

Kootenay BC



PROPERTY MATCHMAKERS  FAIR REALTY

LOT 1 SLOCAN LAKE
SLOCAN, BC

\$579,000



DETAILS

Located in the Valhalla Wilderness on Slocan Lake this waterfront property is boat access only. The house is unfinished and a perfect setup for you to put your own personal touches on it. Docks and decks in place, outhouse, outdoor kitchen set up. This area is for off-grid properties. This is a share sale - you are purchasing 20,000 shares in the company which gives you the right to use and develop, and sell Parcel D. There are few properties available on Slocan Lake, this one is perfect if you need to get a way from it all! Check out the information package for details.

MLS: 2460694 Size: 3.28 acres

Services: N/A



TITLE

TITLE SEARCH PRINT

2021-08-20, 15:57:28

File Reference:

Requestor: Kul Nijjar

Declared Value \$80,000

CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN

Land Title District

NELSON

Land Title Office

NELSON

Title Number

XJ9631

From Title Number

XG19245

Application Received

1995-04-27

Application Entered

1995-04-27

Registered Owner in Fee Simple

Registered Owner/Mailing Address:

SLOCAN, BC

V0G 2C0

Nelson Trail Assessment Area

Taxation Authority

Description of Land

Parcel Identifier:

018-314-171

Legal Description:

LOT 1 DISTRICT LOT 10396 KOOTENAY DISTRICT PLAN NEP20595

Legal Notations

SEE PLAN AS TO LIMITED ACCESS

Charges, Liens and Interests

Nature:

COVENANT

Registration Number:

XG19243

Registration Date and Time:

1993-07-22 11:47

Registered Owner:

HER MAJESTY THE QUEEN IN RIGHT OF THE PROVINCE OF
BRITISH COLUMBIA

AS REPRESENTED BY THE MINISTER OF ENVIRONMENT,
LANDS AND PARKS

REGIONAL DISTRICT OF CENTRAL KOOTENAY

Remarks:

INTER ALIA

SECTION 215 LTA

Duplicate Indefeasible Title

NONE OUTSTANDING

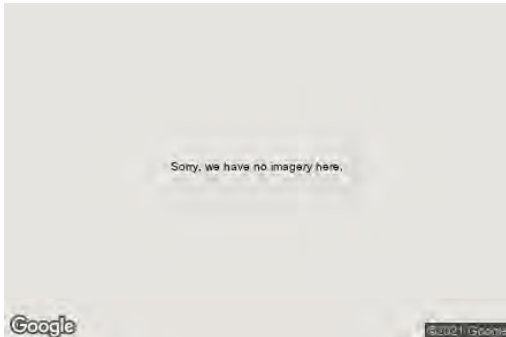
TAX ASSESSMENT



The information in this report is provided for your information and convenience. If the information has been altered for any reason from the format in which it was originally received verification may be required by BC Assessment. In any case of doubt, the official BC Assessment records shall prevail.

SLOCAN LAKE BOAT ACCESS SLOCAN

Area-Jurisdiction-Roll: 21-707-22148.010



Total value **\$574,000**

2021 assessment as of July 1, 2020

Land \$464,000

Buildings \$110,000

Previous year value \$556,000

Land \$450,000

Buildings \$106,000

Property information

Year built	1999
Description	1 STY Rec Home - Basic
Bedrooms	1
Baths	
Carports	
Garages	
Land size	3.237 Acres
First floor area	452
Second floor area	
Basement finish area	
Strata area	
Building storeys	
Gross leasable area	
Net leasable area	
No.of apartment units	

Legal description and parcel ID

Lot 1 Plan NEP20595 District Lot 10396 Land District 26
PID: 018-314-171

Sales history (last 3 full calendar years)

No sales history for the last 3 full calendar years

Manufactured home

Width
Length
Total area

Comments

Property has more than one structure; Property Details are for main building only

PROPERTY DISCLOSURE STATEMENT

PAGE 1 of 3 PAGES

PROPERTY DISCLOSURE STATEMENT RESIDENTIAL



Date of disclosure: Aug 19/21

The following is a statement made by the seller concerning the premises or bare-land strata lot located at:

ADDRESS/BARE-LAND STRATALOT #: Lot 1 Slokan BC (the "Premises")

THE SELLER IS RESPONSIBLE for the accuracy of the answers on this Property Disclosure Statement and where uncertain should reply "Do Not Know." This Property Disclosure Statement constitutes a representation under any Contract of Purchase and Sale if so agreed, in writing, by the seller and the buyer.	THE SELLER SHOULD INITIAL THE APPROPRIATE REPLIES.			
1. LAND	YES	NO	DO NOT KNOW	DOES NOT APPLY
A. Are you aware of any encroachments, unregistered easements or unregistered rights-of-way?		/		
B. Are you aware of any existing tenancies, written or oral?		/		
C. Are you aware of any past or present underground oil storage tank(s) on the Premises?		/		
D. Is there a survey certificate available?	/			
E. Are you aware of any current or pending local improvement levies/charges?		/		
F. Have you received any other notice or claim affecting the Premises from any person or public body?		/		
2. SERVICES				
A. Indicate the water system(s) the Premises use: Municipal <input type="checkbox"/> Community <input type="checkbox"/> Private <input checked="" type="checkbox"/> Well <input type="checkbox"/> Not Connected <input type="checkbox"/> Other _____ <i>Note: Private and Well Water Systems include pumps and other diversions.</i>				
B. If you indicated in 2A that the Premises have a private or well water system (including pumps and other diversions):				
(i) Did use of the well or water system commence on or before February 29, 2016?				
(ii) Do you have a licence (or have you applied for a licence) under the Water Sustainability Act (British Columbia)?		/		
C. If you indicated in 2A that the Premises have a private or well water system (including pumps and other diversions), have all private or well water systems been constructed, maintained and operated (including securing all well caps or covers) in accordance with the Water Sustainability Act (British Columbia)?			/	
D. Are you aware of any problems with the water system?		/		
E. Are records available regarding the quantity of the water available?		/		
F. Indicate the sanitary sewer system the Premises are connected to: Municipal <input type="checkbox"/> Community <input type="checkbox"/> Septic <input type="checkbox"/> Lagoon <input type="checkbox"/> Not Connected <input checked="" type="checkbox"/> Other _____				
G. Are you aware of any problems with the sanitary sewer system?		/		
H. Are there any current service contracts: (i.e., septic removal or maintenance)?		/		
I. If the system is septic or lagoon and installed after May 31, 2005, are maintenance records available?		/		
3. BUILDING				
A. To the best of your knowledge, are the exterior walls insulated?		/		
B. To the best of your knowledge, is the ceiling insulated?		/		
C. To the best of your knowledge, have the Premises ever contained any asbestos products?		/		

INITIALS AS

PROPERTY DISCLOSURE STATEMENT

Aug 19/21

PAGE 2 OF 3 PAGES

DATE OF DISCLOSURE

ADDRESS/STRATA UNIT #: *Lot 1 Slocan BC*

3. BUILDING (continued)	YES	NO	DO NOT KNOW	DOES NOT APPLY
D. Has a final building inspection been approved or a final occupancy permit been obtained?		/		
E. Has the fireplace, fireplace insert, or wood stove installation been approved: (i) by local authorities? <input type="checkbox"/> (ii) received WETT certificate? <input type="checkbox"/>		/		
F. Are you aware of any infestation or unrepaired damage by insects, rodents or bats?		/		
G. Are you aware of any structural problems with any of the buildings?		/		
H. Are you aware of any additions or alterations made in the last sixty days?		/		
I. Are you aware of any additions or alterations made without a required permit and final inspection: e.g., building, electrical, gas, etc.?		/		
J. Are you aware of any problems with the heating and/or central air conditioning system?		/		
K. Are you aware of any moisture and/or water problems in the walls, basement or crawl space?		/		
L. Are you aware of any damage due to wind, fire or water?		/		
M. Are you aware of any roof leakage or unrepaired roof damage? (Age of roof if known: _____ years)		/		
N. Are you aware of any problems with the electrical or gas system?		/		
O. Are you aware of any problems with the plumbing system?		/		
P. Are you aware of any problems with the swimming pool and/or hot tub?		/		
Q. Do the Premises contain unauthorized accommodation?		/		
R. Are there any equipment leases or service contracts: e.g., security systems, water purification, etc.?		/		
S. Were these Premises constructed by an "owner builder," as defined in the Homeowner Protection Act, within the last 10 years? If yes, attach required Owner Builder Disclosure Notice.		/		
T. Are these Premises covered by home warranty insurance under the Homeowner Protection Act?		/		
U. Is there a current "EnerGuide for Houses" rating number available for these premises? (i) If yes, what is the rating number? _____ (ii) When was the energy assessment report prepared? _____		/		
V. Have the Premises been tested for radon? (i) If yes, when was the most recent test completed and what was the most recent level of radon detected? <input type="checkbox"/> <input type="checkbox"/> Level: _____ Bq/m3 or pCi/L (circle one) on _____ (DD/MM/YYYY)		/		
W. Is there a radon mitigation system on the Premises? (i) If yes, are you aware of any problems or deficiencies with the radon mitigation system?		/		
4. GENERAL				
A. Are you aware if the Premises have been used to grow cannabis (other than as permitted by law) or to manufacture illegal substances?		/		

INITIALS *as*

PROPERTY DISCLOSURE STATEMENT

Aug 19/21 PAGE 3 of 3 PAGES

DATE OF DISCLOSURE

ADDRESS/STRATA UNIT #: Lot 1 Slokan BC

4. GENERAL (continued)	YES	NO	DO NOT KNOW	DOES NOT APPLY
B. Are you aware of any latent defect in respect of the Premises? <i>For the purposes of this question, "latent defect" means a defect that cannot be discerned through a reasonable inspection of the Premises that renders the Premises: (a) dangerous or potentially dangerous to occupants; or (b) unfit for habitation.</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C. Are you aware if the Premises, or any portion of the Premises, is designated or proposed for designation as a "heritage site" or "heritage value" under the Heritage Conservation Act or under municipal legislation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

ADDITIONAL COMMENTS AND/OR EXPLANATIONS (Use additional pages if necessary.)

