



COWICHAN VALLEY REGIONAL DISTRICT

BUILDING INSPECTION RECORD

BUILDING PERMIT NO: D-78-15 DATE: March 12/15
 CIVIC ADDRESS: 4530 Lanes Road LOT: 1
 PID NO: 029-068-851 LAND DISTRICT: Cowichan
 PERMIT REQUIRED TO: SFD
 OWNER: Shane and Darlene Hixson PHONE NO: [REDACTED]
 BUILDER: _____ PHONE NO: _____

INSPECTION		DATE COMPLETED	CORRECTION REQUIRED	INSPECTOR
Site Inspection				
Footing Forms		APRIL 9/15		AK
Perimeter Tile and Drain Rock Cover		APRIL 24/15 - SEE REPORT - P. ENG + GEOTECH		AK
Water/Sewer/Storm Hook-up		JUNE 24/15		AK
Plumbing	Underslab	JULY 3/15 (GARAGE)		Im
	Rough-in	AUG 24/15		AK
Framing		JULY 15/15		AK
Insulation	Finance Notification Date: <u>SEPT 23</u> <input checked="" type="checkbox"/>	SEPT 22/15		AK
Miscellaneous: INFILTRATOR		SEPT 15/15		AK
1 HR GARAGE CEILING		SEPT 25/15		AK
Final Occupancy Issued		DEC 22/15	DEC 21/15	AK

PLUMBING DECLARATION: DEC 21/15 VIHA APPROVAL: [Signature]
 ELECTRICAL DECLARATION: DEC 22/15 ENGINEERING: FIELD REVIEW AUG 4/15
 GAS PERMIT NUMBER: DEC 21/15 CB AUG 12/15
 SURVEY CERTIFICATE: DEC 22/15 DP / DVP COMPLETE: DEC 19/15



C·V·R·D

COWICHAN VALLEY REGIONAL DISTRICT
BUILDING INSPECTION DIVISION

OCCUPANCY CERTIFICATE

Pursuant to the Cowichan Valley Regional District Building Bylaw #3422, permission is hereby granted to occupy the described building or dwelling unit subject to any conditions as noted:

Address: 4530 Lanes Road

PID Number: 029-068-851

Building Permit: D-78-15

Conditions: Single Family Dwelling. No cooking facilities in space above garage.
Building Permit required to create legal suite.

IMPORTANT NOTICE

Pursuant to the Regional District regulations currently in effect, this permit confirms that the Regional District has reviewed the plans and application form with respect to the subject building. This permit is not a warranty that the subject building will comply with all Regional and Provincial regulations governing building construction nor that it is without defect.

Per:

Norman Knodel RBO

Senior Building Inspector

Date:

Dec 22/15

CVRD House Number Bylaw No. 1341 requires house numbers posted by the owner or occupier of principal buildings

THIS DOCUMENT IS NOT VALID UNLESS DIGITALLY SIGNED



C.V.R.D.

**COWICHAN VALLEY REGIONAL DISTRICT
INSPECTIONS & ENFORCEMENT DIVISION
PLUMBER DECLARATION**

NAME OF PLUMBING CONTRACTOR (PRINT): <u>2K PLUMBING LTD</u>	PROJECT: NAME AND ADDRESS: <u>4530 LANES RD</u>
<u>R. K Hill</u>	<u>Cowichan Bay BC</u>
T.Q. NUMBER: [REDACTED]	<u>VOR 1N2</u>
PHONE NO: <u>250-732-1490</u>	BUILDING PERMIT NUMBER: <u>D-78-15</u>

This will confirm that I have personally completed the plumbing installation at the above-described premises and declare:

1. That I am registered as a Plumber with a British Columbia Trades Qualification Certificate.
2. That I have installed the plumbing and conducted all the required tests in accordance with the current B.C. Plumbing Code.
3. That I have reviewed and followed the building plans accompanying the building permit described herein.

<input checked="" type="checkbox"/> Plumbing Underslab	<input checked="" type="checkbox"/> Water Connection
<input checked="" type="checkbox"/> Plumbing Rough-in	<input checked="" type="checkbox"/> Sanitary Sewer Connection
<input type="checkbox"/> Sprinkler System - Irrigation System	<input type="checkbox"/> Storm Drain Connection
<input checked="" type="checkbox"/> CSA Approved 6 Litre toilets have been installed	<input checked="" type="checkbox"/> Water Hammer Arrestors (At Dishwasher, Clothes Washer & Fridge)
Signature: <u>[REDACTED]</u>	Date: <u>DEC 19/15</u>

OWNER DECLARATION

This will confirm that I am the registered owner and intend to occupy the premises described hereon and will install my own plumbing in accordance with the requirements of the B.C. Plumbing Code as shown on the attached isometric sketch of the D.W.V. and potable water system.

Name: (Print) _____

Signature: _____ Date: _____



COWICHAN VALLEY REGIONAL DISTRICT

DEVELOPMENT PERMIT

FILE NO: 02-D-15DP (PAGE 1 REVISION)

DATE: MAY 22, 2015

REGISTERED PROPERTY OWNER(S):

SHANE & DARLENE HIXSON

#1 – 6078 TRUESDALE STREET

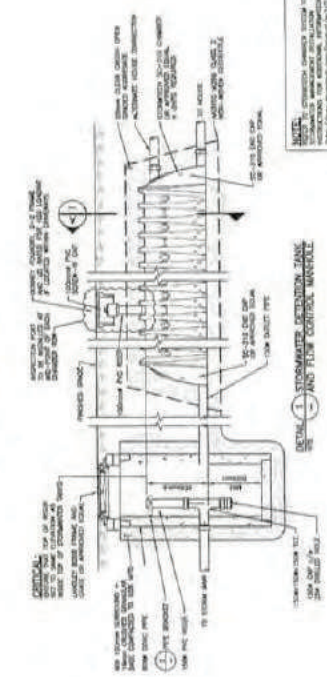
DUNCAN BC V9L 0B4

1. This Development Permit is issued subject to compliance with all of the bylaws of the Regional District applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands within the Regional District described below (legal description):

Lot 1, Section 4, Range 6, Cowichan District, Plan EPP26079, Except part in
Plan EPP26080 (PID: 029-068-851)

3. Authorization is hereby given for development of a single family dwelling in accordance with the conditions listed in Section 4, below.
4. The development shall be carried out in accordance with the following requirements:
 - a) The location of the development shall be as shown on the attached site plan;
 - b) The no-build area identified in Covenant CA3105992, registered on title to the above-noted lands, shall remain undisturbed and free of development except as explicitly permitted by this permit;
 - c) Silt fencing shall be installed and remain in place throughout site preparation and development to delineate areas of non-disturbance and to prevent sedimentation, erosion and runoff to adjacent properties;
 - d) Existing trees to be retained shall be delineated with protective fencing at the drip-line, which shall remain in place throughout site preparation and development;
 - e) The stormwater management system specified in Covenant CA3105994, registered on title to the above-noted lands, shall be installed and maintained as specified in the Covenant, and in accordance with the detailed Stormwater Management drawing prepared by Ian McCall of McElhanney Consulting Services Ltd., Drawing No. 15-317-01 prepared 2015-05-06; Modified by letter dated May 22, 2015;
 - f) Erosion and sediment control measures shall be as specified in Covenant CA3105992, including but not limited to:
 - i) Where possible, conducting earthworks activities during dry months of the year;
 - ii) Covering temporary fills or stockpiles with sheeting or tarps;
 - iii) Installing sediment ponds or traps to retain washdown water and sediments at construction site access points;

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REVISION
(Drawing No. 15-317-01; May 6, 2015)

