



SUMMARY OF COVERAGES

Named Insured:	The Owners, Strata Plan BCS4115, acting on their own behalf or as a Strata Corporation &/or as Trustees or Agents on behalf of all Registered Unit Owners.	
Project Name:	WINCHESTER	
Property Manager:	Re/Max Property Management Services	Policy Period June 06, 2015 to June 06, 2016
Policy Number:	Coverages	Subscribers
BFL04BCS4115	PROPERTY BLANKET GLASS - Includes Lobby Glass EXCESS EXTENDED REPLACEMENT COST CRIME COMMERCIAL GENERAL LIABILITY CONDOMINIUM DIRECTORS & OFFICERS LIABILITY EQUIPMENT BREAKDOWN POLLUTION LIABILITY VOLUNTEER ACCIDENT LEGAL EXPENSES TERRORISM PRIVACY BREACH EXPENSE	AIG Insurance Company of Canada Certain Underwriters at Lloyds' of London under contract B0572NA15BC04 as arranged by Can-Sure Underwriting Certain Underwriters at Lloyds' of London under contract B0572NA15BC05 as arranged by Can-Sure Underwriting Starr Insurance & Reinsurance Limited Zurich Insurance Company Ltd Economical Mutual Insurance Company Liberty International Underwriters Canada (a division of Liberty Mutual Insurance Company) Economical Mutual Insurance Company Economical Mutual Insurance Company Great American Insurance Group Zurich Insurance Company Ltd Zurich Insurance Company Ltd SSQ Insurance Company Inc. DAS Legal Protection Insurance Company Limited Binding Authority B0713PRPNA1501175 underwritten by certain underwriters at Lloyd's Economical Mutual Insurance Company
Insured Locations:	21867 50th Avenue, Langley, BC V3A 3T2	
Perils Insured:	All risks as defined subject to \$2,500.00 Deductible Except; \$5,000.00 Deductible Sewer Backup Damage; \$5,000.00 Deductible Water Damage; 10.00% Deductible Earthquake Damage; \$25,000.00 Deductible Flood Damage; \$250.00 Deductible Lock & Key; Stated Amount Co-Insurance, Replacement Cost, 130% Extended Replacement Cost; Blanket By-Laws; Data Exclusion; Terrorism Exclusion; Mould Exclusion, Earthquake and Flood limit in the annual aggregate not to exceed 130% of policy limit.	
PROPERTY	\$ 18,500,000 \$ 10,000 \$ 50,000 \$ 1,000,000	All Property Lock & Key. Subject to \$250 deductible. Additional Living Expenses - Per Unit Additional Living Expenses - Annual Aggregate
EXCESS EXTENDED REPLACEMENT COST	Included \$ 27,750,000	20% Excess of 130% Extended Replacement Cost - Earthquake and Flood limit in the annual aggregate not to exceed 20% of All Property Limit under Section I Combined Extended Replacement Cost Section I and I.I): 150% of Appraised Value
CRIME	\$ 30,000 \$ 10,000	Employee Dishonesty - Including Property Manager and Elected Officer Theft Broad Form Money and Securities
COMMERCIAL GENERAL LIABILITY	\$ 10,000,000 \$ 10,000,000	Bodily Injury & Property Damage. Subject to \$500 deductible. Non-Owned Automobile. Subject to \$500 deductible.
CONDOMINIUM DIRECTORS & OFFICERS LIABILITY	\$ 3,000,000	Claims Made Form - Including Property Manager
BLANKET GLASS - Includes Lobby Glass	Blanket	Residential. Subject to \$250 deductible. Commercial. Subject to \$250 deductible. Canopy. Subject to \$1,000 deductible.
EQUIPMENT BREAKDOWN	\$ 18,500,000 \$ 250,000	Per Occurrence Maximum Limit of Loss. Subject to \$1,000 deductible. Extra Expenses - Rents, Indemnity Period (Months): 0
POLLUTION LIABILITY	\$ 1,000,000 \$ 5,000,000	Each Event. Subject to \$10,000 deductible. Aggregate Policy Limit
VOLUNTEER ACCIDENT	\$ 250,000	See Policy Wording
LEGAL EXPENSES	\$ 300,000 \$ 1,500,000	Each Event Annual Aggregate.
TERRORISM	\$ 350,000 \$ 350,000	Per Occurrence.. Subject to \$2,500 deductible. Annual Aggregate



SUMMARY OF COVERAGES

PRIVACY BREACH EXPENSE	\$ 50,000 See Policy Wording	Per Incident Miscellaneous Property - Replacement Cost
Loss Payable:	All Registered Unit Owners &/or other Mortgagees as their interest may appear and as shown in the Land Registration District Office applicable to the said Property.	
This record sheet is intended for reference only. Please refer to your polic(ies) for complete details.		



STRATA PROTECT

BFL CANADA Insurance Services Inc.
 1177 West Hastings Street, Suite 200
 Vancouver, British Columbia V6E 2K3
 Tel.: 604-669-9600
 Fax: 604-683-9316
 Toll Free: 1-866-669-9602

STRATA PROTECT INSURANCE RENEWAL PROPOSAL

Named Insured:	The Owners, Strata Plan BCS4115, acting on their own behalf or as a Strata Corporation &/or as Trustees or Agents on behalf of all Registered Unit Owners.
Property Manager:	Re/Max Property Management Services
Policy Period	June 6, 2016 to June 6, 2017
Project Name:	WINCHESTER
Insured Location(s)	21867 50th Avenue, Langley, BC V3A 3T2