The seller states that the information provided is true, based on the seller's current actual knowledge as of the date on page 1. Any important changes to this information made known to the seller will be disclosed by the seller to the buyer prior to closing. The seller acknowledges receipt of a copy of this Property Disclosure Statement and agrees that a copy may be given to a prospective buyer.

The buyer acknowledges that the buyer has received, read and understood a signed copy of this Property Disclosure Statement from the seller or the seller's brokerage on the _____ day of _____ yr. _____.

The prudent buyer will use this Property Disclosure Statement as the starting point for the buyer's own inquiries.

The buyer is urged to carefully inspect the Premises and, if desired, to have the Premises inspected by a licensed inspection service of the buyer's choice.

BUYER(S)

BUYER(S)

The seller and the buyer understand that neither the listing nor selling brokerages or their managing brokers, associate brokers or representatives warrant or guarantee the information provided about the Premises.

*PREC represents Personal Real Estate Corporation

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BC1003 REV. SEPT 2020

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EXPENSES

Property Taxes:

2021

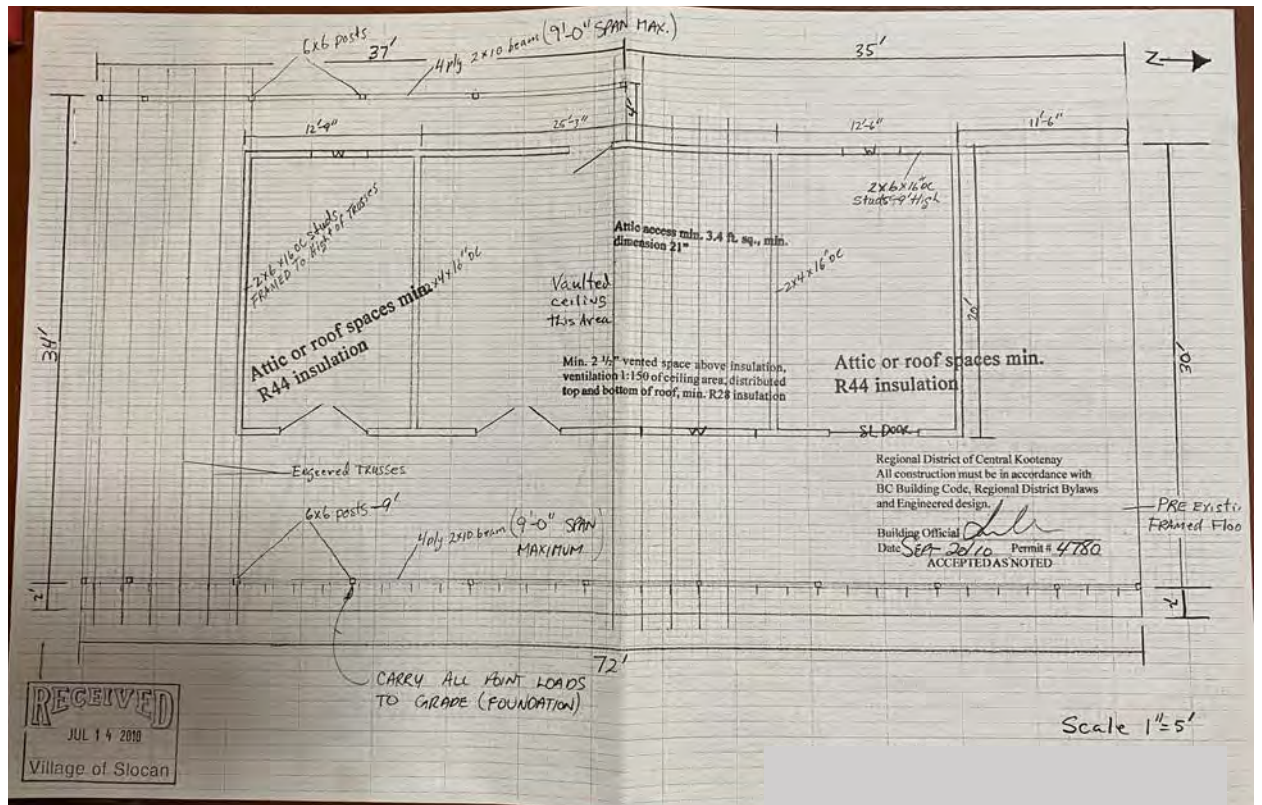
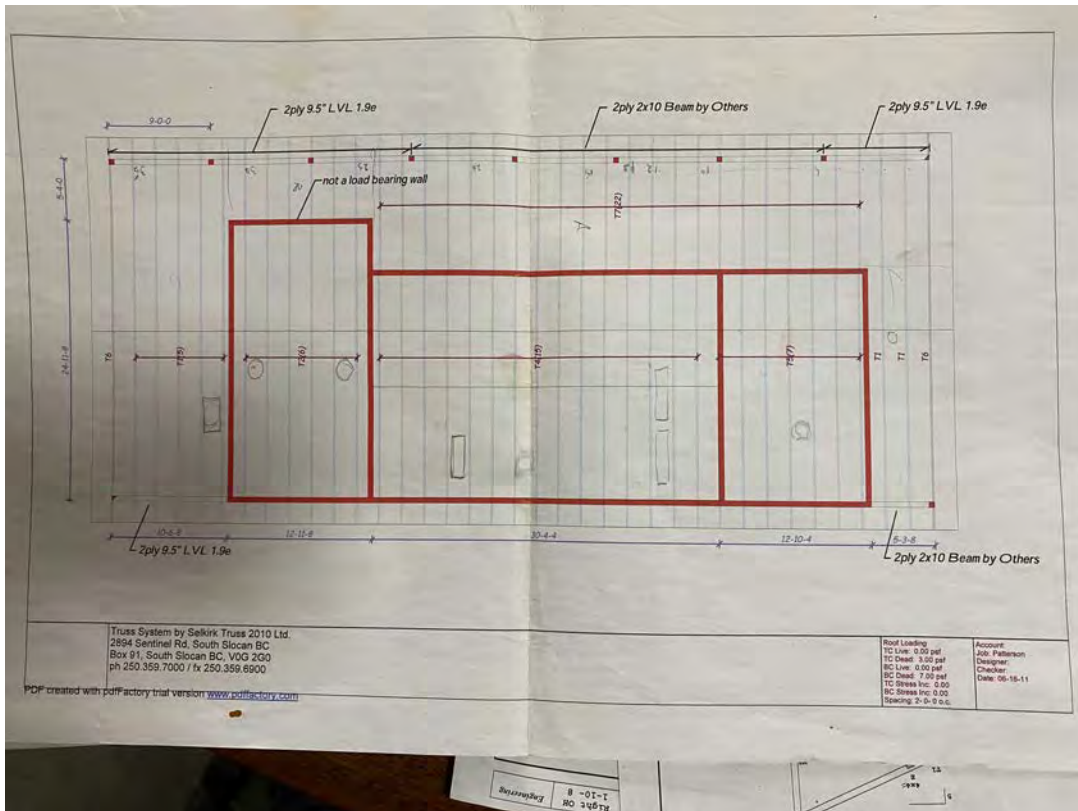
\$2,343.24



RENOVATIONS & DETAILS

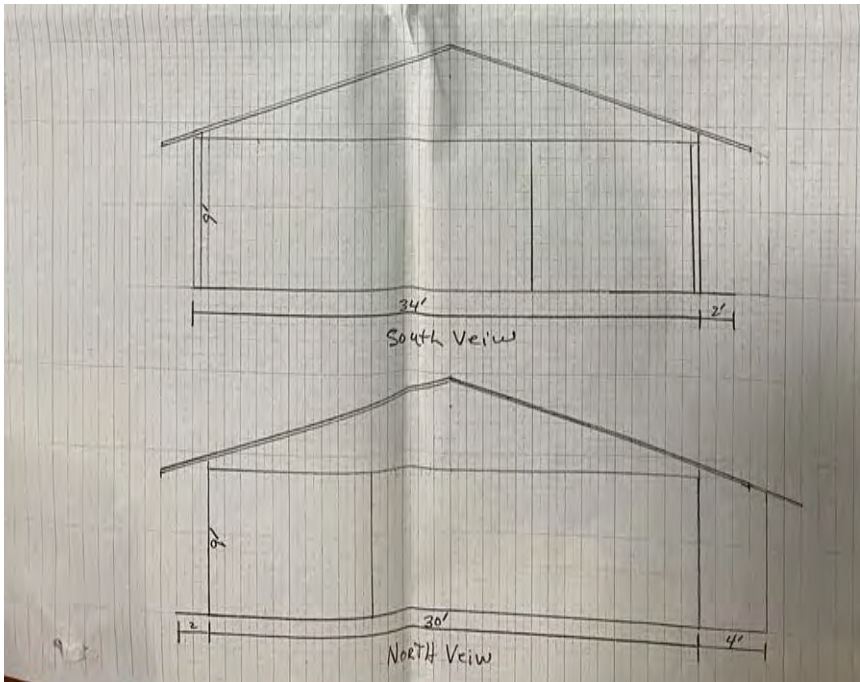
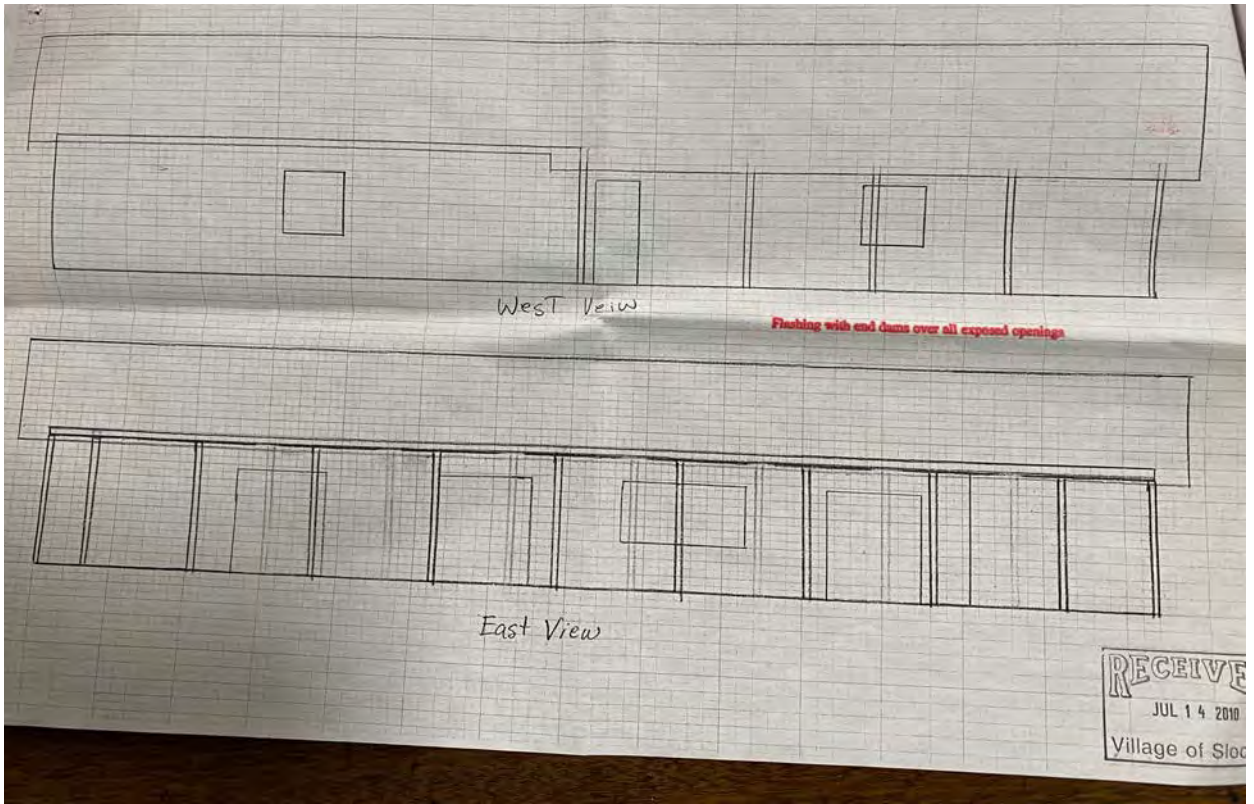
A permit was pulled to build the house but never completed.