*THIS DRAWING AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DRAWING OR SPECIFICATIONS IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.		1. 2004-20-08 20 2. 2004-20-08 20 3. 2004-20-08 20 4. 2004-20-08 20		5. 2004-20-08 20 6. 2004-20-08 20 7. 2004-20-08 20 8. 2004-20-08 20		9. 2004-20-08 20 10. 2004-20-08 20 11. 2004-20-08 20 12. 2004-20-08 20		13. 2004-20-08 20 14. 2004-20-08 20 15. 2004-20-08 20 16. 2004-20-08 20		17. 2004-20-08 20 18. 2004-20-08 20 19. 2004-20-08 20 20. 2004-20-08 20		21. 2004-20-08 20 22. 2004-20-08 20 23. 2004-20-08 20 24. 2004-20-08 20		25. 2004-20-08 20 26. 2004-20-08 20 27. 2004-20-08 20 28. 2004-20-08 20		29. 2004-20-08 20 30. 2004-20-08 20 31. 2004-20-08 20 32. 2004-20-08 20		33. 2004-20-08 20 34. 2004-20-08 20 35. 2004-20-08 20 36. 2004-20-08 20		37. 2004-20-08 20 38. 2004-20-08 20 39. 2004-20-08 20 40. 2004-20-08 20		41. 2004-20-08 20 42. 2004-20-08 20 43. 2004-20-08 20 44. 2004-20-08 20		45. 2004-20-08 20 46. 2004-20-08 20 47. 2004-20-08 20 48. 2004-20-08 20		49. 2004-20-08 20 50. 2004-20-08 20 51. 2004-20-08 20 52. 2004-20-08 20		53. 2004-20-08 20 54. 2004-20-08 20 55. 2004-20-08 20 56. 2004-20-08 20		57. 2004-20-08 20 58. 2004-20-08 20 59. 2004-20-08 20 60. 2004-20-08 20		61. 2004-20-08 20 62. 2004-20-08 20 63. 2004-20-08 20 64. 2004-20-08 20		65. 2004-20-08 20 66. 2004-20-08 20 67. 2004-20-08 20 68. 2004-20-08 20		69. 2004-20-08 20 70. 2004-20-08 20 71. 2004-20-08 20 72. 2004-20-08 20		73. 2004-20-08 20 74. 2004-20-08 20 75. 2004-20-08 20 76. 2004-20-08 20		77. 2004-20-08 20 78. 2004-20-08 20 79. 2004-20-08 20 80. 2004-20-08 20		81. 2004-20-08 20 82. 2004-20-08 20 83. 2004-20-08 20 84. 2004-20-08 20		85. 2004-20-08 20 86. 2004-20-08 20 87. 2004-20-08 20 88. 2004-20-08 20		89. 2004-20-08 20 90. 2004-20-08 20 91. 2004-20-08 20 92. 2004-20-08 20		93. 2004-20-08 20 94. 2004-20-08 20 95. 2004-20-08 20 96. 2004-20-08 20		97. 2004-20-08 20 98. 2004-20-08 20 99. 2004-20-08 20 100. 2004-20-08 20		101. 2004-20-08 20 102. 2004-20-08 20 103. 2004-20-08 20 104. 2004-20-08 20		105. 2004-20-08 20 106. 2004-20-08 20 107. 2004-20-08 20 108. 2004-20-08 20		109. 2004-20-08 20 110. 2004-20-08 20 111. 2004-20-08 20 112. 2004-20-08 20		113. 2004-20-08 20 114. 2004-20-08 20 115. 2004-20-08 20 116. 2004-20-08 20		117. 2004-20-08 20 118. 2004-20-08 20 119. 2004-20-08 20 120. 2004-20-08 20		121. 2004-20-08 20 122. 2004-20-08 20 123. 2004-20-08 20 124. 2004-20-08 20		125. 2004-20-08 20 126. 2004-20-08 20 127. 2004-20-08 20 128. 2004-20-08 20		129. 2004-20-08 20 130. 2004-20-08 20 131. 2004-20-08 20 132. 2004-20-08 20		133. 2004-20-08 20 134. 2004-20-08 20 135. 2004-20-08 20 136. 2004-20-08 20		137. 2004-20-08 20 138. 2004-20-08 20 139. 2004-20-08 20 140. 2004-20-08 20		141. 2004-20-08 20 142. 2004-20-08 20 143. 2004-20-08 20 144. 2004-20-08 20		145. 2004-20-08 20 146. 2004-20-08 20 147. 2004-20-08 20 148. 2004-20-08 20		149. 2004-20-08 20 150. 2004-20-08 20 151. 2004-20-08 20 152. 2004-20-08 20		153. 2004-20-08 20 154. 2004-20-08 20 155. 2004-20-08 20 156. 2004-20-08 20		157. 2004-20-08 20 158. 2004-20-08 20 159. 2004-20-08 20 160. 2004-20-08 20		161. 2004-20-08 20 162. 2004-20-08 20 	
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COWICHAN VALLEY REGIONAL DISTRICT

DEVELOPMENT PERMIT

FILE NO: 2-D-15DP

DATE: MARCH 9, 2015

REGISTERED PROPERTY OWNER(S):

SHANE & DARLENE HIXSON

#1 – 6078 TRUESDALE STREET

DUNCAN BC V9L 0B4

1. This Development Permit is issued subject to compliance with all of the bylaws of the Regional District applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands within the Regional District described below (legal description):

Lot 1, Section 4, Range 6, Cowichan District, Plan EPP26079, Except part in Plan EPP26080 (PID: 029-068-851)
3. Authorization is hereby given for development of a single family dwelling in accordance with the conditions listed in Section 4, below.
4. The development shall be carried out in accordance with the following requirements:
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 - c) Silt fencing shall be installed and remain in place throughout site preparation and development to delineate areas of non-disturbance and to prevent sedimentation, erosion and runoff to adjacent properties;
 - d) Existing trees to be retained shall be delineated with protective fencing at the drip-line, which shall remain in place throughout site preparation and development;
 - e) The stormwater management system specified in Covenant CA3105994, registered on title to the above-noted lands, shall be installed and maintained as specified in the Covenant, and in accordance with the detailed Stormwater Management drawing prepared by Ian McCall of McElhanney Consulting Services Ltd., Drawing No. 15-317-1 prepared 2015-03-03;
 - f) Erosion and sediment control measures shall be as specified in Covenant CA3105992, including but not limited to:
 - i) Where possible, conducting earthworks activities during dry months of the year;
 - ii) Covering temporary fills or stockpiles with sheeting or tarps;
 - iii) Installing sediment ponds or traps to retain washdown water and sediments at construction site access points;

- iv) Halting construction during periods of significant precipitation;
 - v) Staging development activities to allow re-establishment of vegetation and minimize bare areas;
 - vi) Seeding or re-vegetating cut and fill slopes and disturbed areas and using mulches and other organic stabilizers to minimize erosion until vegetation is re-established.
- g) The subject property is to be cleared of any Spurge Laurel, English Ivy, Scotch Broom, Himalayan Blackberry and any other invasive species.
5. The land described herein shall be developed in substantial compliance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit shall form a part thereof.
6. The following Schedules are attached:

Schedule A – Site Plan

Schedule B – Storm Water Management Drawing No. 15-317-01

This Permit is not a Building Permit. No certificate of final completion shall be issued until all items of this Development Permit have been complied with to the satisfaction of the Planning and Development Department.

ISSUANCE OF THIS PERMIT HAS BEEN AUTHORIZED BY SECTION 7(f) OF CVRD DEVELOPMENT APPLICATION AND PROCEDURES AND FEES BYLAW NO. 3275.



Ross Blackwell, MCIP, RPP, General Manager
Planning & Development Department

NOTE: Subject to the terms of this Permit, if the holder of this Permit does not substantially start any construction within 2 years of its issuance, this Permit will lapse.

I HEREBY CERTIFY that I have read the terms and conditions of the Development Permit contained herein. I understand and agree that the Cowichan Valley Regional District has made no representations, covenants, warranties, guarantees, promises or agreements (verbal or otherwise) with SHANE AND DARLENE HIXSON other than those contained in this Permit.



