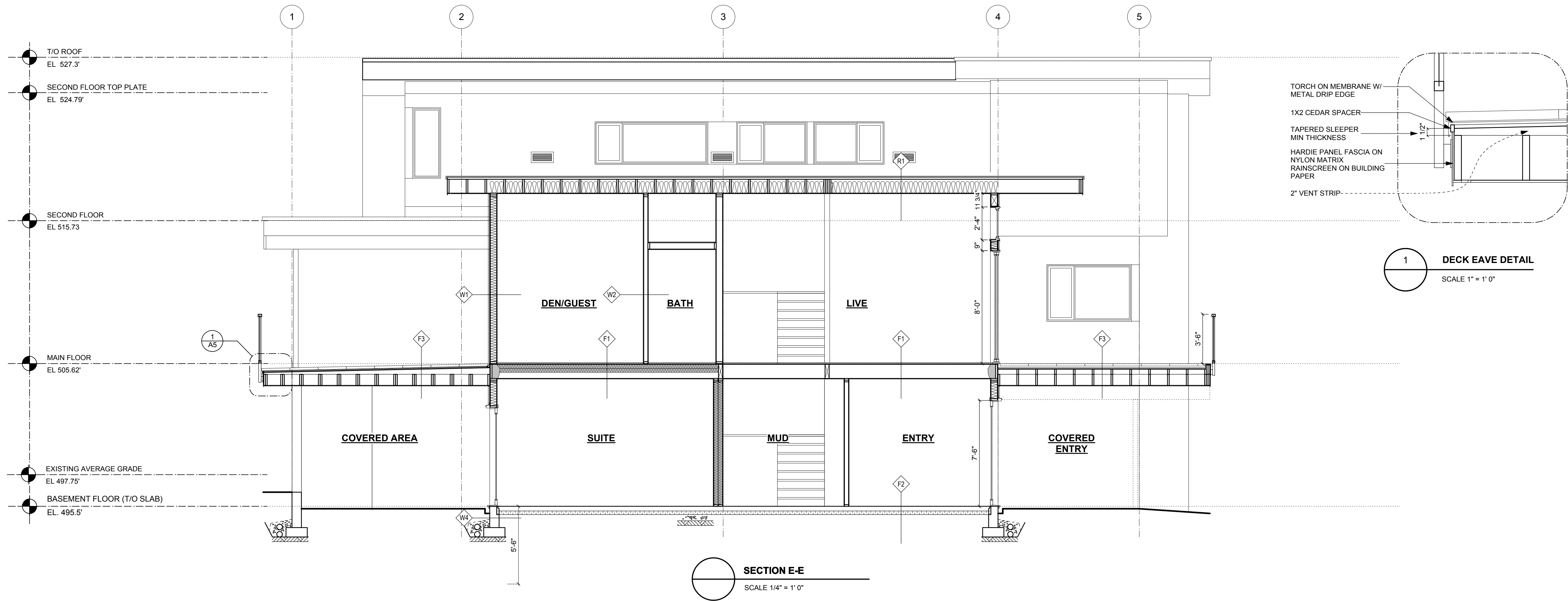
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Date	DEC 20, 2017	Project No.	1712
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Approved By			