INSURING AGREEMENT	DEDUCTIBLE	POLICY LIMIT
PROPERTY (Appraisal Date: June 18, 2015)		
All Property, Blanket By-Laws.		\$18,500,000
150% Extended Replacement Cost		\$27,750,000
All Risks	\$2,500	
Sewer Backup	\$5,000	
Water Damage	\$5,000	
Earthquake (Annual Aggregate not to exceed \$ 27,750,000)	10%	
Flood (Annual Aggregate not to exceed \$ 27,750,000)	\$25,000	
Lock & Key	\$250	\$25,000
Additional Living Expenses - Per Unit		\$50,000
Additional Living Expenses - Annual Aggregate		\$1,000,000
Gross Rents, 100% Co-Insurance, Indemnity Period (Months) : N/A	N/A	Not Covered
CRIME		
Employee Dishonesty - Including Property Manager and Elected Officer Theft	Nil	\$1,000,000
Broad Form Money and Securities	Nil	\$10,000
COMMERCIAL GENERAL LIABILITY		
Bodily Injury & Property Damage	\$500	\$25,000,000
Non-Owned Automobile	\$500	\$25,000,000
CONDOMINIUM DIRECTORS & OFFICERS LIABILITY		
Claims Made Form - Including Property Manager	Nil	\$20,000,000
Privacy Event Expenses	Nil	\$50,000
Cyber Liability	Nil	\$50,000
BLANKET GLASS - Includes Lobby Glass		
Residential	\$250	Blanket
Commercial	\$250	
Canopy	\$1,000	
EQUIPMENT BREAKDOWN		
Standard Comprehensive Form including Production Machines and Electronic Equipment	\$1,000	\$18,500,000
Extra Expense – 100% available in first month	24 Hour Waiting Period	\$250,000
Loss of Profits – Rents, Indemnity Period (Months): N/A	N/A	Not Covered
POLLUTION LIABILITY		
Each Event	\$10,000	\$1,000,000
Aggregate Policy Limit		\$5,000,000
VOLUNTEER ACCIDENT		
Principal Sum.	See Policy Wordings	\$1,000,000
LEGAL EXPENSES		
Each Event	Nil	\$1,000,000
Annual Aggregate.		\$1,500,000
TERRORISM		
Per Occurrence.	\$1,000	\$350,000
Annual Aggregate		\$350,000
TOTAL PREMIUM PAYABLE		\$33,914.00

This is a generalized summary of proposed coverages. In all cases the terms and conditions of the policy in effect are the determining documents

Winchester

5 Year Warranty Review

21867 50th Avenue
Langley, BC



Presented to:

The Owners, Strata Plan BCS 4115

c/o RE/MAX Commercial Realty

270 - 4311 Viking Way

Richmond, BC

Attention: Mr. Miguel Vivanco, Property Manager

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APPENDIX 1 EXTERIOR BUILDING ENVELOPE OBSERVATIONS

GLOSSARY OF TERMS

1. INTRODUCTION

LDR Engineering Group has been retained by Strata BCS 4115 to carry out a review of the exterior building envelope at the townhome property known as Winchester, located at 21867 50th Avenue, Langley, BC.

The intent of this report is to provide an onsite visual review of the common area exterior building envelope components with respect to coverage by the Home Owner Protection Office New Home Warranty in place at the time of the review. The project was delivered in phases, with completion dates ranging from June 6, 2011 to May 17, 2012.

The scope of our review includes observations and discussions of the main exterior architectural components and assemblies with respect to the durability and water tightness of the building envelope. This review is not intended to be an exhaustive identification of workmanship issues and should not be relied on as such. Where observed however, we will provide comment on specific item(s) or locations that we feel could affect the performance of the building envelope or represents below average workmanship.

Our visual review provides a survey of items, components, and systems that are conspicuous, patent and which may be readily observed during the walk through survey without intrusion, removal of materials, exploratory probing, testing or the use of special equipment. Concealed and latent defects and/or deficiencies are specifically excluded from our review.

1.1 Documentation

Our comments in this report were derived from our visual observations made on May 27, 2016.

1.2 Items Covered By Our Review

In general, the exterior building envelope components included in our review are:

- The building exterior shell, including the roofing, exterior claddings, glazing assemblies, flashings, coatings, sealants, doors and windows.
- Our review does not include for the landscaping, structural, geotechnical, mechanical, electrical, fire suppression, HVAC or site utilities.

1.3 Copyright Notice

This report is protected by copyright law and may not be reproduced in any manner or for any purpose, except by written permission of LDR Engineering Group.

2. NEW HOME WARRANTY DESCRIPTION

The Homeowner Protection Office New Home Warranty Insurance coverage covered by this review may be summarized as follows:

<p><i>The Warranty provides coverage for the Building Envelope for up to five years for Defects in the Building Envelope, including a Defect which permits unintended water penetration such that it causes, or is likely to cause, Material damage to New Home.</i></p>	<p>Coverage expires June 6, 2016 for the Strata Common Property</p>
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The word “Defect” is defined in the warranty certificate as: **“Non-compliance with, or a violation of the Building Code is considered a Defect covered by Travelers Insurance Company of Canada only if the non-compliance or violation:**

- a) **Constitutes an unreasonable health or safety risk, or**
- b) **Has resulted in, or is likely to result in Material Damage to the New Home.”**

Please refer to your actual Home Warranty Insurance Certificate and Policy for complete and further information regarding the terms and conditions of the warranty.

The reader is cautioned to carefully read the new home warranty information in its entirety, however a few notable warranty exclusions include:

- Hard & Soft landscaping, fencing, detached patios, play structures, planters
- Site grading or drainage unless where in violation of the Building Code
- Normal wear and tear and construction tolerances beyond industry standard.
- Normal shrinkage of materials
- Alterations by an Owner or third party
- Damages caused by an Owner or third party
- Municipal services (supply water, storm or sanitary sewer)

Information on the New Home Warranty is also available through the Homeowner Protection Office website at: <http://www.hpo.bc.ca/files/download/Bulletins/GuideToHomeWarrantyInsurance.pdf>.