Owner/Agent (signature)

Shane Hixson

Print Name

March 12 2015

Date



Witness (signature)

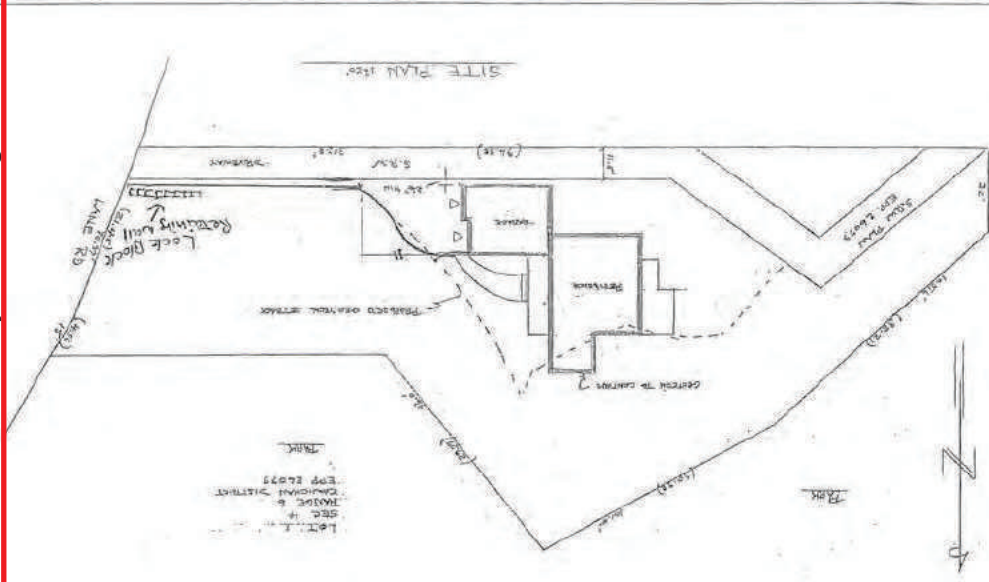
L. Wiersma

Print Name

Mar 12/15

Date

McElhanney Consulting Services Ltd

[illegible]

DATE: _____

TRAFKED RUSKIN

S - D - H - G - S

[illegible]



COWICHAN VALLEY REGIONAL DISTRICT
PLANNING & DEVELOPMENT DEPARTMENT
175 Ingram Street, Duncan, BC V9L 1N8
Tel: 746-2620; Fax: 746-2621

FILE

BUILDING Permit Application

Project Info

Address 4530 Lanes Rd.					Zoning R-2	
Lot 1	District Cowichan	Plan EPP26079	Elec. Area D	PID 029-068-851	Folio	
Description of Work: Build new house - SINGLE FAMILY DWELLING						

Building Use ☒ SFD ☐ Duplex ☐ Multi-Res. ☐ Commercial ☐ Industrial ☐

Construction ☒ New ☐ Addition ☐ Renovation ☐ Demolition ☐ Renewal ☐

Owner

Name(s)/Company Shane and Darlene Hixson		Contact Shane Hixson
Address [REDACTED]		
Telephone(s) [REDACTED]	Fax N/A	

Applicant
Or
Contractor
(circle one)

Name Shane Hixson	
Address [REDACTED]	
Telephone [REDACTED]	Fax

I, the owner of the above property, hereby authorize and appoint _____ as my agent for this application.

The undersigned owner/authorized agent of the owner makes application for the permit specified herein, and declares that the information submitted in support of the application is true and correct in all respects.

On [REDACTED]	Date 19 Jan 2015	Authorized Agent Signature	Date
---------------	-------------------------	----------------------------	------

Personal Information Declaration: This information is collected for the administrative and/or operational functions of the CVRD as authorized by the 'Local Government Act' and CVRD Building Bylaw No. 143. This information has been collected, and may be used, and/or listed in a Building Permit Listing, or forwarded to authorized agencies in accordance with the 'Freedom of Information and Protection of Privacy Act'.

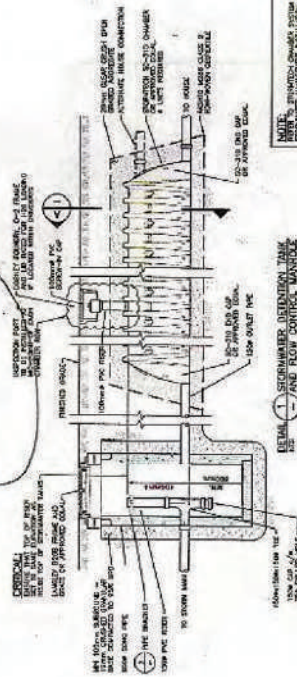
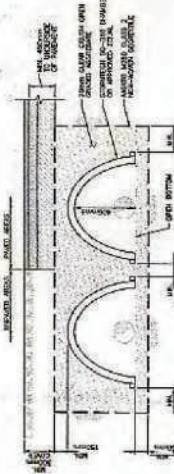
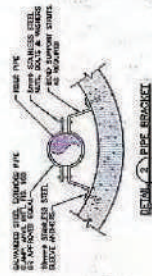
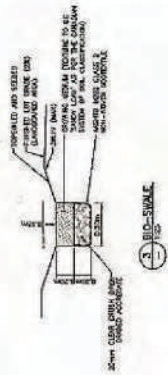
Office Use			
Building	Fee	Engineering Fee	Value of Improvement (including labour)
Building Permit	3096	Water Connection 300.00	\$ 309,560
Plumbing Permit	288	(Service Area) LEW CON	Building Inspector: NORMAN
Building Services	90	Sewer Connection 300.00	Engineering Department:
Land Titles		(Service Area) LES CON	Planning:
Other		Other	Date Issued: MR 12/15
Subtotal	\$ 3474	Subtotal \$ 600	Total Permit Fee: \$ 4074

Building Permit Issuance

Permission is hereby granted to: BUILD SFD AS DETAILED		DP <input checked="" type="checkbox"/> or DVP <input type="checkbox"/> # 2D-15DP
Complying with all CVRD Bylaws, BC Building Code and Approved Plans marked 'Site Copy'		This Building Permit is issued subject to conditions of the above DP or DVP.
Conditions SINGLE FAMILY DWELLING - NO SUITE		PERMIT # D-78-15
[REDACTED]	Receipt No.: 185363	Date Mar 12/15



INSTALLED
SEPT 15/15
INSPECTION



NOTE:
REFER TO FINITECH CLOUD'S SYSTEM FOR
STORAGE MANAGEMENT INSTALLATION
INSTRUCTIONS FOR ADDITIONAL INFORMATION.
(<http://www.finitech.net/learn/Products/nc23.html>)

DETAIL 1 STORMWATER DETENTION TANK
AND FLOW CONTROL MANHOLE

**APPROVAL
SUBMISSION**
MAY 8, 2015

McElhanney Consulting Services Ltd

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McElhanney Consulting Services Ltd