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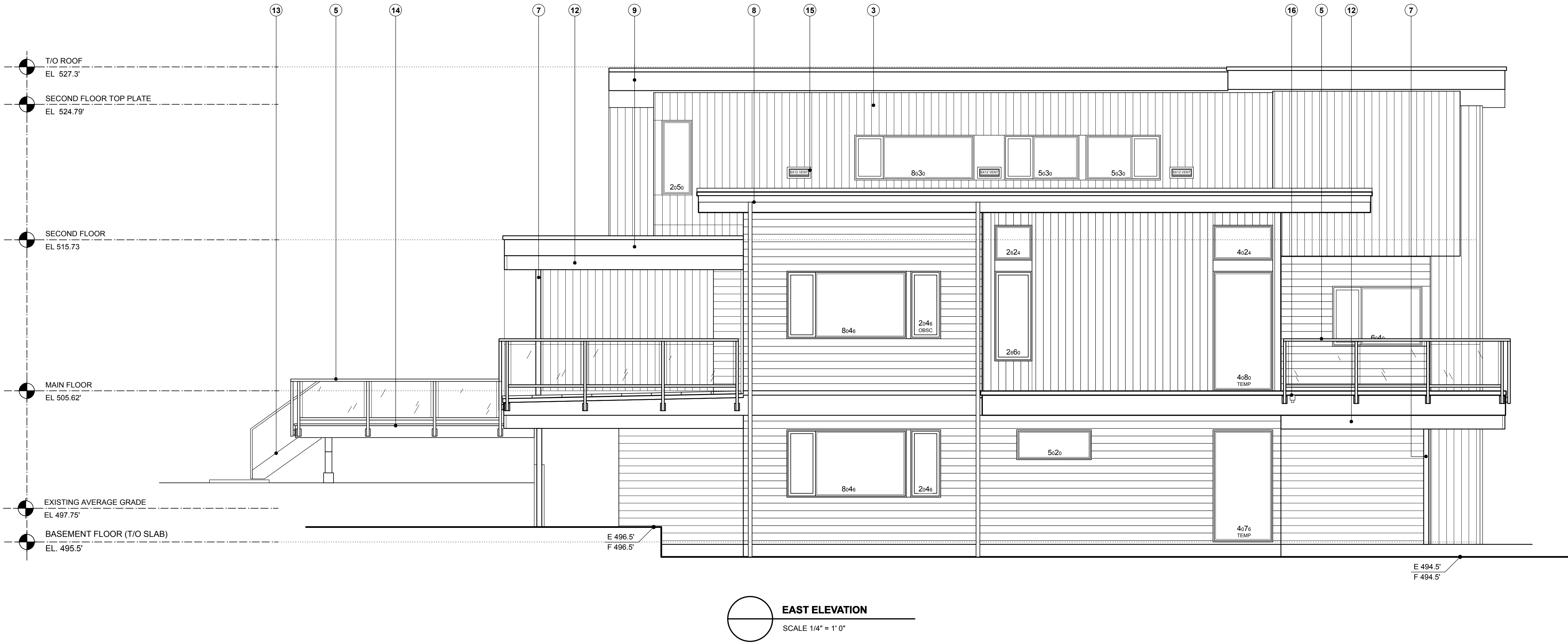
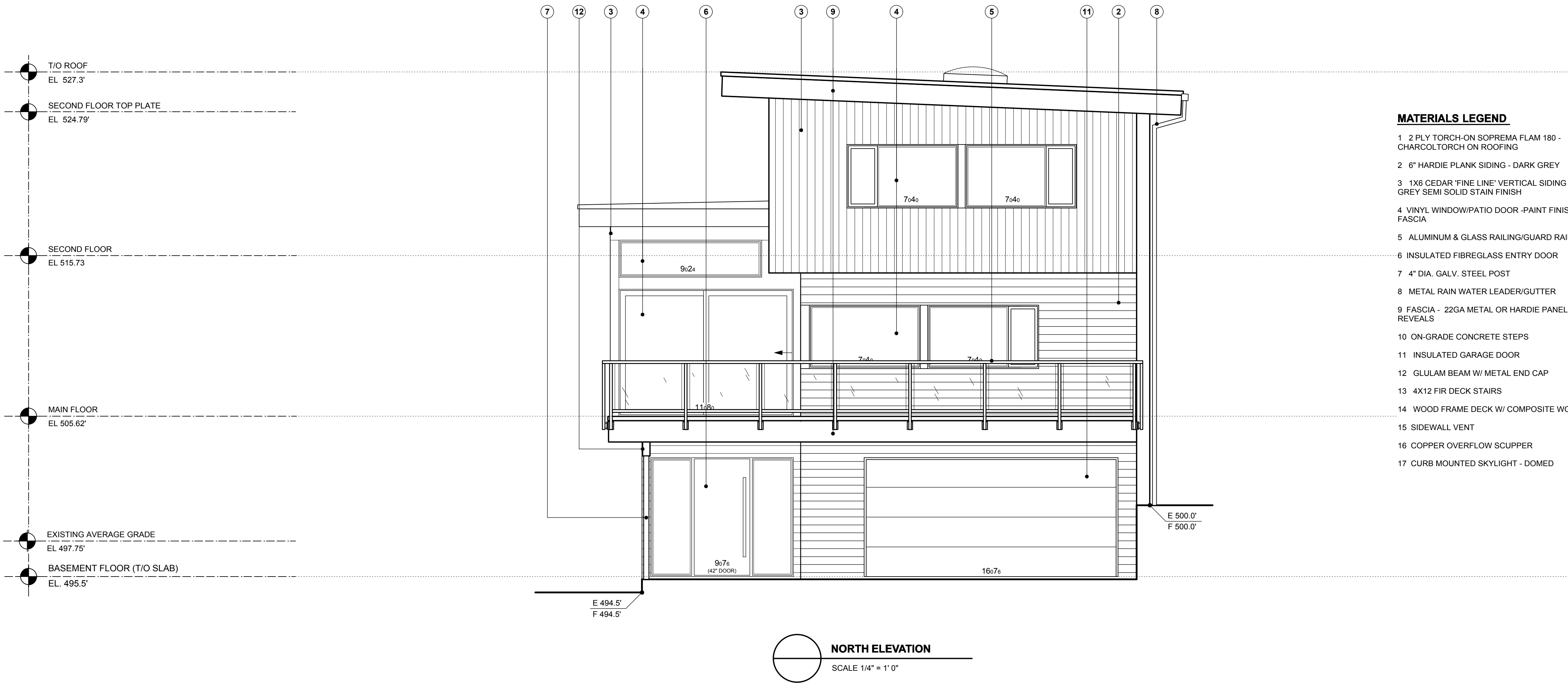
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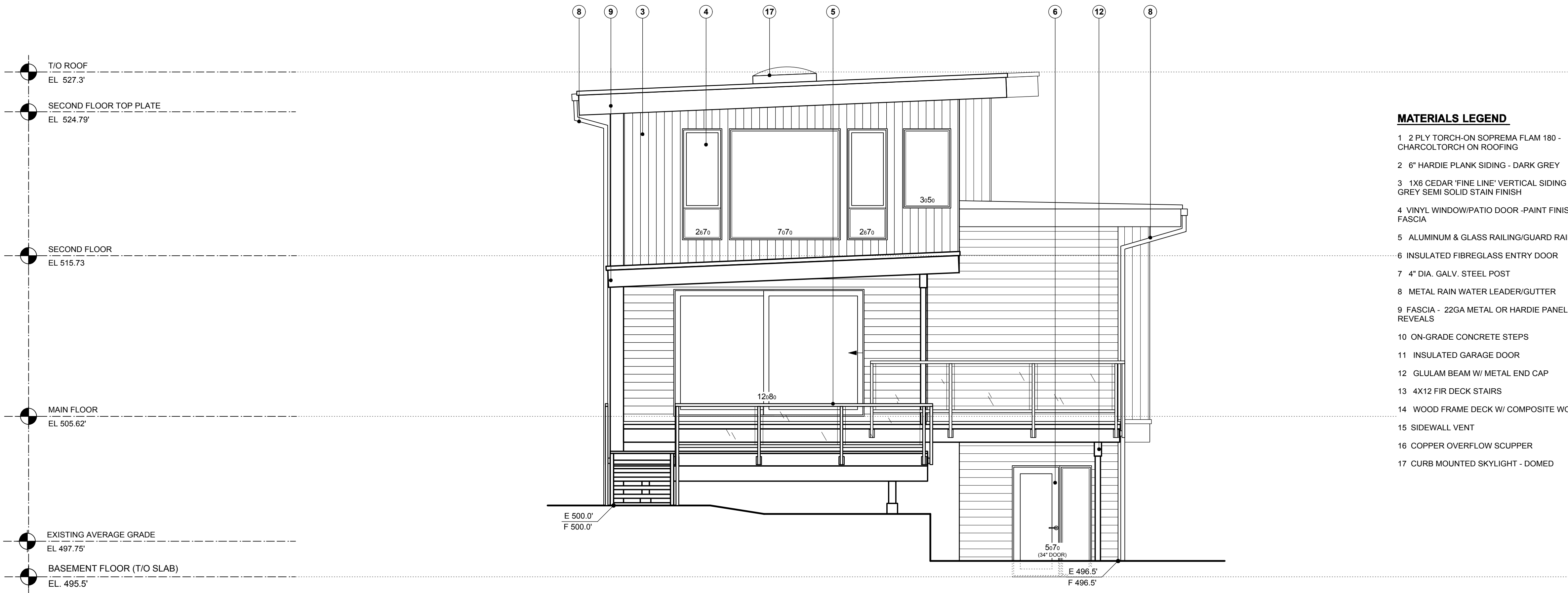
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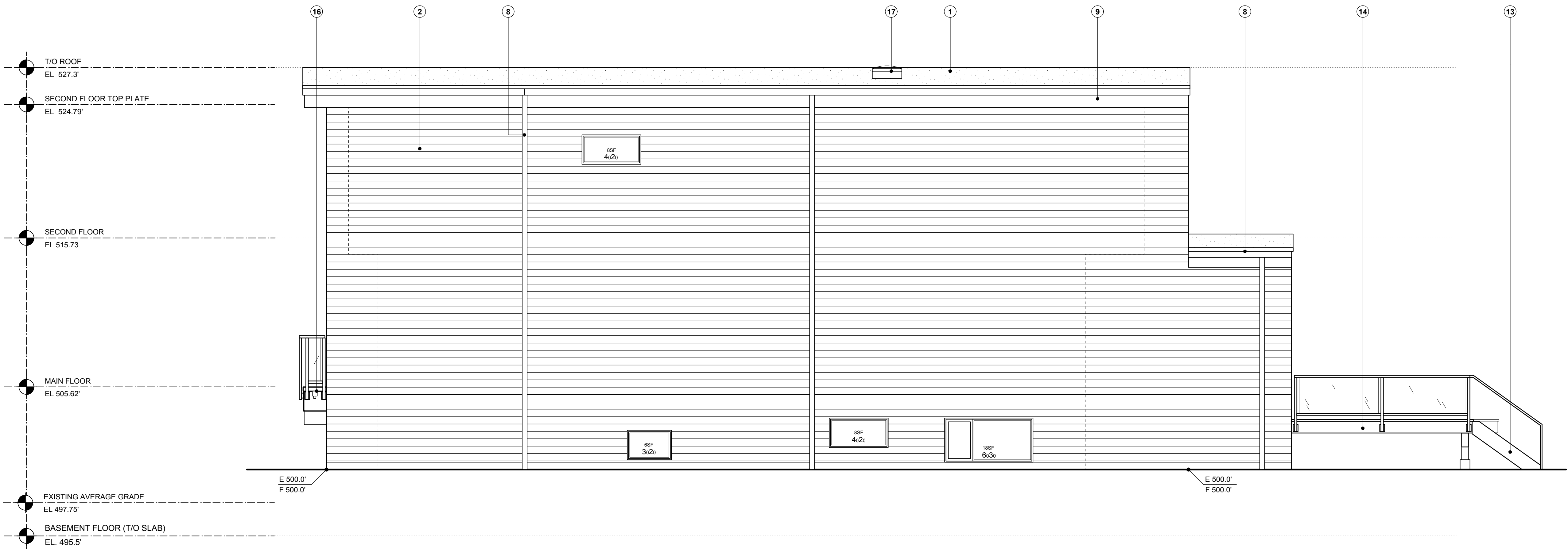
Date DEC 20, 2017	Project No. 1712
Scale AS SHOWN	Drawing No. <b>A7</b>
Drawn By MK	
Approved By	