BUILDING PLANS

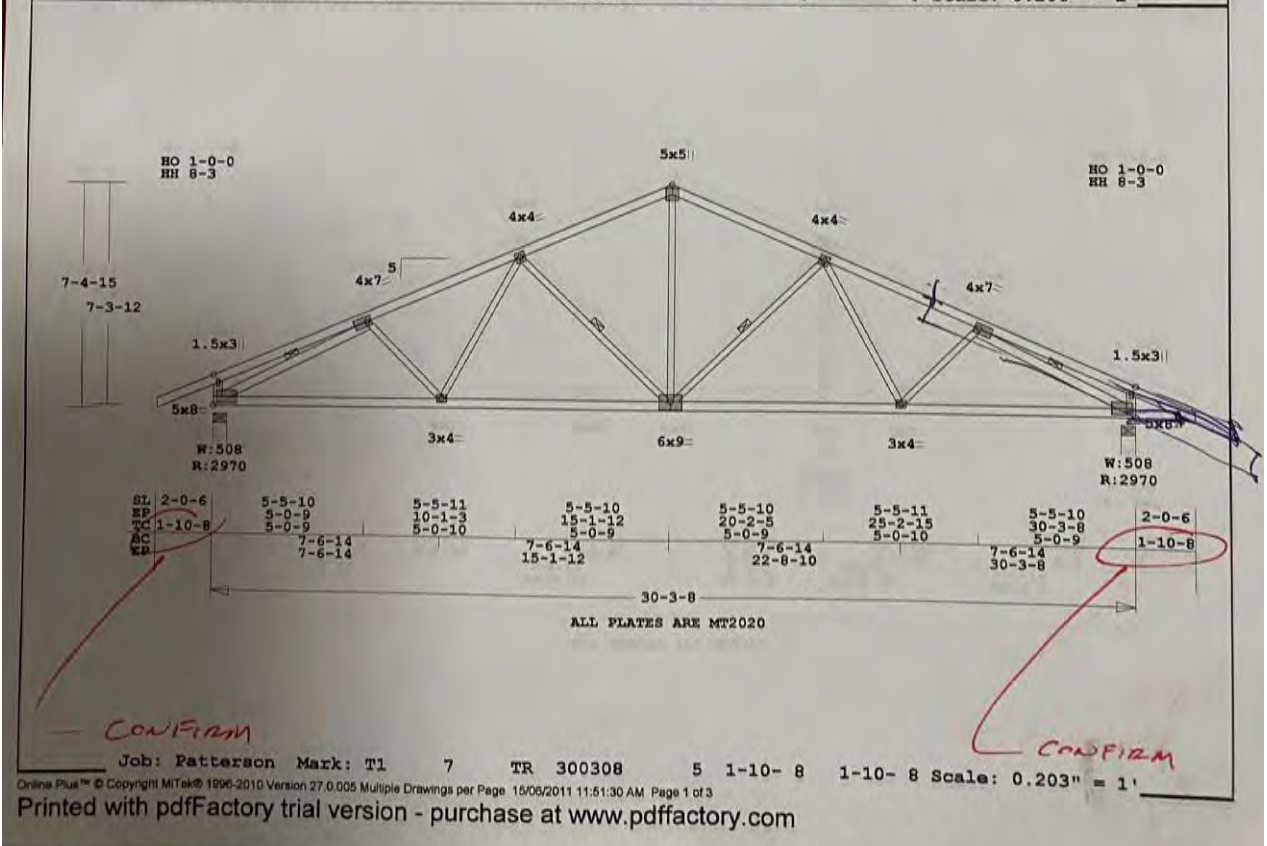
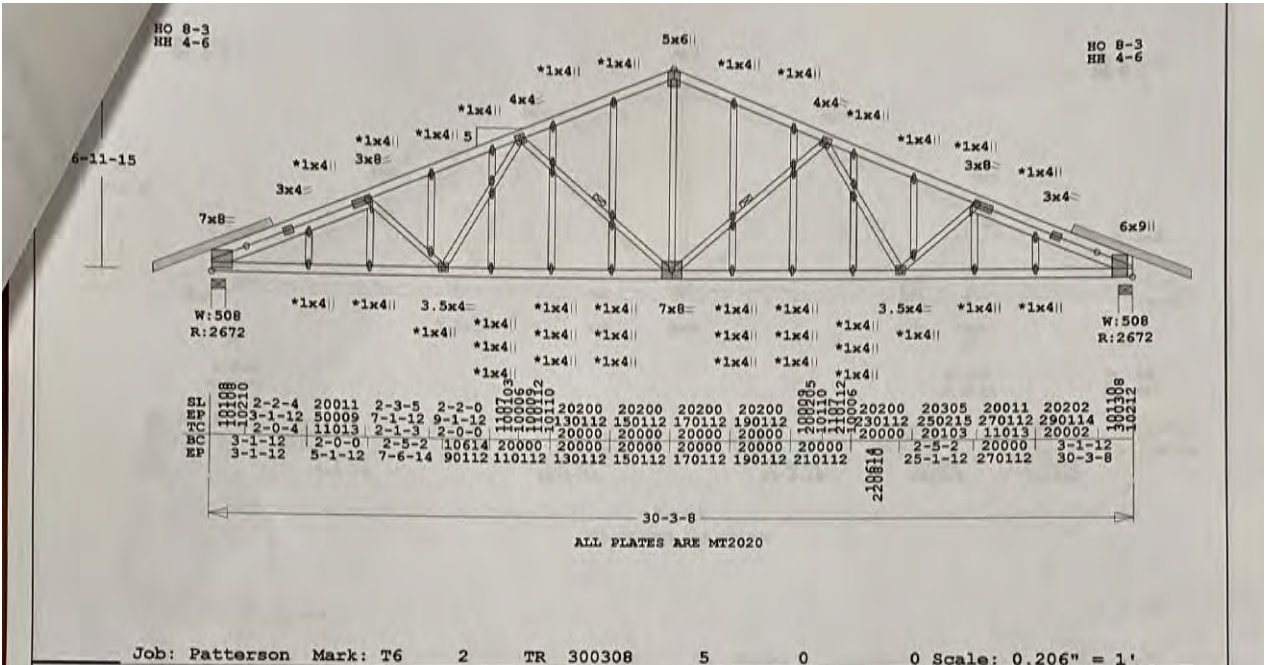


RECEIVED
 JUL 14 2010
 Village of Slokan

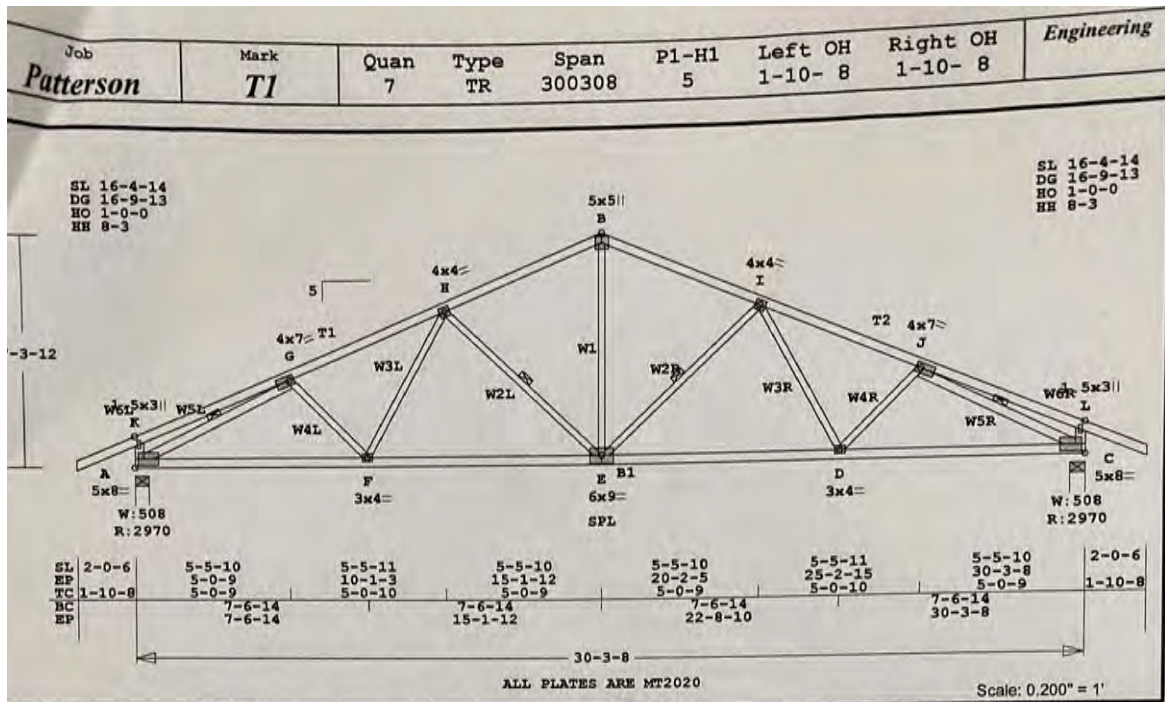
BUILDING PLANS



BUILDING PLANS



BUILDING PLANS



Online Plus -- Version 27.0.005
 RUN DATE: 15-JUN-11

MiTek® Online Plus™ APPROX. TRUSS WEIGHT: 113.6 LBS

CSI	Size	Lumber
TC	0.69 2x 4	SPF-#2B
BC	0.75 2x 4	SPF-#2B
WB	0.78 2x 4	SPF-#2B
--	0.39 2x 3	SPF-#2B
G-F	F-H	H-E
E-I	I-D	D-J