An in depth guide to the HPO New Home Warranty coverage is available at: http://www.hpo.bc.ca/files/download/Res_Guide/Residential_Construction_Performance_Guide.pdf

The strata should be aware that other warranties likely exist other than the Builders warranty, such as Subcontractors warranties and manufacturer’s extended warranties.

3. BUILDING DESCRIPTION

Winchester is a residential townhome development located in Langley, BC and was constructed by Parklane Developments in 2011.

The buildings under review are three story wood framed townhomes constructed on a slab on grade.

Each block includes horizontal and vertical vinyl siding; wood shingle siding; composite fibre cement siding; cultured stone veneer assembly; balconies and sloped roofing.

The property is oriented east-west along 50th Avenue, backs onto Fraser Highway and is constructed on a lot that slopes gently from west to east.



Photo 2.1: Typical townhome block.



Photo 2.2: View of Winchester townhomes looking west off 218a Street.

4. SUMMARY OF OBSERVATIONS

LDR Engineering Group carried out an onsite review of the property on May 27, 2016. Jeff Renwick P.Eng. attended the site.

B SHELL		
B20 EXTERIOR VERTICAL ENCLOSURES		
	B2010 Exterior Walls	<ol style="list-style-type: none"> 1. Siding has become dislodged at unit 57. 2. Ivy growing outside unit 69. 3. Some distortions in the vinyl siding at corner trims was observed 4. The paint finish on wood trims is beginning to wear. 5. Sealants are generally beginning to fail at the lower sections of window jambs.
	B2020 Exterior Windows	Overall Serviceable condition.
	B2050 Exterior Doors	Overall Serviceable condition.
	B2070 Exterior Louvers & Vents	Overall Serviceable condition.
	B2080 Exterior Wall Appurtenances	Overall Serviceable condition.
B30 EXTERIOR HORIZONTAL ENCLOSURES		
	B3010 Roofing	<ol style="list-style-type: none"> 1. Minor moss buildup on North facing roofs 2. Dirt and leave accumulations in roof valleys and roof saddle areas.
	B3020 Roof Appurtenances	<ol style="list-style-type: none"> 1. Gutters require cleaning and some downpipes have become dislodged from the lower gutter connections.
	B3040 Traffic Bearing Horizontal Enclosures	<ol style="list-style-type: none"> 1. Top tread of concrete stair is installed tight to the balcony and wall fascia, and is retaining water against the building and decks.
	B3080 Overhead Exterior Enclosures	Overall Serviceable condition.

5. SUMMARY OF RECOMMENDED MAINTENANCE ITEMS

B SHELL	
B20 EXTERIOR VERTICAL ENCLOSURES	
B2010 Exterior Walls	<ol style="list-style-type: none"> 1. Repaint wood trim and composite cement panel within two years, renew window and other sealants at the same time. 2. Remove Ivy from column at unit 69. 3. Monitor siding and soffits for damage, or loose panels, monitor wood trim for deterioration.
B2020 Exterior Windows	<ol style="list-style-type: none"> 1. Monitor for operation problems, replace failed insulating glass units as they occur.
B2050 Exterior Doors	<ol style="list-style-type: none"> 1. Monitor for operation problems, replace or adjust hardware and replace weather stripping as needed.
B2070 Exterior Louvers & Vents	<ol style="list-style-type: none"> 1. Clean dryer vents annually or more frequently if required due to lint buildup.
B2080 Exterior Wall Appurtenances	None identified
B30 EXTERIOR HORIZONTAL ENCLOSURES	
B3010 Roofing	<ol style="list-style-type: none"> 1. Carry out regular roof maintenance such as annual review for damage or missing shingles, bi-annual moss treatment and removal of debris.
B3020 Roof Appurtenances	<ol style="list-style-type: none"> 1. Clean gutters at least once a year, additional cleaning may be needed near treed areas. Repair damaged or dislodged gutters and downpipes as they occur.
B3040 Traffic Bearing Horizontal Enclosures	<ol style="list-style-type: none"> 1. Monitor wood fascia where the balcony stairs meet the wood fascia.
B3080 Overhead Exterior Enclosures	None identified

6. SUMMARY OF RECOMMENDED WARRANTY ITEMS

B SHELL		
B20 EXTERIOR VERTICAL ENCLOSURES		
	B2010 Exterior Walls	1. Reset siding at unit 57.
	B2020 Exterior Windows	No warranty items identified.
	B2050 Exterior Doors	No warranty items identified.
	B2070 Exterior Louvers & Vents	No warranty items identified.
	B2080 Exterior Wall Appurtenances	No warranty items identified.
B30 EXTERIOR HORIZONTAL ENCLOSURES		
	B3010 Roofing	No warranty items identified.
	B3020 Roof Appurtenances	No warranty items identified.
	B3040 Traffic Bearing Horizontal Enclosures	1. Move top tread away from building to allow water drainage between the top stair tread and the wood fascia.
	B3080 Overhead Exterior Enclosures	No warranty items identified.

7. CLOSING

The exterior building envelope of the townhomes were generally found to be in good serviceable condition at the time of our review.

The concrete stair treads placed against the wood fascia boards at entries and decks, in our opinion is retaining water against the building and will lead to premature damage (decay) of the fascia boards. We recommend remedial work take place under warranty.

Excepting the few items listed in this report, our observations support that the remaining assemblies that make up the exterior building envelope are performing adequately overall with respect to durability and water tightness at approximately 59 months after construction.