- MATERIALS LEGEND**
- 1 2 PLY TORCH-ON SOPREMA FLAM 180 - CHARCOLTORCH ON ROOFING
  - 2 6" HARDIE PLANK SIDING - DARK GREY
  - 3 1X6 CEDAR 'FINE LINE' VERTICAL SIDING - LIGHT GREY SEMI SOLID STAIN FINISH
  - 4 VINYL WINDOW/PATIO DOOR - PAINT FINISH MATCH FASCIA
  - 5 ALUMINUM & GLASS RAILING/GUARD RAIL
  - 6 INSULATED FIBREGLASS ENTRY DOOR
  - 7 4" DIA. GALV. STEEL POST
  - 8 METAL RAIN WATER LEADER/GUTTER
  - 9 FASCIA - 22GA METAL OR HARDIE PANEL W EZ TRIM REVEALS
  - 10 ON-GRADE CONCRETE STEPS
  - 11 INSULATED GARAGE DOOR
  - 12 GLULAM BEAM W/ METAL END CAP
  - 13 4X12 FIR DECK STAIRS
  - 14 WOOD FRAME DECK W/ COMPOSITE WOOD DECKING
  - 15 SIDEWALL VENT
  - 16 COPPER OVERFLOW SCUPPER
  - 17 CURB MOUNTED SKYLIGHT - DOMED