Importance Category : Normal
 Condition at Manufacture : Dry
 Treatment : Untreated
 Service Condition : Dry

Brace truss as follows:
 O.C. From To
 TC Cont. 0- 0- 0 30- 3- 8
 BC 120.0" 0- 0- 0 30- 3- 8
 One Continuous Lateral Brace
 A-G H-E E-I J-C
 All braces 1x4"

psf-Ld	Dead	Live	Snow
TC	3.0	0.0	50.5
BC	7.0	0.0	0.0
TC+BC	10.0	0.0	50.5
Total 60.5 Spacing 24.0"			
TC Fb=1.10	Fc=1.10	Ft=1.10	
BC Fb=1.10	Fc=1.10	Ft=1.10	

Unfactored Reactions (Lbs)

Jt	-DL-	-LL-	-SL-
A	314D	00	1719D
C	314D	00	1719D

TL Factored Reactions (Lbs)

Jt	Down	Uplift	Horiz-
A	2971		
C	2971		

Jt	Brq	Size	Required
A		5.5"	3.2"
C		5.5"	3.2"

Maximum Downward Loadcase

LC#	1	Snow	Loading
Plf	TC	BC	Req
Dist	Dead	6	0.0 30.3
Dist	Snow	101	101 0.0 30.3
Plf	BC	Req	End From To
Dist	Dead	14	14 0.0 30.3

Membr	CSI	P Lbs	Ax1-CSI-Bnd
-----Top Chords-----			
K-G	0.47	21 T	0.03 0.44
G-H	0.69	4124 C	0.28 0.42
H-B	0.60	3092 C	0.16 0.45
B-I	0.60	3092 C	0.16 0.45
I-J	0.69	4124 C	0.28 0.42
J-L	0.47	21 T	0.03 0.44
-----Bottom Chords-----			
A-F	0.75	3959 T	0.64 0.12
F-E	0.70	3651 T	0.59 0.12
E-D	0.70	3651 T	0.59 0.12
D-C	0.75	3959 T	0.64 0.12
-----Wabs-----			
A-K	0.07	654 C	
A-G	0.78	4558 C	1 Br
G-F	0.06	218 C	
F-H	0.08	354 T	
H-E	0.39	1149 C	1 Br
E-B	0.38	1709 T	1 Br
E-I	0.39	1149 C	
I-D	0.08	354 T	
D-J	0.06	218 C	
J-C	0.78	4558 C	1 Br
C-L	0.07	654 C	

C MT20 5.0x 8.0-1.8 Ctr 0.89

Placement Tolerance Used 0.25 in.
 Allowance For Ineffective Teeth shall be 10.0%
 Allowance for Rotation on Joint shall be 5.0 deg.

NOTES:
 Trusses Manufactured by:
SELKIRK TRUSS
 Analysis Conforms To:
 TPIC-RES , Modified Formula
 NBCC2005
 OH Loading
 Design Roof Snow Load Use:
 Ground Snow Load = 88.0 psf
 Rain Load = 2.1 psf
 Non-slippery Roof
 Importance Factor 1.00
 Exposed to Wind Factor 1.00
 Balanced Load Factor 0.55
 Unbalanced Load Factor 0.00

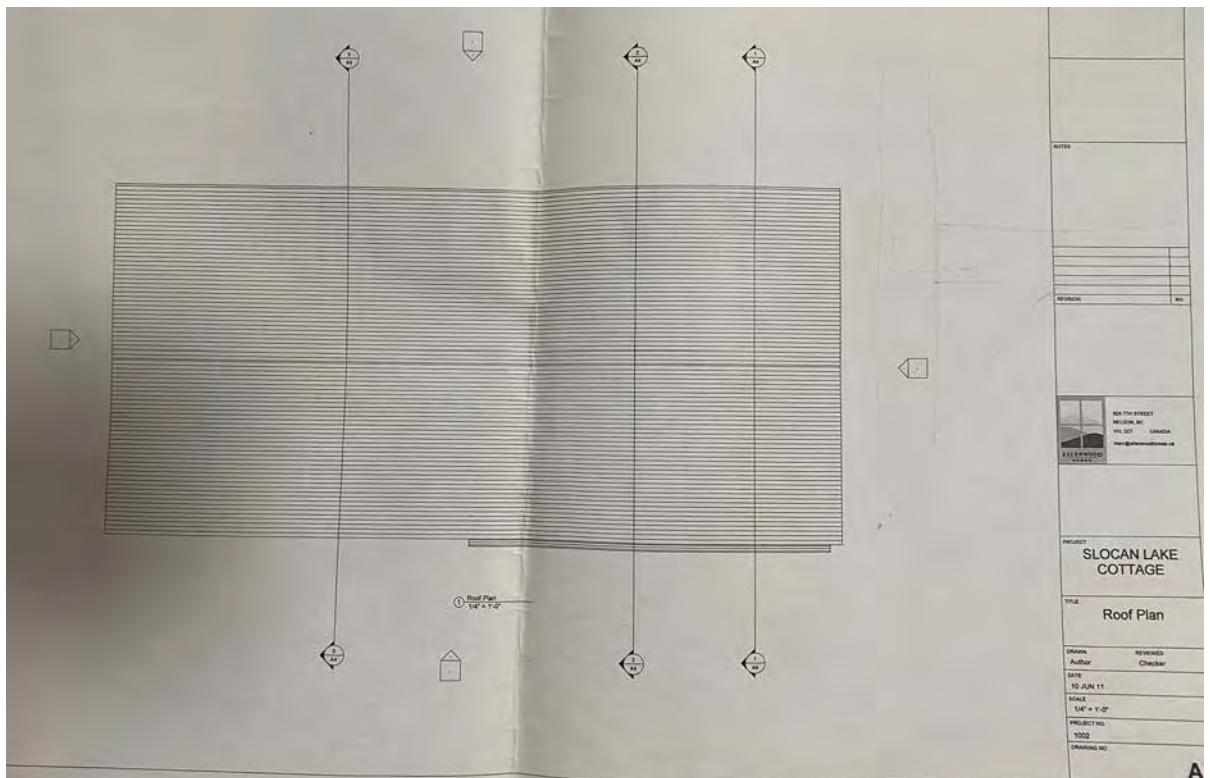
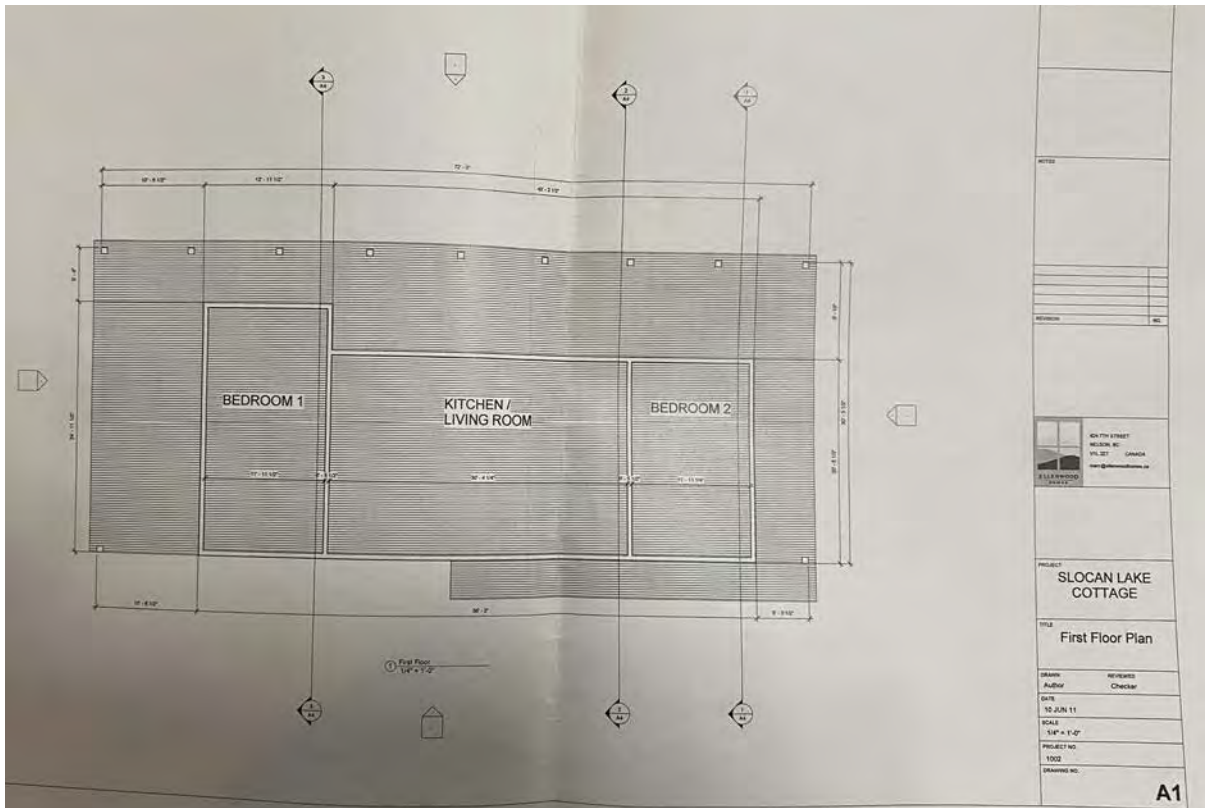
TL Defl -0.46" in F-E L/758
 TL Panel -0.18" in H-B L/372
 (Note - TL = 1.33LL + DL)
 LL Defl -0.33" in F-E L/999
 Shear // Grain in H-B 0.34