As of December 13, 2011 all strata greater than 4 units are required to have a depreciation report completed for the common property and limited common property by December 13, 2013.

LDR Engineering Group specializes in strata depreciation reports and is happy to provide a proposal for those services.

Sincerely,

LDR Engineering Group



Jeff Renwick P.Eng.

APPENDIX 1 – EXTERIOR BUILDING ENVELOPE OBSERVATIONS

Winchester Observations

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B SHELL

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B2010 EXTERIOR WALLS

B2010.10 EXTERIOR CLADDING

PVC VINYL SIDING

Inspection Date: May 27, 2016	Inspected By: LDR Engineering
Project Location: 21867 50th Avenue, Langley, BC	

LOCATION:	All building elevations
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PHOTOS:	OBSERVATIONS:
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PVC vinyl siding is a lightweight, economical siding material that has been around for a long time and generally performs well in our local climate. The colour of vinyl siding will fade fairly rapidly. PVC is a thermoplastic and cannot tolerate much heat. BBQ's should not be placed near vinyl siding as the heat from the BBQ will distort the vinyl material.

All exterior wall cladding assemblies include a minimum 10mm rainscreen cavity and a moisture barrier installed on the exterior wood sheathing.

The drainage cavity is intended to allow for drainage of moisture that may penetrate through the outer cladding. The drainage cavity system (aka 'rainscreen design') has performed well in the lower mainland, and is currently mandated by the building regulations for exterior building envelope assemblies used on multiunit residential buildings.

The through wall flashings drain moisture from the weather/moisture barrier underneath and allow any moisture that gets past the face of the claddings to be diverted to the exterior. Flashings installed at each floor level also compartmentalize the exterior walls into sections, which acts to keep the accumulation of moisture in any one section to a minimum. The through wall flashings at level 2 and 3 appeared to be in good condition with adequate slope and coverage.

B2010 EXTERIOR WALLS

B2010.10 EXTERIOR CLADDING

PVC VINYL SIDING

Inspection Date: April 5, 2016

Inspected By: LDR Engineering Group

Project Location: 735 West 15th Street, North Vancouver, BC

ADDITIONAL COMMENTS

LOCATION:

OBSERVATIONS:



Siding has dislodged at unit 57.





Siding corner trim show uneven surface. This is an aesthetic concern only, the performance of the siding will not be affected.

B SHELL	B20 EXTERIOR VERTICAL ENCLOSURES
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B2010 EXTERIOR WALLS	B2010.10 EXTERIOR CLADDING	WOOD SHINGLES
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Inspection Date: May 27, 2016	Inspected By: LDR Engineering
Project Location: 21867 50th Avenue, Langley, BC	

LOCATION:	All building elevations
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PHOTOS:	OBSERVATIONS:
 	<p>Cedar shingles are a durable siding and roofing material that has been around for a long time and generally perform well in our local climate. The shingles are painted and the paint finish will need to be renewed from time to time.</p> <p>All exterior wall cladding assemblies include a minimum 10mm rainscreen cavity and a moisture barrier installed on the exterior wood sheathing. The associated wood trim and metal flashings form part of the cladding assemblies.</p> <p>The drainage cavity is intended to allow for drainage of moisture that may penetrate through the outer cladding. The drainage cavity system (aka 'rainscreen design') has performed well in the lower mainland, and is currently mandated by the building regulations for exterior building envelope assemblies used on multiunit residential buildings.</p> <p>The cedar shingles appeared to be generally applied with good workmanship and appeared in good condition.</p> <p>The through wall flashings drain moisture from the weather/moisture barrier underneath and allow any moisture that gets past the face of the claddings to be diverted to the exterior. The through wall flashings at the base of the cedar shingles appeared to be in good condition with adequate slope and coverage.</p>

B2010 EXTERIOR WALLS

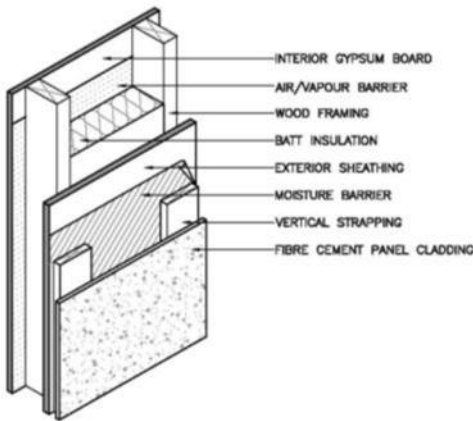
B2010.10 EXTERIOR CLADDING

COMPOSITE CEMENT SIDING

Inspection Date: May 27, 2016	Inspected By: LDR Engineering
Project Location: 21867 50th Avenue, Langley, BC	

LOCATION: Localised areas of level 2

PHOTOS:



OBSERVATIONS:

Composite cement siding is a synthetic material made from Portland cement and cellulose (wood fibre).

Although the early products (pre 1996 approx.) suffered from moisture absorption problems, the current formulations seem to be performing well in our climate. The main benefit from composite siding is that it is considered fire retardant. The paint finish on the siding tends to wear quickly and should be renewed periodically.

All exterior wall cladding assemblies include a minimum 10mm rainscreen cavity and a moisture barrier installed on the exterior wood sheathing. The associated wood trim and metal flashings form part of the cladding assemblies.

The composite cement panels and shingle siding, designed to deflect the majority of the rainwater, appeared generally well applied and in good condition.

We did not observe overall signs of damage, improper installation, staining or other signs of deterioration.