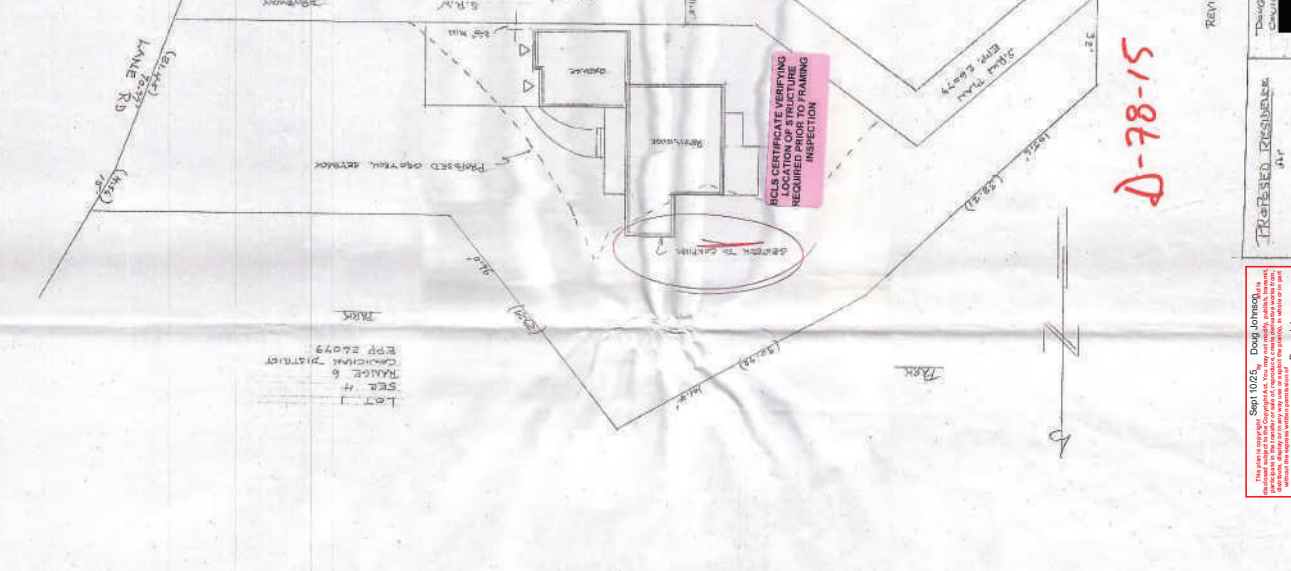
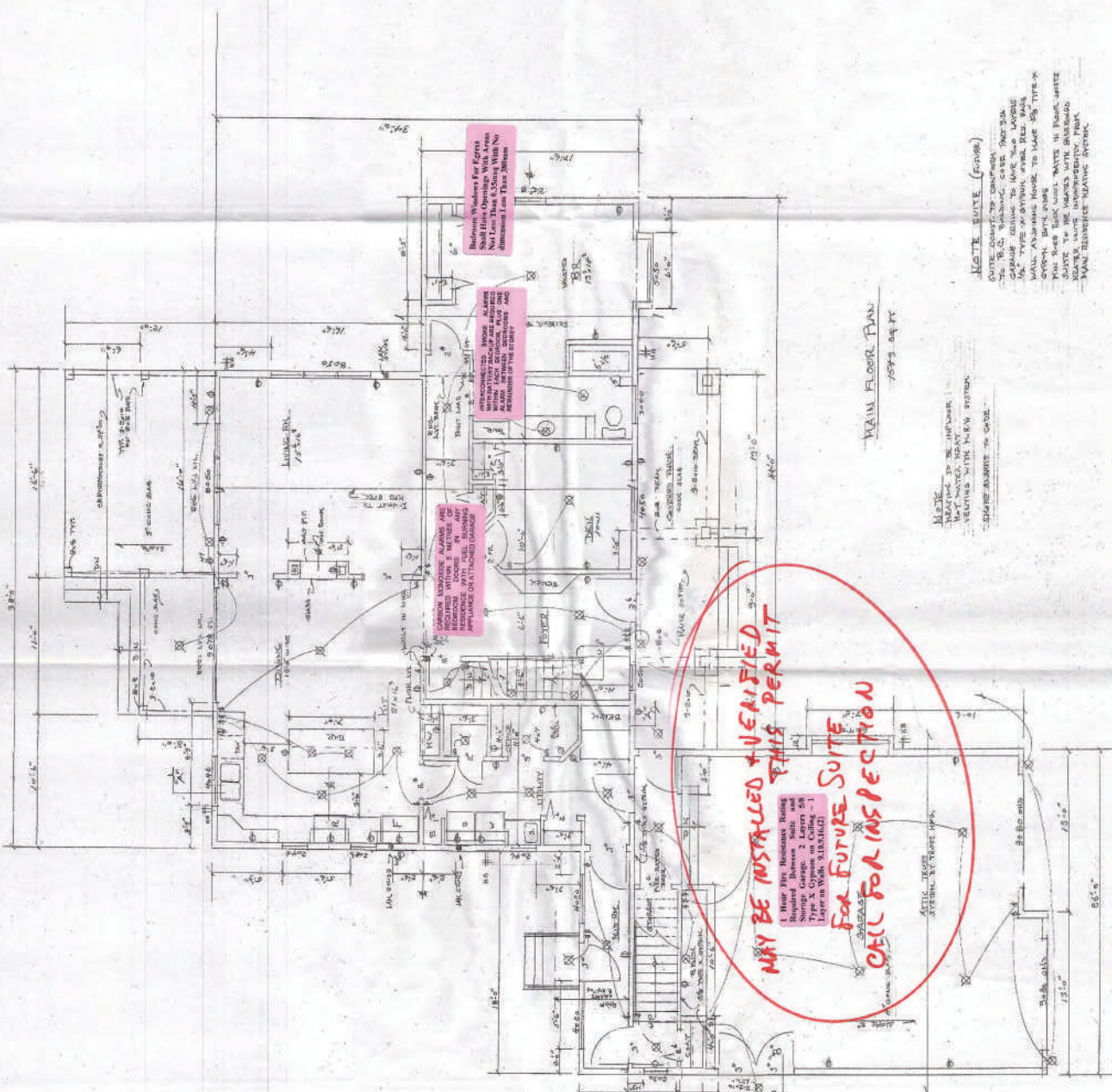


McElhanney
McElhanney Consulting Services Ltd.
325 - 2800 29TH AVE. S.W.
MONTREAL, QC H3Z 2T4
TEL (770) 430-0201
FAX (770) 430-0205

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PROJECT LOT 1, JAMES ROAD	SCALE NONE AS SHOWN N/A
SHEET STORM WATER MANAGEMENT	DESIGNED BY J. J. J. J.
	APPROVED AUTHORITY FILE NO. DRAWING NO.



NOTE: ATTACHED SHEET REGARDING REQUIREMENTS

HOUSE NUMBERS MUST BE DISPLAYED AT STREET

PROVIDE MECHANICAL VENTILATION CHECKLIST PRELIMINARY INSPECTION

Rough in plumbing and mechanical must be completed prior to framing inspection

POINT LOADS NOT DIRECTLY SUPPORTED BY FOUNDATION MUST BE FIELD REVIEWED BY STRUCTURAL ENGINEER

GROUND NEW LOAD 38 lbs.

PROVIDE SEALED DESIGN DOCUMENTS FOR ALL FRAMING JOINTS AND COMPONENTS AT FRAMING INSPECTION

CONNECTORS AND FASTENERS MUST BE FIELD REVIEWED BY STRUCTURAL ENGINEER

RESISTANT (STAINLESS STEEL OR HOT DIP GALVANIZED)

Secondary Suites are NOT Permitted (5.9/2020)

ALL WORK MUST CONFORM TO 2012 BC BUILDING CODE

OFFICE COPY

D-78-15

THESE RESIDENCE

DATE

DOUG JOHNSON

DATE

DOUG JOHNSON

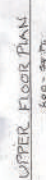
Sept 10/25, Doug Johnson, Inc. is responsible for the design and construction of the above described project. The project is subject to the BC Building Code and the BC Fire Code. The project is subject to the BC Building Code and the BC Fire Code. The project is subject to the BC Building Code and the BC Fire Code.

MAIN FLOOR PLAN

NOTE: SEE ATTACHED SHEET FOR FUTURE SUITE. SEE ATTACHED SHEET FOR FUTURE SUITE. SEE ATTACHED SHEET FOR FUTURE SUITE.