Plates for each ply each face.
 PLATING CONFORMS TO TPIC 2007
 CSA STANDARD O86-01, ENG.
 DESIGN IN WOOD, LATEST EDITION
 GRIP VALUES BASED ON NET AREA
 PLATES MANUFACTURED BY
 MITEK CANADA INC.
 Plate - MT20 20 Ga, Net Area
 Plate - MT8H 18 Ga, Net Area
 Plate - MT16 16 Ga, Net Area
 Jt Type Plt Size X Y JSI
 K MT20 1.5x 3.0 Ctr Ctr 0.60
 G MT20 4.0x 7.0-1.7-0.7 0.91
 H MT20 4.0x 4.0 Ctr Ctr 0.60
 B MT20 5.0x 5.0 Ctr Ctr 0.88
 I MT20 4.0x 4.0 Ctr Ctr 0.60
 J MT20 4.0x 7.0 1.7-0.7 0.91
 L MT20 1.5x 3.0 Ctr Ctr 0.60
 A MT20 5.0x 8.0 1.8 Ctr 0.89
 F MT20 3.0x 4.0 Ctr Ctr 0.66
 E MT20 6.0x 9.0 Ctr-0.2 0.85
 D MT20 3.0x 4.0 Ctr Ctr 0.66

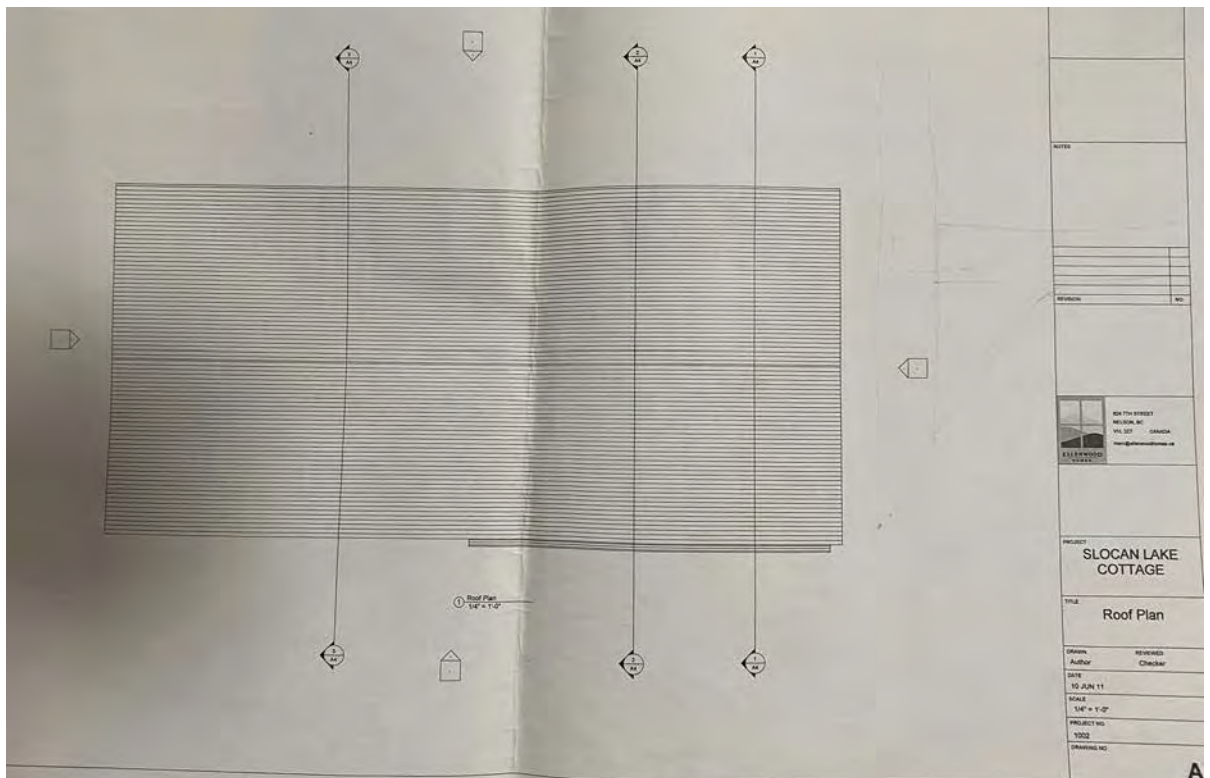
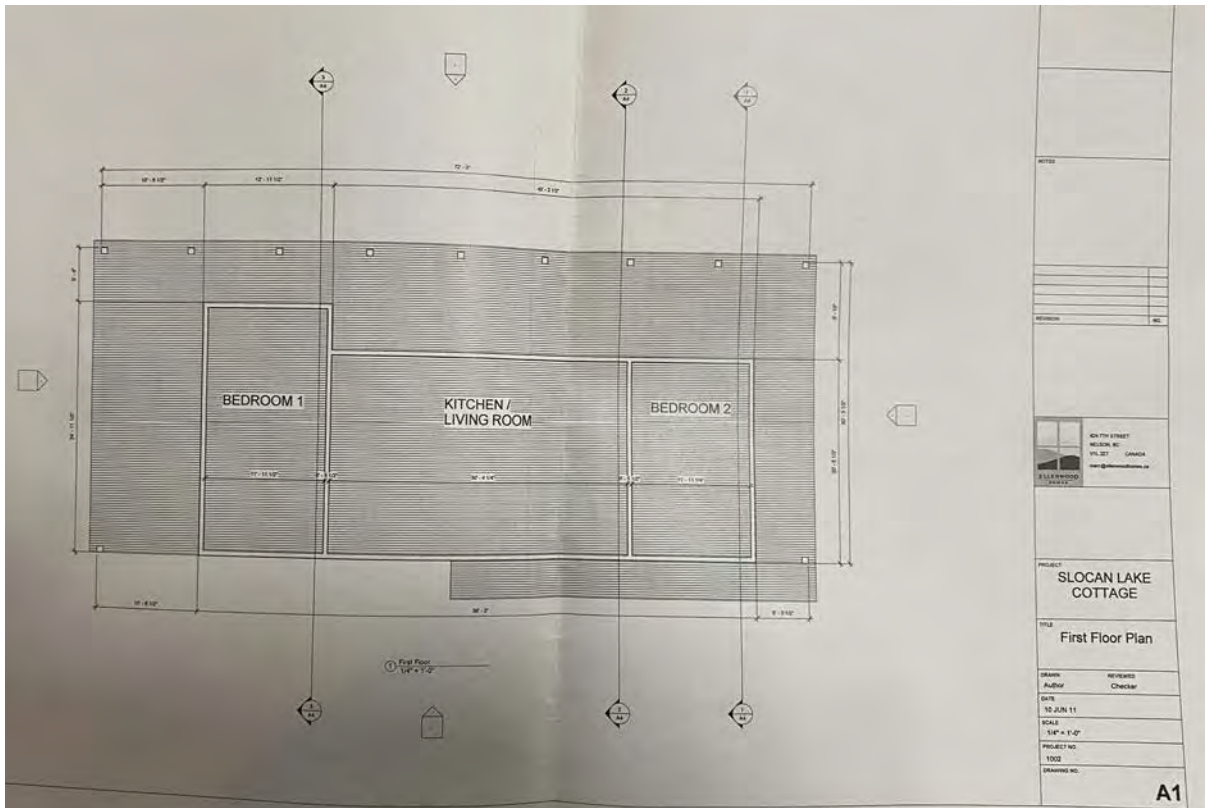


Jun 27, 2011

BUILDING PLANS



BUILDING PLANS



ROOF SUPPORT ENGINEER STAMP

6-16-11
11:56am
1 of 1



KeyBeam® 4.506a
kmbBeamEngine 4.508e1
Materials Database 1287

Member Data

Description: Roof Support
Exterior Beam

Member Type: Beam
Top Lateral Bracing: Continuous
Bottom Lateral Bracing: None
Moisture Condition: Dry
Deflection Criteria: L/240 live, L/240 total
Deck Connection: Nailed
Filename: Patterson_Be
Importance Category: Normal

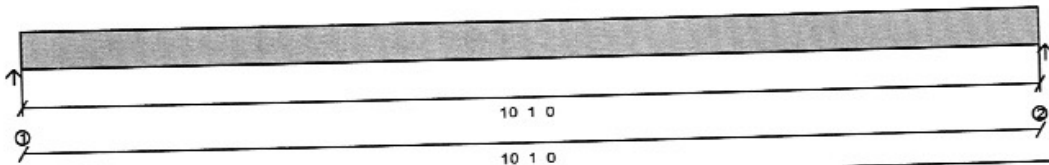
Application: Roof
Slope: 0.00 / 12

Building Code: NBCC-2005

Member Weight: 9.5 PLF

Standard Load:
Dead Load: 157 PLF
Snow Load: 860 PLF

Building Type: Residential



Bearings and Factored Reactions

	Location	Type	Input Length	Min Required	Gravity Reaction	Gravity Uplift
1	0' 0.000"	Wall	N/A	2.005"	7662#	--
2	10' 2.750"	Wall	N/A	2.005"	7662#	--

Maximum Unfactored Load Case Reactions

Used for applying point loads (or line loads) to carrying members

	Dead	Snow
1	852#	4399#
2	852#	4399#

Design spans
10' 2.750"

Product: 1 3/4" LP-LVL 9 1/2" 1.9E 2 ply
Component Member Design has Passed Design Checks.**
Minimum 2.00" bearing required at bearing # 1
Minimum 2.00" bearing required at bearing # 2
Design assumes continuous lateral bracing along the top chord.
Design assumes no lateral bracing along the bottom chord.