B2010 EXTERIOR WALLS

B2010.10 EXTERIOR CLADDING

CULTURED STONE

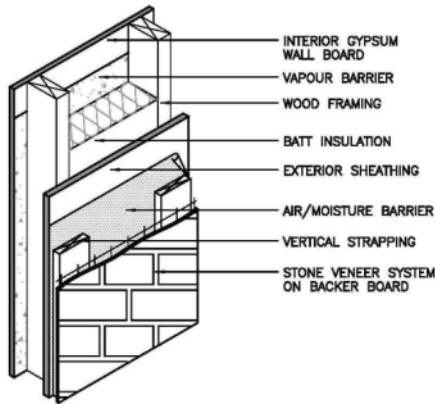
Inspection Date: May 27, 2016

Inspected By: LDR Engineering

Project Location: 21867 50th Avenue, Langley, BC

LOCATION: Localised chimney feature of some townhomes

PHOTOS:



OBSERVATIONS:

Cultured stone cladding is a synthetic cladding material made from a blend of Portland cement, natural stone particles and lightweight natural aggregates (gypsum) and iron oxide. Its benefits include lightweight, economy (over natural stone) and ease of installation.

A cultured stone assembly is similar to a stucco assembly. The cultured stone is set on a mortar bed on metal reinforcing lath on building paper or backer board.

In addition, the exterior wall cladding assembly includes a minimum 10mm rainscreen cavity and a moisture barrier installed on the exterior wood sheathing. The associated wood trim and metal flashings form part of the cladding assemblies.

The cultured stone cladding on the townhome feature chimneys appeared to be generally well applied and in good condition.

B2010 EXTERIOR WALLS

B2010.80 EXTERIOR WALL SUPPLEMENTARY COMPONENTS

PAINT FINISH

Inspection Date: May 27, 2016	Inspected By: LDR Engineering
Project Location: 21867 50th Avenue, Langley, BC	

LOCATION:	Composite cement panels; shingles; wood trim; architectural wood braces, entry doors
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PHOTOS:	OBSERVATIONS:
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The exterior wall supplementary components include the exterior paint finishes on the wood trim, composite cement panels, shingles and doors.

The paint application to the wood trim, including the roof and floor level fascias appears to be showing wear and signs of weathering.

Please note that typically the paint coverage on the wood trim at southerly exposed areas will be the first to show signs of deterioration.

Repainting of the wood trim and composite cement siding is recommended to be completed within approximately the next two years. The repainting works should include renewal of sealants.

Photo at left shows wood trim on unit 61.

B2010 EXTERIOR WALLS

B2010.80 EXTERIOR WALL SUPPLEMENTARY COMPONENTS

SEALANTS

Inspection Date: May 27, 2016	Inspected By: LDR Engineering
Project Location: 21867 50th Avenue, Langley, BC	

LOCATION:	Between dissimilar materials; between the jamb of the window frames and the wood trim
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PHOTOS:	OBSERVATIONS:
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Although the rainscreen wall design is less sensitive to a perfect 'face' weather seal, the window sealants help to keep out precipitation and maximize the service life of the cladding components.

Sealant was observed to be installed between the window frame jamb and wood trim, which is in our opinion, an industry standard.

The sealant is beginning to fail near the lower section of the window jambs and between wood trim intersections. Replacement of the sealants is a normal maintenance procedure and we recommend the sealants be renewed in conjunction with repainting.

B2020 EXTERIOR WINDOWS

B2020.10 EXTERIOR VINYL WINDOWS

PVC WINDOWS

Inspection Date: May 27, 2016

Inspected By: LDR Engineering

Project Location: 21867 50th Avenue, Langley, BC

GENERAL COMMENTS

LOCATION: All building elevations

PHOTOS:

OBSERVATIONS:



PVC Vinyl nail-on flange windows have been installed on this project, which is an industry standard.


The window frames and horizontal opening vents (sliders) appear to be in good operating condition.

Due to the low thermal conductivity of the vinyl frames, condensation is typically not an issue with this type of window, as was confirmed by our observations.

We did not observe overall signs of insulating glass unit (IGU) seal failure. Window manufacturers typically will provide an extended warranty on the IGU seals.

The Strata should be aware that nothing should be applied to the interior of the window glass (tinting, tin foil, etc.), as that will probably void the IGU seal warranty.

B SHELL**B20 EXTERIOR VERTICAL ENCLOSURES****B2050 EXTERIOR DOORS****B2050.10 EXTERIOR ENTRANCE DOORS****METAL CLAD WOOD DOORS**

Inspection Date: May 27, 2016		Inspected By: LDR Engineering
Project Location: 21867 50th Avenue, Langley, BC		
LOCATION:	All individual townhome entrances	
PHOTOS:	OBSERVATIONS:	
	<p>Metal clad wood or fiberglass entry doors have been installed on this project, which is an industry standard.</p> <p>The doors and hardware generally appear to be in good operating condition, and the roof covering lowers the exposure of the assembly to precipitation and winds, which is considered good building practice.</p> <p>The entry doors are typically low maintenance, long lasting assemblies. Periodic repainting will be required.</p>	



B2050 EXTERIOR DOORS

B2050.10 EXTERIOR ENTRANCE DOORS

PVC PATIO SLIDING DOORS

Inspection Date: May 27, 2016	Inspected By: LDR Engineering
Project Location: 21867 50th Avenue, Langley, BC	