MAY BE INSTALLED + VERIFIED THIS PERMIT FOR FUTURE SUITE CALL FOR INSPECTION

1st Floor Residence Building
2nd Floor Residence Building
3rd Floor Residence Building
4th Floor Residence Building

[illegible]

NOTE
HEATING TO THE BATHING
HOT WATER
VENTILATION TO THE HOT WATER
CONSIDER ENOUGH HOT WATER

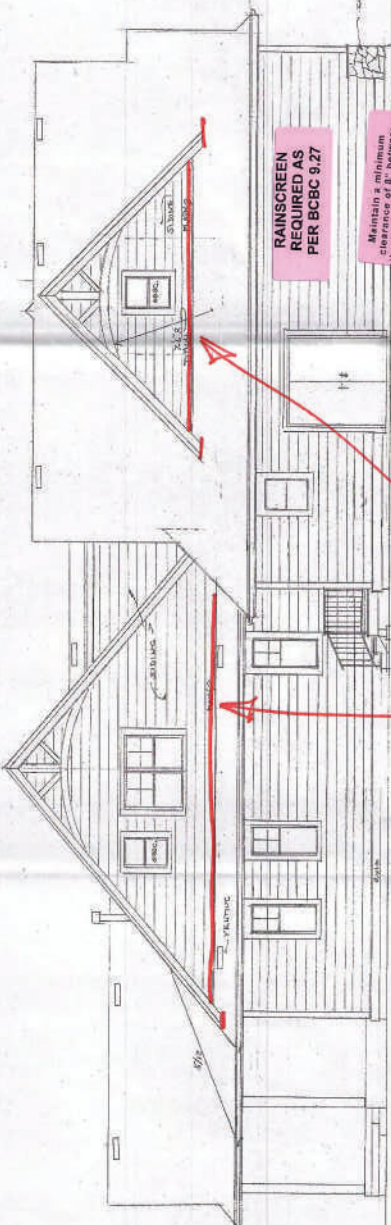


NOTE
HEATING TO THE BATHING
HOT WATER
VENTILATION TO THE HOT WATER
CONSIDER ENOUGH HOT WATER



STUDIO - APPLY FOR SEPARATE
PERMIT TO CONVERT
TO SUITE.
See 44.01.

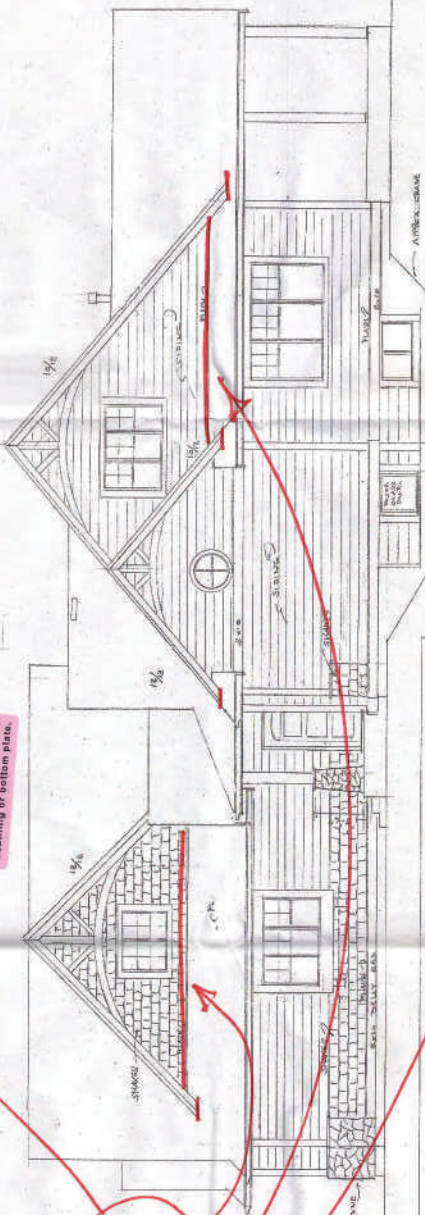
<p>RECEIVED FEB 2015</p> <p>DAVID JOHNSON CONVICTED MAY 82</p>	<p>DOUG JOHNSON B-876</p>
<p>FORWARDED RESIDENCE for</p>	<p>D + S HIXSON JAN 2015 16-110</p>



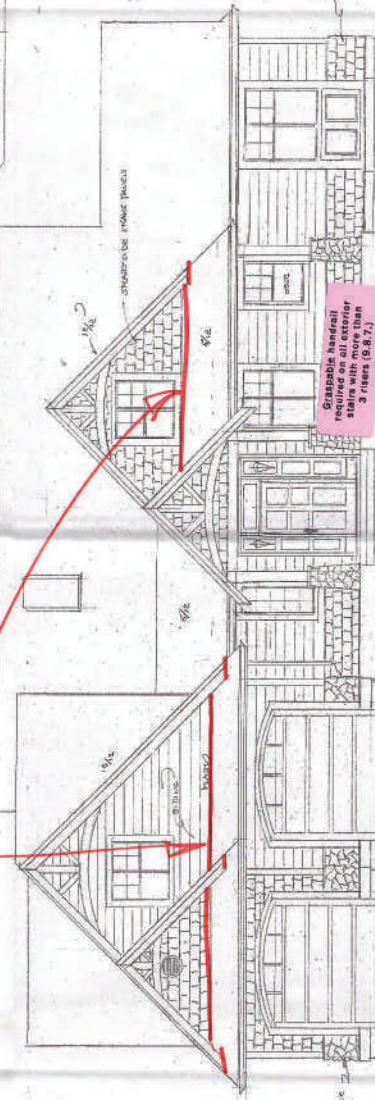
RAINSREEN
REQUIRED AS
PER BCBC 9.27

Maintain a minimum
clearance of 2' between
the finished grade and the
sloping or bottom plate

LEFT SIDE ELEV. (South)



RIGHT SIDE ELEV. (North)



Grassable handrail
required for all exterior
stairs with
3 risers (9.8.2.1)

NON-SKID SURFACE
REQUIRED FOR
TREADS AND LANDINGS
§9.06.4.1

FRONT ELEV. (West)

TYP.
Maintain 2' clearance
between Roof and
Exterior Finish.