Jun 27, 2011

Limit States Design

	Actual	Limit	Capacity	Location	Loading
Positive Moment	19595.#	19844.#	98%	5.11'	Total load 1.25D+1.00*1.5S
Shear	6476.#	10574.#	61%	9.72'	Total load 1.25D+1.00*1.5S
TL Deflection	0.4876"	0.5115"	L/251	5.11'	Total load D+0.90*S
LL Deflection	0.4013"	0.5115"	L/305	5.11'	Total load 0.90*S

(Actual is factored load effects. Limit is design resistance)

Control: Positive Moment

Manufacturer's installation guide MUST be consulted for multi-ply connection details and alternatives



All product names are trademarks of their respective owners

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**Passing is defined as when the member, floor joist, beam or girder shown on this drawing meets applicable design criteria for Loads, Loading Conditions, and Spans listed on this sheet. The design must be reviewed by a qualified designer or design professional as required for approval. This design assumes product installation according to the manufacturer's specifications.

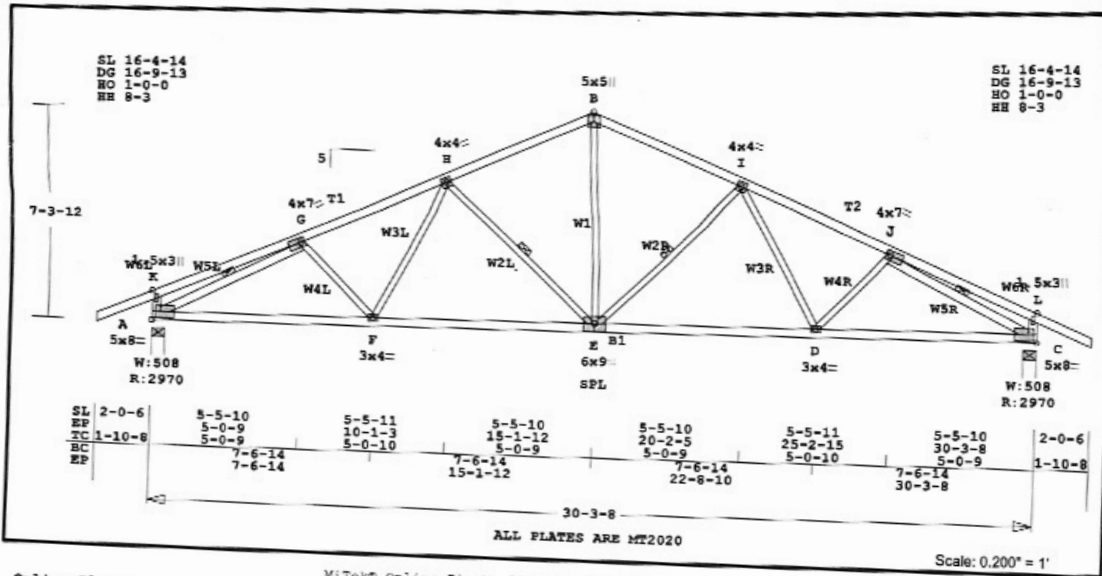
NOTES ON DESIGN:

- * Designed in accordance with the building code as noted and applied loading as described in the calculation sheet above; dimensional lengths shown are assumed to be the design spans.
- ** This component design is specifically for the product as noted in this calculation sheet.
- * The component described is designed to support only vertical loads as shown. Verification of loading, site dimensions, deflection limits, framing methods, uplift connections, lateral bracing, is the responsibility of the project engineer, architect or builder or other.
- * Installation details, hole locations, connections as per manufacturer's product literature.
- * BLOCKING PANELS TO BE CONNECTED USING "JOIST LOCK" BLOCKING ANCHOR.

Keith Williams
Selkirk Truss
South Slocan BC
250.359.7000 PH
250.359.6900 FX

ROOF TRUSS ENGINEER STAMP

Job Patterson	Mark TI	Quan 7	Type TR	Span 300308	Pl-H1 5	Left OH 1-10- 8	Right OH 1-10- 8	Engineering
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Online Plus -- Version 27.0.005
RUN DATE: 15-JUN-11

CSI	Size	Lumber
TC	0.69	2x 4 SPF-#2B
BC	0.75	2x 4 SPF-#2B
WB	0.78	2x 4 SPF-#2B
--	0.39	2x 3 SPF-#2B
G-F	F-H	H-E
E-I	I-D	D-J

Importance Category : Normal
Condition at Manufacture : Dry
Treatment : Untreated
Service Condition : Dry

Brace truss as follows:
O.C. From To
TC Cont. 0-0-0 30-3-8
BC 120.0" 0-0-0 30-3-8
One Continuous Lateral Brace
A-G H-E E-I J-C
All braces 1x4"

psf-Ld	Dead	Live	Snow
TC	3.0	0.0	50.5
BC	7.0	0.0	0.0
TC+BC	10.0	0.0	50.5
Total	60.5	Spacing 24.0"	
TC Fb=1.10	Fc=1.10	Ft=1.10	
BC Fb=1.10	Fc=1.10	Ft=1.10	

Unfactored Reactions (Lbs)		
Jt	-DL-	-LL-
A	314D	OU
C	314D	OU

TL Factored Reactions (Lbs)		
Jt	Down	Uplift Horiz-
A	2971	
C	2971	

Jt	Brg Size	Required
A	5.5"	3.2"
C	5.5"	3.2"

Maximum Downward Loadcase					
LC#	1	Snow Loading			
P1F	TC	Beq	End	From	To
Dist	Dead	6	6	0.0	30.3
Dist	Snow	101	101	0.0	30.3
P1F	BC	Beq	End	From	To
Dist	Dead	14	14	0.0	30.3

MiTek Online Plus™ APPROX. TRUSS WEIGHT: 113.6 LBS

Member	CSI	P Lbs	Ax1	CSI-Bnd
-----Top Chords-----				
K-G	0.47	21 T	0.03	0.44
G-H	0.69	4124 C	0.28	0.42
H-B	0.60	3092 C	0.16	0.45
B-I	0.60	3092 C	0.16	0.45
I-J	0.69	4124 C	0.28	0.42
J-L	0.47	21 T	0.03	0.44
-----Bottom Chords-----				
A-F	0.75	3959 T	0.64	0.12
F-E	0.70	3651 T	0.59	0.12
E-D	0.70	3651 T	0.59	0.12
D-C	0.75	3959 T	0.64	0.12
-----Webs-----				
A-K	0.07	654 C		
A-G	0.78	4558 C		
G-F	0.06	218 C		1 Br
F-H	0.08	354 T		
H-E	0.39	1149 C		
E-B	0.38	1709 T		1 Br
E-I	0.39	1149 C		1 Br
I-D	0.08	354 T		
D-J	0.06	218 C		
J-C	0.78	4558 C		1 Br
C-L	0.07	654 C		

TL Defl -0.46" in F-E L/758
TL Panel -0.19" in H-B L/372
(Note - TL = 1.33LL + DL)
LL Defl -0.33" in F-E L/999
Shear // Grain in H-B 0.34

Plates for each ply each face.
PLATING CONFORMS TO TPIC 2007
CSA STANDARD C86-01, ENG.
DESIGN IN WOOD, LATEST EDITION
GRIP VALUES BASED ON NET AREA
PLATES MANUFACTURED BY
MITEK CANADA INC.
Plate - MT20 20 Ga, Net Area
Plate - MT8H 18 Ga, Net Area
Plate - MT16 16 Ga, Net Area
Jt Type Plt Size X Y JSI
K MT20 1.5x 3.0 Ctr Ctr 0.60
G MT20 4.0x 7.0 1.7-0.7 0.91
H MT20 4.0x 4.0 Ctr Ctr 0.60
B MT20 5.0x 5.0 Ctr Ctr 0.88
I MT20 4.0x 4.0 Ctr Ctr 0.60
J MT20 4.0x 7.0 1.7-0.7 0.91
L MT20 1.5x 3.0 Ctr Ctr 0.60
A MT20 5.0x 8.0 1.8 Ctr 0.89
F MT20 3.0x 4.0 Ctr Ctr 0.66
E MT20 6.0x 9.0 Ctr-0.2 0.85
D MT20 3.0x 4.0 Ctr Ctr 0.66

C MT20 5.0x 8.0-1.8 Ctr 0.89
Placement Tolerance Used 0.25 in.
Allowance For Ineffective Teeth shall be 10.0%
Allowance for Rotation on Joint shall be 5.0 deg.