LOCATION:	All balcony elevations
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PHOTOS:	OBSERVATIONS:
 	<p>PVC Vinyl nail-on flange patio sliding doors have been installed on this project, which is an industry standard.</p> <p>The sliders are installed on a raised curb, which keep the door sills above the water on the balcony membrane, which is considered good building practice. The wood trim and metal flashings installed around the patio sliders appeared to be in good condition and well applied. The metal flashings included end dams, which is a code requirement.</p> <p>Due to the low thermal conductivity of the vinyl frames, condensation is typically not an issue with this type of sliding door, as was confirmed by our observations.</p> <p>We did not observe overall signs of insulating glass unit (IGU) seal failure. Window manufacturers typically will provide an extended warranty on the IGU seals.</p> <p>The Strata should be aware that nothing should be applied to the interior of the window glass (tinting, tin foil, etc.), as that will likely void the IGU seal warranty.</p>


B2050 EXTERIOR DOORS

B2050.20 EXTERIOR UTILITY DOORS

HOLLOW METAL DOORS

Inspection Date: May 27, 2016	Inspected By: LDR Engineering
Project Location: 21867 50th Avenue, Langley, BC	

LOCATION:	Electrical closets.
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PHOTOS:	OBSERVATIONS:
	<p>The exterior utility doors and frames located at the electrical closets are constructed of hollow metal. The component assembly includes the door, frame and hardware.</p> <p>The service life of the hollow metal doors and frames is highly dependent on the frequency of use and maintenance of the door and frame paint finishes.</p> <p>As these doors will likely receive very little use, keeping the paint finish in good condition will help to maximize the service life of the components.</p>

B2050 EXTERIOR DOORS & GRILLES

B2050.40 EXTERIOR SPECIAL FUNCTION DOORS

GARAGE DOORS

Inspection Date: May 27, 2016

Inspected By: LDR Engineering

Project Location: 21867 50th Avenue, Langley, BC

LOCATION:

Rear elevation of each strata lot.

PHOTOS:



OBSERVATIONS:

Garage doors are typically identified as Limited Common Property with maintenance of the interior components being the responsibility of the Strata Lot Owner. The exterior garage door is however part of the exterior envelope and the responsibility of the Strata to maintain.

The component assembly includes the garage door, the side and top tracks, the electric motor, door drive mechanism and the remote controls.

When replacement becomes due, the Strata may wish to consider upgrading to a more robust commercial unit which will have a longer service life.

The garage doors generally appeared in good, serviceable condition.


B2070 EXTERIOR LOUVRES & VENTS

B2070.50 EXTERIOR VENTS

PVC VENTS

Inspection Date: May 27, 2016	Inspected By: LDR Engineering
Project Location: 21867 50th Avenue, Langley, BC	

LOCATION:	All building elevations
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PHOTOS:	OBSERVATIONS:
	<p>The kitchen, bathroom and dryer exhaust vents typically vent through either the roof or through vents located in the exterior walls.</p> <p>On this project, exterior PVC vents were located on the exterior walls. The manufactured PVC vents are typically lapped in with the weather barrier. The weather barrier is located on the exterior sheathing.</p> <p>The PVC vents are generally trouble free, but the dryer vents should be checked regularly for lint buildup.</p> <p>Lint buildup in the PVC vents or ducting to the dryer can be a fire hazard.</p> <p>The component assembly includes the PVC vents located on the exterior walls.</p>

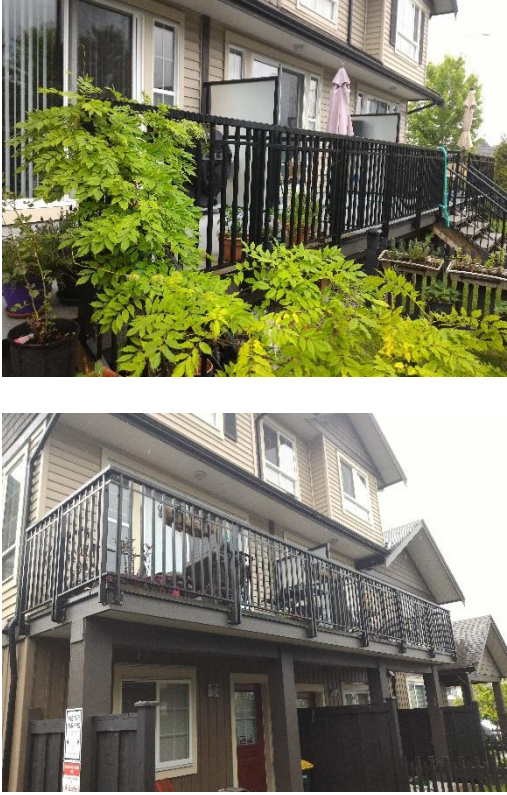
B2080 EXTERIOR WALL APPURTANCES

B2080.50 EXTERIOR BALCONY GUARDS

ALUMINUM GUARDS

Inspection Date: May 27, 2016	Inspected By: LDR Engineering
Project Location: 21867 50th Avenue, Langley, BC	

LOCATION:	All building balconies.
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PHOTOS:	OBSERVATIONS:
	<p>The guards that have been installed at this project are mounted to the side of the fascia board. With side mounting, the guard fasteners do not penetrate the balcony membrane.</p> <p>Side mounted balcony guards are preferable to guards that are mounted through the top of the balcony membrane.</p> <p>The side mounted aluminum guardrails appeared to be in good condition. We did not observe loose fasteners on the balconies that were reviewed.</p> <p>The component assembly includes the balcony guards, guard posts, base plates and anchorage</p>



B3010 ROOFING

B3010.10 STEEP SLOPE ROOFING

SHINGLE ROOFING

Inspection Date: May 27, 2016	Inspected By: LDR Engineering
Project Location: 21867 50th Avenue, Langley, BC	