REVISED PER 2015

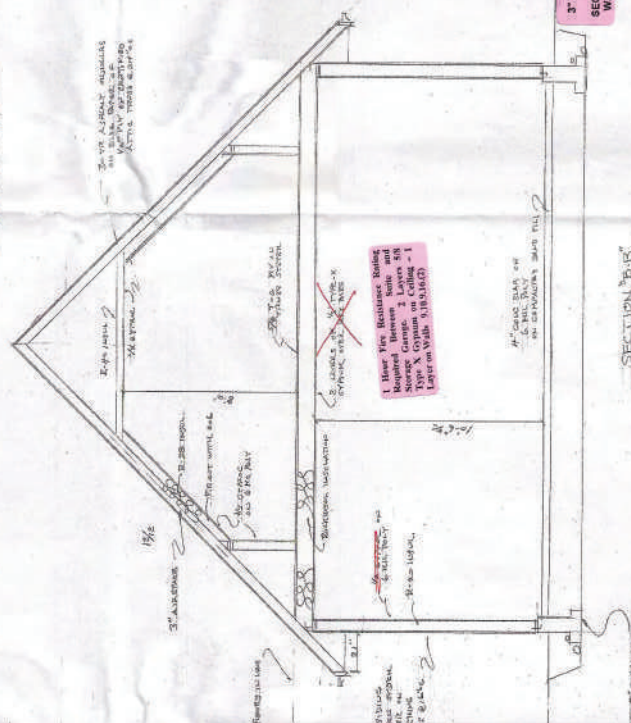
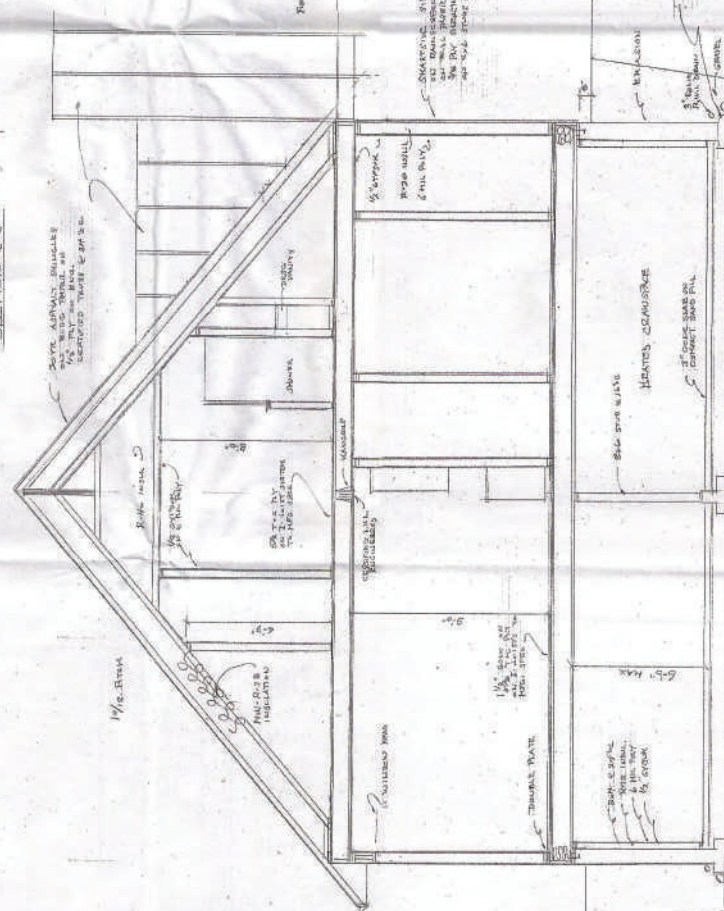
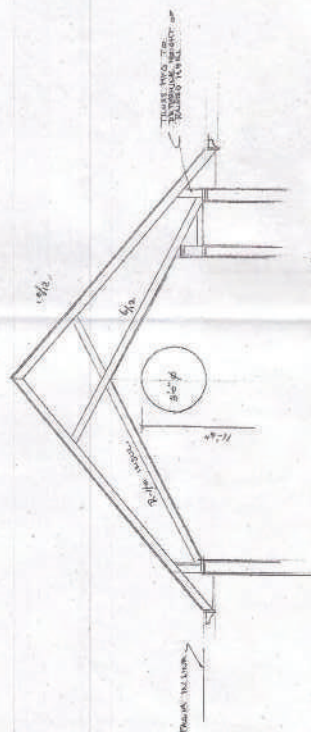
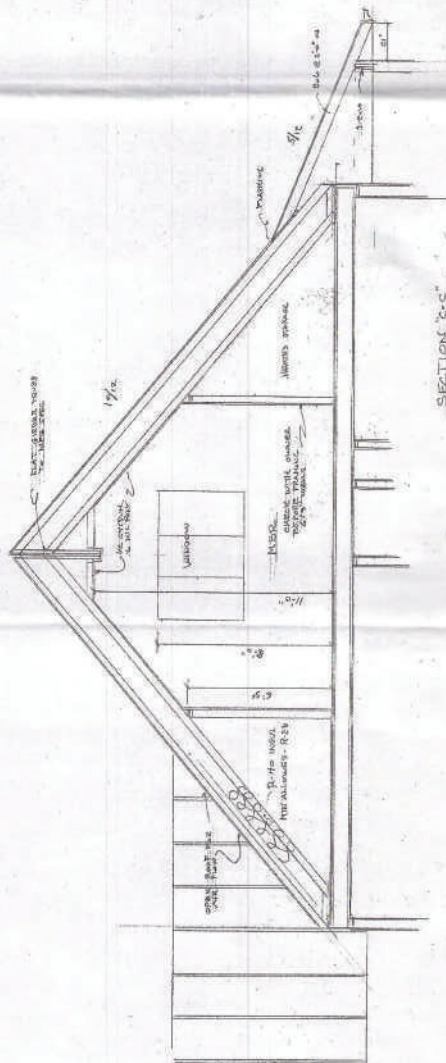
SHARPENED EDGE BUSH

COVERED SIDE 2

PROPOSED REVISIONS
8.12.15
S. F.D. WILSON

Set 100% Doug Johnson
This plan is to be used for the construction of the project only. It is not to be used for any other purpose without the express written permission of Doug Johnson

DATE: 10/15/15
BY: [Signature]
CHECKED BY: [Signature]
DATE: 10/15/15



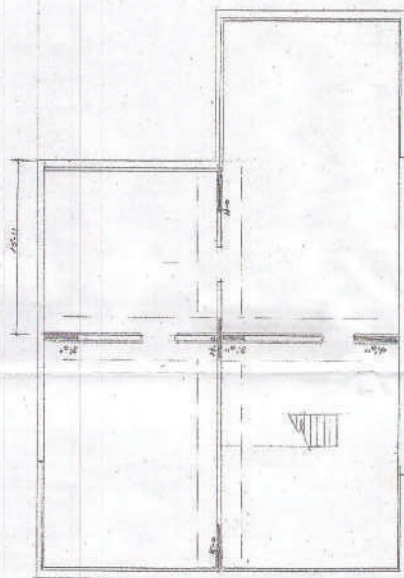
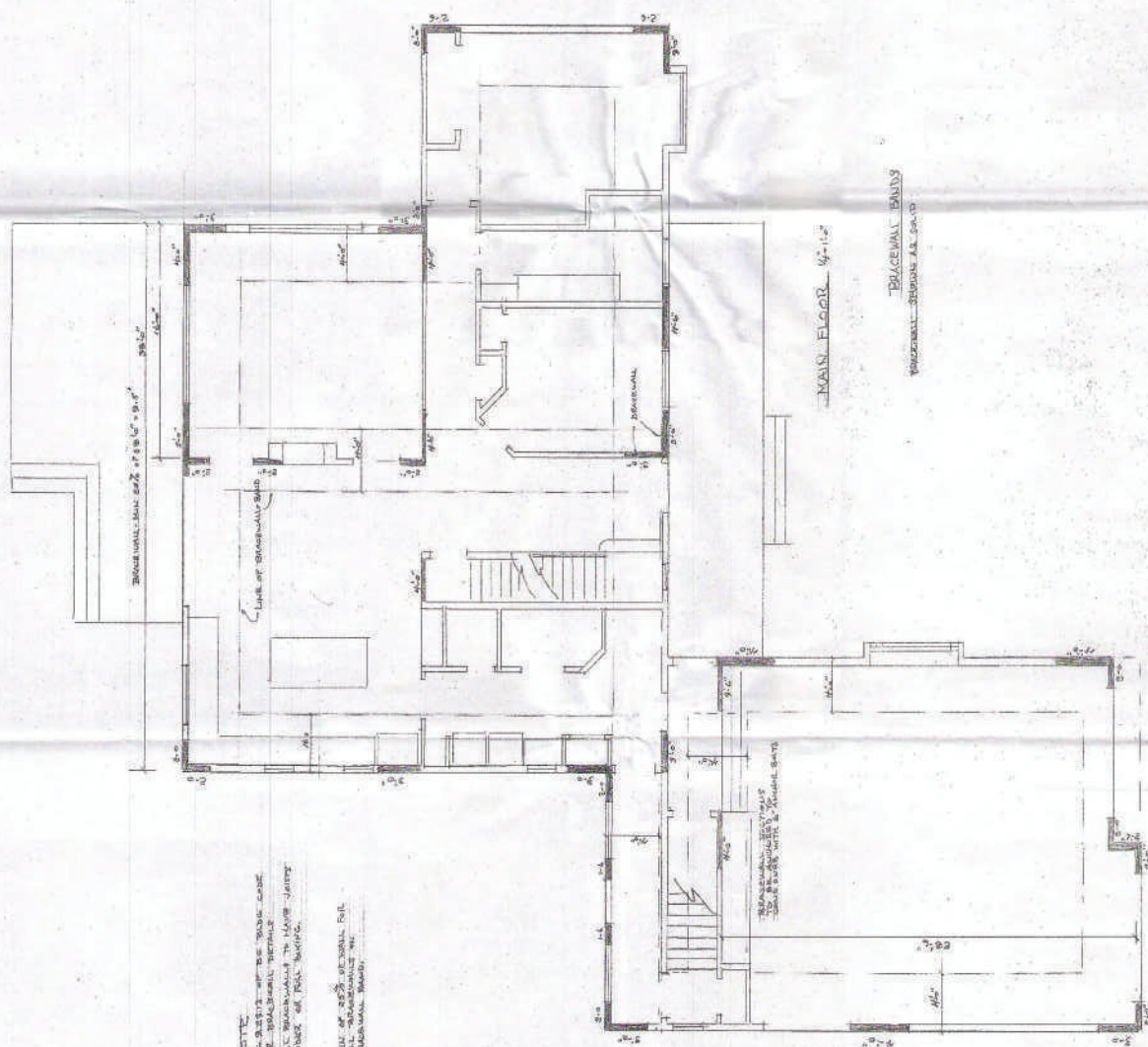
3" TITE PIPE SYSTEM FOR
RAINWATER TO BE
SECURED TO FOUNDATION
WALL AT 48" INTERVALS.