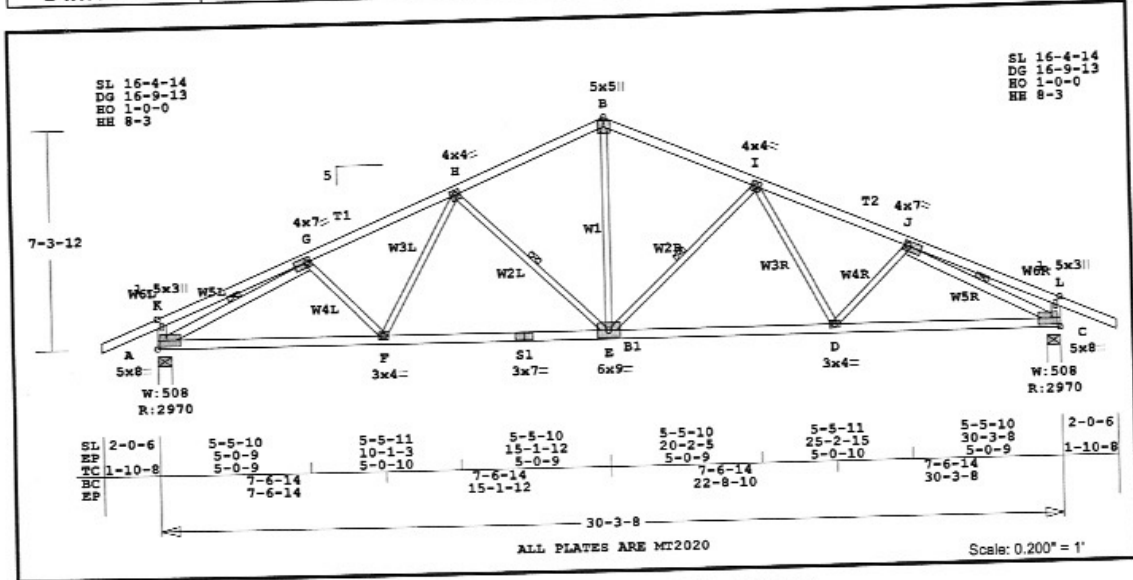
NOTES:
Trusses Manufactured by:
SELKIRK TRUSS
Analysis Conforms To:
TPIC-RES, Modified Formula
NBC2005
OH Loading
Design Roof Snow Load Use:
Ground Snow Load = 88.0 psf
Rain Load = 2.1 psf
Non-slippery Roof
Importance Factor 1.00
Exposed to Wind Factor 1.00
Balanced Load Factor 0.55
Unbalanced Load Factor 0.00



Jun 27, 2011

ROOF TRUSS ENGINEER STAMP

Job Patterson	Mark T2	Quan 6	Type TR	Span 300308	Pl-H1 5	Left OH 1-10-8	Right OH 1-10-8	Engineering
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Online Plus -- Version 27.0.005
RUN DATE: 15-JUN-11

CSI	Size	Lumber
TC	0.69 2x 4	SPP-#2B
BC	0.76 2x 4	SPP-#2B
WB	0.78 2x 4	SPP-#2B
--	0.39 2x 3	SPP-#2B
G-F	F-H	H-E E-B
E-I	I-D	D-J

Importance Category : Normal
Condition at Manufacture : Dry
Treatment : Untreated
Service Condition : Dry

Brace truss as follows:
O.C. From To
TC Cont. 0- 0- 0 30- 3- 8
BC 120.0" 0- 0- 0 30- 3- 8
One Continuous Lateral Brace
A-G H-E E-I J-C
All braces 1x4"

psf-Ld	Dead	Live	Snow
TC	3.0	0.0	50.5
BC	7.0	0.0	0.0
TC+BC	10.0	0.0	50.5
Total	60.5	Spacing	24.0"
TC Fb=1.10	Fc=1.10	Ft=1.10	
BC Fb=1.10	Fc=1.10	Ft=1.10	

Unfactored Reactions (Lbs)			
Jt	-DL-	-LL-	-SL-
A	314D	0U	1719D
C	314D	0U	1719D

TL Factored Reactions (Lbs)			
Jt	Down	Uplift	Horiz-
A	2971		
C	2971		

Jt	Brq Size	Required
A	5.5"	3.2"
C	5.5"	3.2"

Maximum Downward Loadcase							
LC#	1	TC	BC	End	From	To	
Dist Dead	6	6	0.0	0.0	30.3		
Dist Snow	101	101	0.0	0.0	30.3		
Plf BC	BC	BC	End	From	To		
Dist Dead	14	14	0.0	0.0	30.3		

MITek® Online Plus™ APPROX. TRUSS WEIGHT: 113.6 LBS

Membr	CSI	P Lbs	Ax1	CSI-End
---Top Chords---				
K-G	0.47	21 T	0.03	0.44
G-H	0.69	4119 C	0.28	0.42
H-B	0.60	3105 C	0.16	0.45
B-I	0.60	3105 C	0.16	0.45
I-J	0.69	4119 C	0.28	0.42
J-L	0.47	21 T	0.03	0.44
---Bottom Chords---				
A-F	0.76	3954 T	0.64	0.12
F-S1	0.68	3654 T	0.59	0.09
S1-E	0.70	3654 T	0.59	0.11
E-D	0.70	3654 T	0.59	0.11
D-C	0.76	3954 T	0.64	0.12
---Webs---				
A-K	0.07	654 C		
A-G	0.78	4553 C	1 Br	
G-F	0.06	218 C		
F-H	0.08	336 T		
H-E	0.39	1136 C	1 Br	
E-B	0.39	1719 T		
E-I	0.39	1136 C	1 Br	
I-D	0.08	336 T		
D-J	0.06	218 C		
J-C	0.78	4553 C	1 Br	
C-L	0.07	654 C		

TL Defl -0.44" in F-E L/809
TL Panel -0.18" in B-I L/372
(Note - TL = 1.33LL + DL)
LL Defl -0.33" in F-E L/999
Shear // Grain in H-B 0.34

Plates for each ply each face.
PLATING CONFORMS TO TPIC 2007
CSA STANDARD 086-01, ENG.
DESIGN IN WOOD, LATEST EDITION
GRIP VALUES BASED ON NET AREA
PLATES MANUFACTURED BY
MITEK CANADA INC.

Plate	MT20	20 Ga,	Net Area	
Plate	MT8H	18 Ga, <td>Net Area</td>	Net Area	
Plate	MT16	16 Ga, <td>Net Area</td>	Net Area	
Jt Type	Plt Size	X	Y	JSI
K	MT20	1.5x	3.0	0.60
G	MT20	4.0x	7.0	0.91
H	MT20	4.0x	4.0	0.60
B	MT20	5.0x	5.0	0.88
I	MT20	4.0x	4.0	0.60
J	MT20	4.0x	7.0	0.91
L	MT20	1.5x	3.0	0.60
A	MT20	5.0x	8.0	0.89
F	MT20	3.0x	4.0	0.66
S1	MT20	3.0x	7.0	0.83

E MT20 6.0x 9.0 Ctr Ctr 0.77
D MT20 3.0x 4.0 Ctr Ctr 0.66
C MT20 5.0x 8.0-1.5 Ctr 0.89

Placement Tolerance Used 0.25 in.
Allowance For Ineffective Teeth
shall be 10.0%
Allowance for Rotation on Joint
shall be 5.0 deg.

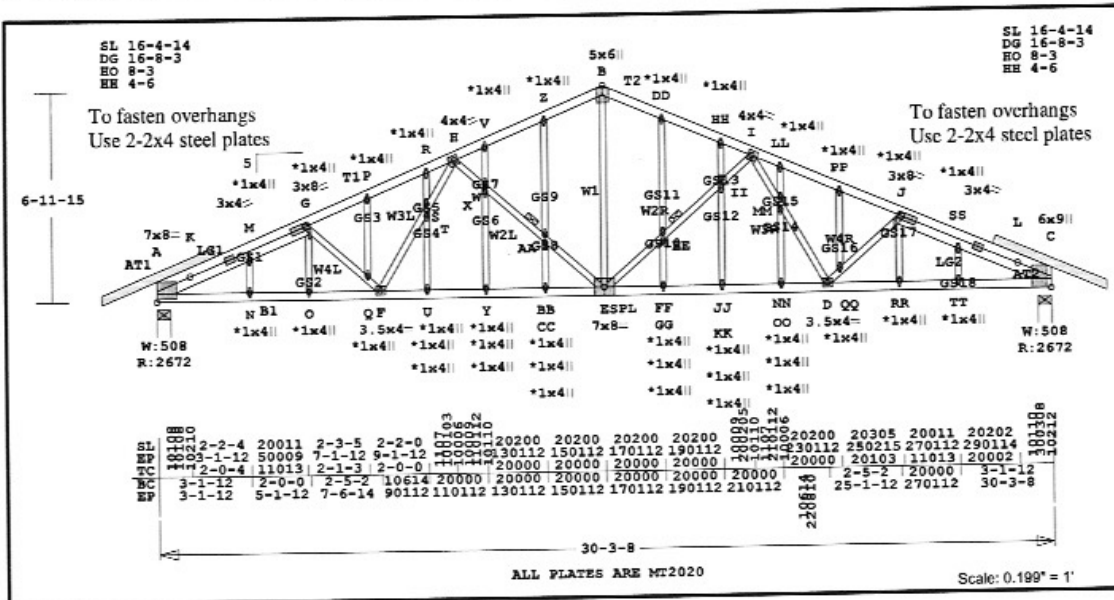
NOTES:
Trusses Manufactured by:
SELKIRK TRUSS
Analysis Conforms To:
TPIC-RES , Modified Formula
NBCC2005
OH Loading
Design Roof Snow Load Use:
Ground Snow Load = 88.0 psf
Rain Load = 2.1 psf
Non-slippery Roof
Importance Factor 1.00
Exposed to Wind Factor 1.00
Balanced Load Factor 0.55
Unbalanced Load Factor 0.00



Jun 27, 2011

ROOF TRUSS ENGINEER STAMP

Job Patterson	Mark T6	Quan 2	Type TR	Span 300308	P1-H1 5	Left OH 0	Right OH 0	Engineering
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MITek® Online Plus™ APPROX. TRUSS WEIGHT: 147.3 LBS

Online Plus -- Version 27.0.005
RUN DATE: 15-JUN-11

	CSI	-Size-	---	Lumber---
TC	0.79	2x 4	SPF-#2B	
BC	0.84	2x 4	SPF-#2B	
WB	0.42	2x 3	SPF-#2B	
SL	0.44	2x 4	SPF-#2B	
SCAB (1)	2x 4	SPF-#2B		

Importance Category : Normal
Condition at Manufacture : Dry
Treatment : Untreated
Service Condition : Dry

Brace truss as follows:
O.C. From To
TC Cont. 0-0-0 30-3-8
BC 120.0" 0-0-0 30-3-8
One Continuous Lateral Brace
H-E E-I A-G J-C
All braces 1x4"

psf=Ld	Dead	Live	Snow
TC	3.0	0.0	50.5
BC	7.0	0.0	0.0
TC+BC	10.0	0.0	50.5
Total 60.5 Spacing 24.0"			
TC Fb=1.10	Fc=1.10	Ft=1.10	
BC Fb=1.10	Fc=1.10	Ft=1.10	

Unfactored Reactions (Lbs)	Jt	-DL-	-LL-	-SL-
A	303D	OU		1529D
C	303D	OU		1529D

TL Factored Reactions (Lbs)	Jt	Down	Uplift	Horiz-
A	2673			
C	2673			

Jt	Brq Size	Required
A	5.5"	2.9"
C	5.5"	2.9"