**NORTH ELEVATION**  
SCALE 1/4" = 1' 0"



**EAST ELEVATION**  
SCALE 1/4" = 1' 0"

Unprotected Openings Calculation		
	West Elevation	
Area of Exposing Building Face (sf)		124.5 sf
Limiting Distance (ft.)		7 ft.
Max. Allowable Unprotected Openings (%)		8%
Max. Allowable Unprotected Openings (sf)		99.6 sf
Proposed Unprotected Openings		40 sf

It is the Builder's responsibility to lay out & carry out the work as detailed in the contract documents. It is therefore necessary for the builder to pay very close attention to actual site dimensions, geometries and conditions which may vary from those assumed on the drawings.

Any discrepancies which the Builder discovers within the contract documents themselves or between the contract documents & site conditions, are to be discussed with the Designer immediately before proceeding with any work.

Written dimensions shall have precedence over scaled dimensions.

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Revisions			
No.	Date	Details	By

LEGEND	
V.I.F.	VERIFY IN FIELD
U.N.O.	UNLESS NOTED OTHERWISE
T/O	TOP OF
U/S	UNDERSIDE
O/H	OVERHANG
B/U	BUILT UP
C/L	CENTRE LINE
RWL	RAIN WATER LEADER
	BATH EXHAUST FAN
	INTERCONNECTED SMOKE ALARM
EQ.	EQUAL
	NATURAL GAS BBQ BIB
	HOSE BIB

ISSUED FOR BUILDING PERMIT AUG 15, 2017

**kerschbaumer** DESIGN

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Project

**ELLIOT RESIDENCE**

3305 DESCARTES PLACE,  
SQUAMISH, BC

Drawing Title

**ELEVATIONS**

Date DEC 20, 2017	Project No. 1712
Scale AS SHOWN	Drawing No. <b>A8</b>
Drawn By MK	
Approved By	