Hour Vire Resistance Rating
Required Between Seals and
Storage Garage. 2 Layers 5/8
Type X Gypsum on Ceiling - 1
layer on Walls. 9,10,9,16(7)

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Proposed Residence
for
S. + D. HIXSON

93.5
22 APR 1970
11:00 PM



MAIN FLOOR $4\frac{1}{2} \times 10^0$

BRACEWELL BANDS
BRACEWELL BANDS ARE SOLD

REVERSE PER 2015

Sept 10/25 Doug Johnson

Doug Johnson

Doug Johnson

BRACEWELL, DETAIL

S. + D. MIXSON

[illegible]

First copy	1912
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Owner Builder Disclosure Notice

Purpose: As required by section 21(2)(a) of the Homeowner Protection Act (the "Act"), the purpose of this Disclosure Notice is for the owner builder and subsequent owners to disclose to any and all potential owners of the new home (the "home") described herein, during the 10-year purchase period, that the home was built under an Owner Builder Authorization issued by BC Housing to the individual described herein as the owner builder.

OWNER BUILDER INFORMATION

Name (last,first): Hixson, Shane

Owner Builder Authorization No.: 91080

PROPERTY INFORMATION

Civic Address: 4530 Lanes Road

City/Town: Cowichan Bay

Province: British Columbia

Postal Code:

PID: 029-068-851

Legal Description: LOT 1 SECTION 4 RANGE 6 COWICHAN DISTRICT PLAN EPP26079

CONSTRUCTION INFORMATION

Building Permit: D-78-15

Building Permit Issue Date: 2015/Mar/12

First Occupancy Date: 2015/Dec/22

Owner Builder Authorization Date: 2015/Jan/29

MATERIAL FACTS

The home was built under an Owner Builder Authorization. The home was not built under the licence of a Licenced Residential Builder.

The home is not covered by a policy of home warranty insurance. Statutory protection, as per section 23 of the Act, is available to a purchaser of the home.

Other: none.

DEFINITIONS

"owner builder": means an individual with a valid Owner Builder Authorization issued under section 20 of the Homeowner Protection Act

"purchase period": means a) the period during which home warranty insurance for a new home is in effect; or b) if home warranty insurance has not been obtained, the period during which home warranty insurance would have been in effect had it been obtained.

"first occupancy date": means the date an occupancy permit with respect to the new home was first issued, or if no occupancy permit has been issued with respect to the new home, the date the new home was first occupied.

Owner Builder Disclosure Notice

SUBTRADES - the following list of tradespersons who contributed to the building of the home was supplied by the owner builder

House Design: Doug Johnson, 250-746-5257

Engineering: Precision Engineering LTD, Bahig Wanas, 250-929-2525

Soil remediation: No information provided.

Excavation: Stan Holman, 250-701-2796

Foundation: Made to Last Building and Renovation, Steven Fitzpatrick, 250-416-5088

Sewer/Septic: Owner Builder

Framing: Made To Last Building and Renovations, Steven Fitzpatrick, 250-416-5088

Cladding: Roy Van Mook, 250-743-2553

Roofing: Coast Roofing, Louis , 250-746-6469

Windows/Doors: S&B Windows, Daryl Truitt, 250-7469570

Electrical: Owner Builder

Plumbing: 2K Plumbing, Rick Hill, 250-732-1490

Insulation: Insolex, Terry , 250-733-2877

Interior Wall Finish: Gordon and Gordon, Dave Brown, 250-883-5546

Flooring: Master Craft Flooring, Dave , 250-715-7655

Heating/AC: Exchange Energy, Ethan , 250-715-6358

cabinetry: Cowichan Valley Millworks, Chad Neufeld, 250-715-7143

Concrete: Coastal Concrete Works, Bryson Harder, 250-701-7935

Owner Builder Disclosure Notice

STATUTORY PROTECTION

- (1) A residential builder or an owner builder and a vendor of a new home are both deemed to have agreed with the owner of the new home, to the extent of labour, materials and design supplied, used or arranged by the residential builder, owner builder or vendor, that the new home, except to the extent prescribed by regulation,
 - (a) is free from defects in materials and labour and will remain so for a period of at least 2 years after
 - (i) the date an occupancy permit with respect to the new home was first issued, or
 - (ii) if no occupancy permit has been issued with respect to the new home, the date the new home was first occupied,
 - (b) is free from defects in the building envelope, including defects resulting in water penetration, and will remain so for a period of at least 5 years after
 - (i) the date an occupancy permit with respect to the new home was first issued, or
 - (ii) if no occupancy permit has been issued with respect to the new home, the date the new home was first occupied, and
 - (c) is free from structural defects, and will remain so for a period of at least 10 years after
 - (i) the date an occupancy permit with respect to the new home was first issued, or
 - (ii) if no occupancy permit has been issued with respect to the new home, the date the new home was first occupied.
- (2) Any term of an agreement that purports to waive, exclude, limit or qualify the protection under subsection (1) is of no effect.
- (3) The protection under subsection (1) is for the benefit of whoever is the owner of the new home from time to time until the end of the period within which an action may be brought under subsection (5), and that owner is deemed
 - (a) to have given good consideration for the benefit of the protection, and
 - (b) to be the only person entitled to recover damages for a breach of the protection.
- (4) Despite subsection (3), if the ownership of the new home changes during the course of an action for breach of the protection under subsection (1), the new owner is entitled to be substituted as plaintiff and to enforce all rights that the former owner could have enforced.
- (5) An action in respect of the protection under subsection (1) must be commenced within 10 years after the date of first occupancy of the new home or, in respect of common property, common facilities and other assets of a strata corporation, the date the strata plan is deposited in a land title office in accordance with the Strata Property Act.
- (6) Nothing in this section
 - (a) excludes, qualifies or limits any other term, express or implied,
 - (b) relieves any person of liability to which they would otherwise be subject, or
 - (c) subjects a municipality, regional district or treaty first nation to any greater liability than if this section were not in force.
- (7) This section does not apply to a new home covered by home warranty insurance.

Please Note: BC Housing strongly encourages individuals who are in receipt of this Disclosure Notice to consult legal counsel in an effort to fully understand the level of protection afforded by the Statutory Protection outlined above. This Statutory Protection is not backed by a home warranty insurance company. An individual who wishes to seek recourse through the Statutory Protection must contact the original owner builder directly or do so through the civil legal process. For information regarding resolving construction disputes please visit the BC Housing website.

BRITISH COLUMBIA BUILDING CODE 2012

SCHEDULE B

Forming Part of Subsection 2.2.7, Div. C of the
British Columbia Building Code

Building Permit No. _____
(for authority having jurisdiction's use)

ASSURANCE OF PROFESSIONAL DESIGN AND COMMITMENT FOR FIELD REVIEW

- Notes: (i) This letter must be submitted prior to the commencement of construction activities of the components identified below. A separate letter must be submitted by each *registered professional of record*.
(ii) This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Officials' Association of B.C., and Union of B.C. Municipalities.
(iii) In this letter the words in italics have the same meaning as in the British Columbia Building Code.

To: The *authority having jurisdiction*

CVRD

Name of Jurisdiction (Print)

Re: Shane Hixon Res.