LOCATION:	All building roofs
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PHOTOS:	OBSERVATIONS:
 	<p>The main pitched roof assembly on the townhome blocks is an asphalt coated shingle with granular ultraviolet protection.</p> <p>The top surface of the shingle incorporates a layer of mineral granules that are pressed into the asphalt during manufacture. The granules protect the layer of asphalt from the sun's rays. Without the granular layer, the asphalt would deteriorate quickly.</p> <p>The pitched roof shingle application generally appeared to be properly applied with straight horizontal installation lines and appropriate shingle exposure (i.e. the amount of overlap between adjacent shingles above and below each other).</p> <p>Roof vents have been incorporated into the roof assembly near the high point of the roof lines, which is appropriate. The roof vents act with the venting provided through the perforated vinyl roof soffits to provide cross flow ventilation of the roof attic.</p> <p>We did observe some minor moss growth and accumulations of dirt, leaves, etc. on many of the roofs. We recommend roof maintenance such as moss treatment, removal of dirt, leaves, etc. be carried out bi-annually.</p>


B3020 ROOF APPURTENANCES

B3020.70 RAINWATER MANAGEMENT

GUTTERS & DOWNPIPIES

Inspection Date: May 27, 2016	Inspected By: LDR Engineering
Project Location: 21867 50th Avenue, Langley, BC	

LOCATION:	All building elevations
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PHOTOS:	OBSERVATIONS:
	<p>There is a gutter and downpipe system surrounding the soffits of the pitched roof areas.</p> <p>The downpipes extend down to grade and are connected to the projects storm drainage system.</p> <p>The gutter and downpipe system installed on this project appeared to have good coverage, and was generally well attached and undamaged. We did observe two locations near unit 5 on the North side of the complex. We recommend the downpipe be re-attached as a maintenance item.</p> <p>The buildings on the west side of the property are near large cedar trees.</p> <p>The gutters adjacent to the trees should be cleaned frequently, as the debris from the trees will clog the gutters quickly.</p>

**B3040 TRAFFIC BEARING
HORIZONTAL ENCLOSURES**

**B3040.30 HORIZONTAL
WATERPROOFING MEMBRANE**

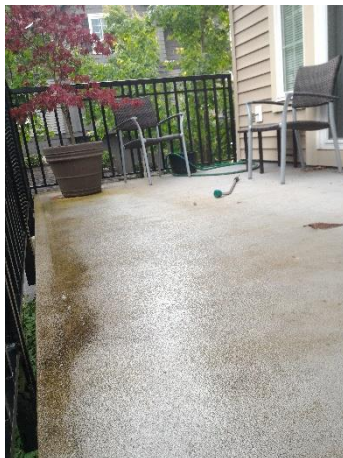
LIQUID APPLIED BALCONY MEMBRANE

Inspection Date: May 27, 2016 Inspected By: LDR Engineering

Project Location: 21867 50th Avenue, Langley, BC

LOCATION: All balconies

PHOTOS: **OBSERVATIONS:**



Balconies are generally defined as horizontal projections which are exposed to precipitation, but are not located above heated, occupied space.

Since the balconies are not over living space, the requirements for the waterproofing are a bit less stringent than if the waterproofing was located over occupied or living space.

The balcony membrane installed on this project is a liquid applied balcony coating, typically a moisture cured urethane product is used in residential construction. The liquid applied membrane does not have a very long service life, and recoating of the membrane is recommended at approximately ten year intervals.

The balconies appeared to be sloped to drain away from the building, and the membrane observed was well applied, without damage, blistering or delamination.

**B3040 TRAFFIC BEARING
HORIZONTAL ENCLOSURES**

**B3040.30 HORIZONTAL
WATERPROOFING MEMBRANE**

LIQUID APPLIED BALCONY MEMBRANE

Inspection Date: May 27, 2016

Inspected By: LDR Engineering

Project Location: 21867 50th Avenue, Langley, BC

ADDITIONAL COMMENTS

LOCATION:

All balconies and raised entries

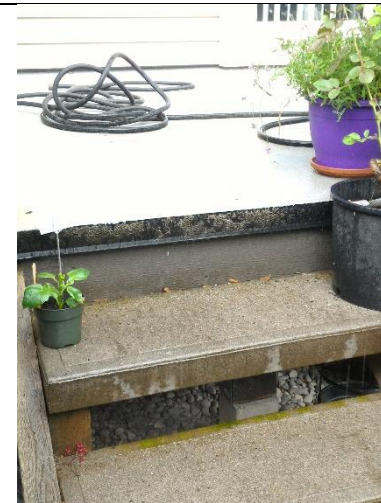
OBSERVATIONS



Typical concrete stair entry to balcony.
Top step is tight against the wood fascia.



Typical front entry stair, the top step is tight against the landing wood fascia.



Top stair tread is tight against the wood fascia. This retains water against the wood fascia, which will lead to premature deterioration of the wood fascia. The tread should allow enough space for water to drain between the fascia and the stair treat.

B3080 OVERHEAD EXTERIOR ENCLOSURE

B3080.20 EXTERIOR SOFFITS

VENTILATED PVC SOFFITS

Inspection Date: May 27, 2016

Inspected By: LDR Engineering

Project Location: 21867 50th Avenue, Langley, BC

LOCATION:

All building elevations

PHOTOS:



OBSERVATIONS:

The perforated vinyl soffits below most of the balconies and roof eaves were generally in good condition without systemic signs of staining, damage or loose panels.

The ivy growing on the columns and wood trim at unit 69 can damage the paint and wood surfaces, and should be removed.

The soffits do not incorporate the dryer or bathroom exhaust vents, which is good practice.

Glossary of Terms

GLOSSARY OF TERMS

Definitions with * have specific meanings as per the Vancouver Building By-law and the BC Building Code

***Air barrier** system means the assembly installed to provide a continuous barrier to the movement of air.

***Attic** of roof space means the space between the roof and the ceiling of the top storey or between a dwarf wall and a sloping roof.