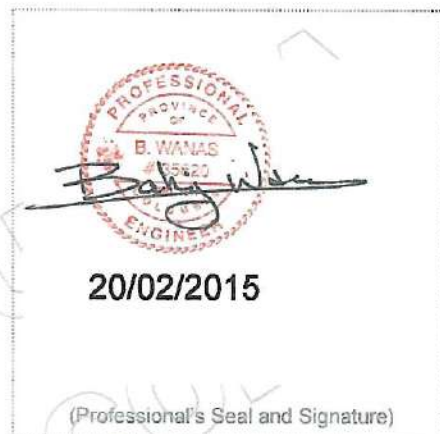
Name of Project (Print)

Lot 1, Lanes Road, Cobble Hill

Address of Project (Print)

The undersigned hereby gives assurance that the design of the
(Initial those of the items listed below that apply to this *registered professional of record*. All the disciplines will not necessarily be employed on every project.)

_____ ARCHITECTURAL
BW _____ STRUCTURAL
_____ MECHANICAL
_____ PLUMBING
_____ FIRE SUPPRESSION SYSTEMS
_____ ELECTRICAL
_____ GEOTECHNICAL — temporary
_____ GEOTECHNICAL — permanent



Feb. 20, 2015

Date

components of the plans and supporting documents prepared by this *registered professional of record* in support of the application for the *building permit* as outlined below substantially comply with the B.C. Building Code and other applicable enactments respecting safety except for construction safety aspects.

The undersigned hereby undertakes to be responsible for *field reviews* of the above referenced components during construction, as indicated on the "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS" below.

CRP's Initials

BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - Continued

Building Permit No.
(for authority having jurisdiction's use)

Lot 1, Lanes Road, Cobble Hill

Project Address

Structural

Discipline

The undersigned also undertakes to notify the *authority having jurisdiction* in writing as soon as possible if the undersigned's contract for *field review* is terminated at any time during construction.

I certify that I am a *registered professional* as defined in the British Columbia Building Code.

Bahig Wanas

Registered Professional of Record's Name (Print)

3605 Cobble Hill Road, Cobble Hill

Address (Print)

V0R 1L0

1-250-929-2525

Phone No.



(Professional's Seal and Signature)

Feb. 20, 2015

Date

(If the Registered Professional of Record is a member of a firm, complete the following.)

I am a member of the firm Precision Engineering Ltd.

and I sign this letter on behalf of the firm

(Print name of firm)

Note: The above letter must be signed by a *registered professional of record*, who is a *registered professional*. The British Columbia Building Code defines a *registered professional* to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

CRP's Initials

BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - Continued

Building Permit No.
(for authority having jurisdiction's use)

Lot 1, Lanes Road, Cobble Hill

Project Address

Structural

Discipline

SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS

(Initial applicable discipline below and cross out and initial only those items not applicable to the project.)

ARCHITECTURAL

- 1.1 Fire resisting assemblies
- 1.2 Fire separations and their continuity
- 1.3 Closures, including tightness and operation
- 1.4 Egress systems, including access to exit within suites and floor areas
- 1.5 Performance and physical safety features (guardrails, handrails, etc.)
- 1.6 Structural capacity of architectural components, including anchorage and seismic restraint
- 1.7 Sound control
- 1.8 Landscaping, screening and site grading
- 1.9 Provisions for fire fighting access
- 1.10 Access requirements for persons with disabilities
- 1.11 Elevating devices
- 1.12 Functional testing of architecturally related fire emergency systems and devices
- 1.13 Development Permit and conditions therein
- 1.14 Interior signage, including acceptable materials, dimensions and locations
- 1.15 Review of all applicable shop drawings
- 1.16 Interior and exterior finishes
- 1.17 Dampproofing and/or waterproofing of walls and slabs below grade
- 1.18 Roofing and flashings
- 1.19 Wall cladding systems
- 1.20 Condensation control and cavity ventilation
- 1.21 Exterior glazing
- 1.22 Integration of building envelope components
- 1.23 Environmental separation requirements (Part 5)
- 1.24 Building Envelope, Part 10/ASHRAE Requirements

BW

STRUCTURAL

- 2.1 Structural capacity of structural components of the building, including anchorage and seismic restraint
- 2.2 Structural aspects of deep foundations
- 2.3 Review of all applicable shop drawings
- 2.4 Structural aspects of unbonded post-tensioned concrete design and construction

MECHANICAL

- 3.1 HVAC systems and devices, including high building requirements where applicable
- 3.2 Fire dampers at required fire separations
- 3.3 Continuity of fire separations at HVAC penetrations
- 3.4 Functional testing of mechanically related fire emergency systems and devices
- 3.5 Maintenance manuals for mechanical systems
- 3.6 Structural capacity of mechanical components, including anchorage and seismic restraint
- 3.7 Review of all applicable shop drawings
- 3.8 Mechanical Systems, Part 10/ASHRAE Requirements



Feb. 20, 2015

Date

CRP's Initials

BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - Continued

Building Permit No.
(for authority having jurisdiction's use)

Lot 1, Lanes Road, Cobble Hill

Project Address

Structural

Discipline

PLUMBING

- 4.1 Roof drainage systems
- 4.2 Site and foundation drainage systems
- 4.3 Plumbing systems and devices
- 4.4 Continuity of fire separations at plumbing penetrations
- 4.5 Functional testing of plumbing related fire emergency systems and devices
- 4.6 Maintenance manuals for plumbing systems
- 4.7 Structural capacity of plumbing components, including anchorage and seismic restraint
- 4.8 Review of all applicable shop drawings
- 4.9 Plumbing Systems, Part 10 requirements

FIRE SUPPRESSION SYSTEMS

- 5.1 Suppression system classification for type of occupancy
- 5.2 Design coverage, including concealed or special areas
- 5.3 Compatibility and location of electrical supervision, ancillary alarm and control devices
- 5.4 Evaluation of the capacity of city (municipal) water supply versus system demands and domestic demand, including pumping devices where necessary
- 5.5 Qualification of welder, quality of welds and material
- 5.6 Review of all applicable shop drawings
- 5.7 Acceptance testing for "Contractor's Material and Test Certificate" as per NFPA Standards
- 5.8 Maintenance program and manual for suppression systems
- 5.9 Structural capacity of sprinkler components, including anchorage and seismic restraint
- 5.10 For partial systems — confirm sprinklers are installed in all areas where required
- 5.11 Fire Department connections and hydrant locations
- 5.12 Fire hose standpipes
- 5.13 Freeze protection measures for fire suppression systems
- 5.14 Functional testing of fire suppression systems and devices

ELECTRICAL

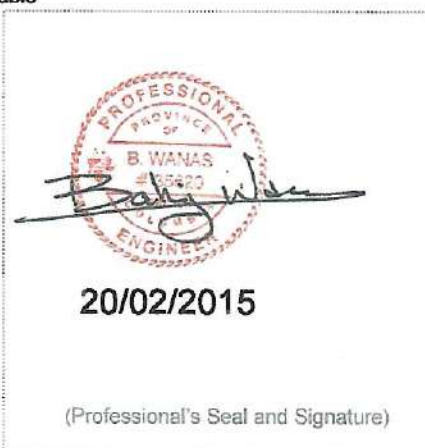
- 6.1 Electrical systems and devices, including high building requirements where applicable
- 6.2 Continuity of fire separations at electrical penetrations
- 6.3 Functional testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals
- 6.5 Structural capacity of electrical components, including anchorage and seismic restraint
- 6.6 Clearances from buildings of all electrical utility equipment
- 6.7 Fire protection of wiring for emergency systems
- 6.8 Review of all applicable shop drawings
- 6.9 Electrical Systems, Part 10/ASHRAE requirements

GEOTECHNICAL — Temporary

- 7.1 Excavation
- 7.2 Shoring
- 7.3 Underpinning
- 7.4 Temporary construction dewatering

GEOTECHNICAL — Permanent

- 8.1 Bearing capacity of the soil
- 8.2 Geotechnical aspects of deep foundations
- 8.3 Compaction of engineered fill
- 8.4 Structural considerations of soil, including slope stability and seismic loading
- 8.5 Backfill
- 8.6 Permanent dewatering
- 8.7 Permanent underpinning



Feb. 20, 2015

Date

CRP's Initials