Balcony means a horizontal surface or projection exposed to the exterior.

***Basement** means a storey or storeys of a building located below the first storey.

***Building** means any structure used or intended for supporting or sheltering any use or occupancy.

Building Envelope means building materials that separate environmentally dissimilar interior space, or, building materials exposed to exterior space or the ground.

***Building Envelope Professional** means a member of the Architectural Institute of British Columbia or the Association of Professional Engineers and Geoscientists of British Columbia who has completed a recognized program in building envelope studies and has met all of the requirements for listing as a Building Envelope Professional with the Institute or Association.

Building Paper means a breather-type asphalt sheathing paper rated in minutes based on preventing water flow at saturation in accordance with a standard test.

Built-up Roof (BUR) means a waterproof system constructed of multiple felt layers mopped down with hot bitumen.

***Cavity** wall means a construction of masonry units laid with cavity between the wythes. The wythes are tied together with metal ties or bonding units, and are relied on to act together in resisting lateral loads.

Cladding means a material or assembly that forms the exterior skin of the wall. Cladding types include; stucco, EIFS, metal panels, brick/stone veneer, various siding materials.

***Contractor** means a person who contracts with an owner or an authorized agent of an owner to undertake a project, and includes an owner who contracts with more than one person for the work on a project or undertakes the work on a project or any part thereof.

Control Joint means a joint in a structure, usually applicable to stucco cladding used to regulate the amount and location of cracking.

Delamination means a separation along a plane parallel to the surface.

Deck means a horizontal surface exposed to the outdoors, located over a living space.

Drip Edge means a projection detailed to direct water run-off to the exterior.

***Exhaust Duct** means a duct through which air is conveyed from a room or space to the outdoors.

Face-Seal means a wall assembly where the performance of the wall depends on the ability of the exterior surface and associated sealants to shed water and prevent any water infiltration. This system has no drainage plane as provided by a rainscreen wall assembly.

***Firewall** means a type of fire separation of noncombustible construction which subdivides a building or separates adjoining buildings to resist the spread of fire, has a fire-resistance rating, and has structural stability to remain intact under fire conditions for the required fire-rated time.

Fishmouth means a deficiency in the installation of sheet membranes which results in a fold in the leading edge which can allow water penetration.

Flashing means a sheet metal or other material used in roof or wall construction designed to direct or shed water, typical types include: cap or parapet flashing: (top of walls, roof parapets), head or sill flashing (top or bottom of windows or other penetrations), cross-cavity (sheds water from the moisture barrier to the exterior, across the cavity and cladding), saddle flashing (flashing used at wall to horizontal planes), base flashing (used at the bottom edge of wall surfaces or edges of soffits)

Frame means the associated head, jamb, sill, and, where applicable, mullion and muntin that, when assembled, house the sash or fixed glazing.

***Grade** means the lowest of the average levels of finished ground adjoining each exterior wall of a building.

***Guard** means a protective barrier around openings in floors or at the open sides of stairs, landings, balconies, mezzanines, galleries, raised walkways or other locations to prevent accidental falls from one level to another. Such barrier may or may not have openings through it.

Gum Lip means a method of sealing a flashing to a wall surface whereby the top edge of the flashing is bent outwards to provide a location for a sealant bead.

Head means horizontal member forming the top of the frame.

Housewrap means a sheet plastic material, which is used as a sheathing paper, usually a spun-bonded polyolefin material. This material has a low liquid material air leakage rate and a high water vapour diffusion rate.

Insulating Glass Unit (IGU) means two or more panes spaced apart and hermetically sealed in a factory

Jamb means the upright or vertical members forming the side of the frame.

***Load-Bearing** (as applying to a building element) means subjected to or designed to carry loads in addition to its own dead load, excepting a wall element subjected only to wind or earthquake loads in addition to its own dead load.

Mullion means a vertical or horizontal frame member that separates two or more lights within a window unit.

***Partition** means an interior wall 1 storey or part-storey in height that is not load-bearing.

***Party Wall** means a wall jointly owned and jointly used by 2 parties under easement agreement or by right in law, and erected at or upon a line separating 2 parcels of land each of which is, or is capable of being, a separate real-estate entity.

Punched Window means a single window frame and glass assembly surrounded by cladding as opposed to a number of frames coupled horizontally or vertically (window wall assembly).

Rainscreen (or Drainage) Cavity means a wall design providing a drainage plane behind the exterior cladding material. Allows incidental water entering the wall system to drain by gravity and allows venting and drying of underlying wall assemblies.

***Roof Drain** means a fitting or device that is installed in the roof to permit storm water to discharge into a leader.

***Roof Gutter** means an exterior channel installed at the base of a sloped roof to convey storm water.

Scupper means a metal pipe or trough section, which directs water to the exterior from a roof or balcony.

Sheathing means a panel material used to provide stiffness to the wall framing and /or provide backing for the cladding.

Sheathing Paper means a material in a wall assembly whose purpose is to protect materials from water penetration.

Spall means a piece of material, which has delaminated due to mechanical damage, or weather action (usually as a result of freeze/ thaw condition).

Strapping means strips of wood or metal to form a cavity in a rainscreen wall assembly.

UV means ultra-violet radiation (from the sun), which has a degrading effect on many membrane and sealing materials (asphalt based) unless protected by an appropriate shielding layer.

***Vapour Barrier** means the elements installed to control the diffusion of water vapour.

Weep Hole means an opening in a wall or window assembly, which allows incidental water to drain to the exterior. Weep holes also act as vents allowing air movement and drying of cavity wall assemblies

End of Glossary