Maximum Downward Loadcase	LC#	1	Snow Loading
Plf	TC	BC	End From To
Dist	Dead	6	0.0 30.3
Dist	Snow	101	0.0 30.3
Plf	BC	BC	End From To
Dist	Dead	14	0.0 30.3

Membr	CSI	P Lbs	Axl	CSI-Bnd
-----Top Chords-----				
A-G	0.37	2645	C	0.10 0.27
G-H	0.79	4604	C	0.35 0.44
H-B	0.63	3310	C	0.18 0.45
B-I	0.63	3310	C	0.18 0.45
I-J	0.79	4604	C	0.35 0.44
J-C	0.37	2645	C	0.10 0.27
-----Bottom Chords-----				
A-F	0.84	4619	T	0.74 0.10
F-E	0.77	4003	T	0.64 0.12
E-D	0.77	4003	T	0.64 0.12
D-C	0.84	4619	T	0.74 0.10
-----Webs-----				
G-F	0.12	485	C	
F-H	0.12	540	T	
H-E	0.42	1318	C	1 Br
E-B	0.42	1894	T	
E-I	0.42	1318	C	1 Br
I-D	0.12	540	T	
D-J	0.12	485	C	
-----Sliders-----				
A-G	0.44	2470	C	1 Br
J-C	0.44	2470	C	1 Br

TL Defl	-0.51"	in E-D	L/686
TL Panel	-0.17"	in H-B	L/391
(Note - TL = 1.33LL + DL)			
LL Defl	-0.36"	in F-E	L/969
Shear // Grain		in H-B	0.34

Plates for each ply each face.
PLATING CONFORMS TO TPIC 2007
CSA STANDARD O86-01, ENG.
DESIGN IN WOOD, LATEST EDITION
GRIP VALUES BASED ON NET AREA
PLATES MANUFACTURED BY
MITEK CANADA INC.
Plate - MT20 20 Ga, Net Area
Plate - MT8H 18 Ga, Net Area
Plate - MT16 16 Ga, Net Area
Jt Type Plt Size X Y JSI
A MT20 7.0x 8.0 4.0 0.7 0.77
A MT20 3.0x 4.0 Ctr Ctr 0.00
G MT20 3.0x 8.0-2.2-0.9 0.74
H MT20 4.0x 4.0-0.2-0.1 0.72
B MT20 5.0x 6.0 Ctr-0.2 0.70
I MT20 4.0x 4.0 0.2-0.1 0.72
J MT20 3.0x 8.0 2.2-0.9 0.74
C MT20 6.0x 9.0-5.0 0.6 0.83
C MT20 3.0x 4.0 Ctr Ctr 0.00

F	MT20	3.5x 4.0	Ctr	Ctr	0.69
E	MT20	7.0x 8.0	Ctr	Ctr	0.70
D	MT20	3.5x 4.0	Ctr	Ctr	0.69

18 Gable studs to be attached with 2.0x3.0 plates each end. Placement Tolerance Used 0.25 in. Allowance For Ineffective Teeth shall be 10.0% Allowance for Rotation on Joint shall be 5.0 deg.

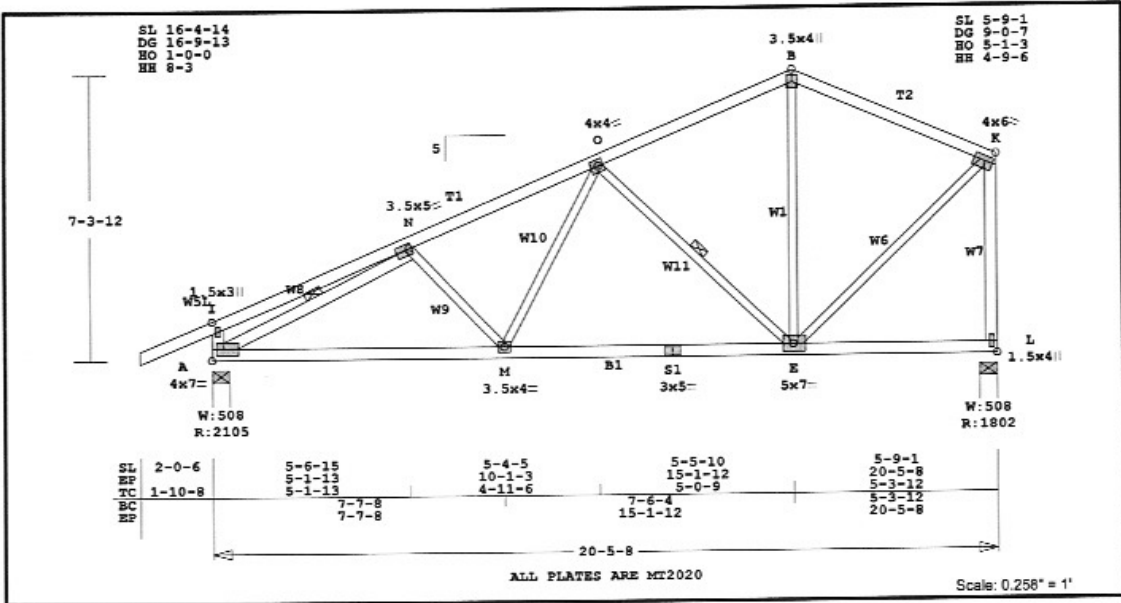
NOTES:
Trusses Manufactured by:
SELKIRK TRUSS
Analysis Conforms To:
TPIC-RES , Modified Formula
NBCC2005
Fasten each scab (shaded) with 2 rows of 3" CW nails a 6" o.c. each row, staggered along entire length.
Refer to Gen Det 3 series for web bracing and plating.
Design Roof Snow Load Use:
Ground Snow Load = 88.0 psf
Rain Load = 2.1 psf
Non-slippery Roof
Importance Factor 1.00
Exposed to Wind Factor 1.00
Balanced Load Factor 0.55
Unbalanced Load Factor 0.00



Jun 27, 2011

ROOF TRUSS ENGINEER STAMP

Job Patterson	Mark T5	Quan 7	Type TR	Span 200508	P1-H1 5	Left OH 1-10- 8	Right OH 0	Engineering
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Online Plus -- Version 27.0.005
RUN DATE: 15-JUN-11

CSI	Size	Lumber
TC	0.72 2x 4	SPF-#2B
BC	0.51 2x 4	SPF-#2B
WB	0.50 2x 4	SPF-#2B
--	0.43 2x 3	SPF-#2B
N	M	O
E	O	E
E	-K	

Importance Category : Normal
Condition at Manufacture : Dry
Treatment : Untreated
Service Condition : Dry

Brace truss as follows:
O.C. From To
TC Cont. 0- 0- 0 20- 5- 8
BC 120.0" 0- 0- 0 20- 5- 8
One Continuous Lateral Brace
A -N O -E
All braces 1x4"

psf-Ld	Dead	Live	Snow
TC	3.0	0.0	50.5
BC	7.0	0.0	0.0
TC+BC	10.0	0.0	50.5
Total	60.5	Spacing	24.0"
TC Fb=1.10	Fc=1.10	Ft=1.10	
BC Fb=1.10	Fc=1.10	Ft=1.10	

Unfactored Reactions (Lbs)			
Jt	-DL-	-LL-	-SL-
A	216D	0U	1224D
L	205D	0U	1032D

TL Factored Reactions (Lbs)			
Jt	Down	Uplift	Horiz-
A	2105		
L	1803		

Jt	Brg Size	Required
A	5.5"	2.3"
L	5.5"	2.0"

Maximum Downward Loadcase			
LC#	1	Snow Loading	
Flt	TC	Beg	End
Dist Dead	6	6	0.0
Dist Snow	101	101	0.0
Flt	BC	Beg	End

MiTek® Online Plus™ APPROX. TRUSS WEIGHT: 81.5 LBS
Dist Dead 14 14 0.0 20.5

Membr	CSI	P	Lbs	Axl	CSI-Bnd
-----Top Chords-----					
I	-N	0.50	23 T	0.03	0.47
N	-O	0.50	2318 C	0.09	0.42
O	-B	0.47	1095 C	0.02	0.45
B	-K	0.72	1065 C	0.02	0.70
-----Bottom Chords-----					
A	-M	0.51	2445 T	0.39	0.12
M	-S1	0.42	1899 T	0.31	0.11
S1	-E	0.39	1899 T	0.31	0.09
E	-L	0.11	0 T	0.00	0.11
-----Webs-----					
A	-I	0.07	659 C		
A	-N	0.49	2812 C		1 Br
N	-M	0.12	457 C		
M	-O	0.12	546 T		
O	-E	0.43	1276 C		1 Br
E	-B	0.02	85 T		
E	-K	0.30	1348 T		
L	-K	0.50	1767 C		

TL Defl -0.20" in A -M L/999
TL Panel -0.36" in B -K L/188
(Note - TL = 1.33LL + DL)
LL Defl -0.12" in M -E L/999
Shear // Grain in O -B 0.34

Plates for each ply each face.
PLATING CONFORMS TO TPIC 2007
CSA STANDARD 086-01, ENG.
DESIGN IN WOOD, LATEST EDITION
GRIP VALUES BASED ON NET AREA
PLATES MANUFACTURED BY
MITEK CANADA INC.
Plate - MT20 20 Ga, Net Area
Plate - MPBH 18 Ga, Net Area
Plate - MT16 16 Ga, Net Area
Jt Type Plt Size X Y JSI
I MT20 1.5x 3.0 Ctr Ctr 0.60
N MT20 3.5x 5.0-1.5-0.7 0.76
O MT20 4.0x 4.0-0.2-0.1 0.69
B MT20 3.5x 4.0 Ctr Ctr 0.55
K MT20 4.0x 6.0-0.4-0.3 0.82
A MT20 4.0x 7.0 1.2 Ctr 0.78
M MT20 3.5x 4.0 Ctr Ctr 0.74
S1 MT20 3.0x 5.0 Ctr Ctr 0.77
E MT20 5.0x 7.0 0.2 Ctr 0.74
L MT20 1.5x 4.0 Ctr Ctr 0.71

Placement Tolerance Used 0.25 in.

Allowance For Ineffective Teeth shall be 10.0%
Allowance for Rotation on Joint shall be 5.0 deg.

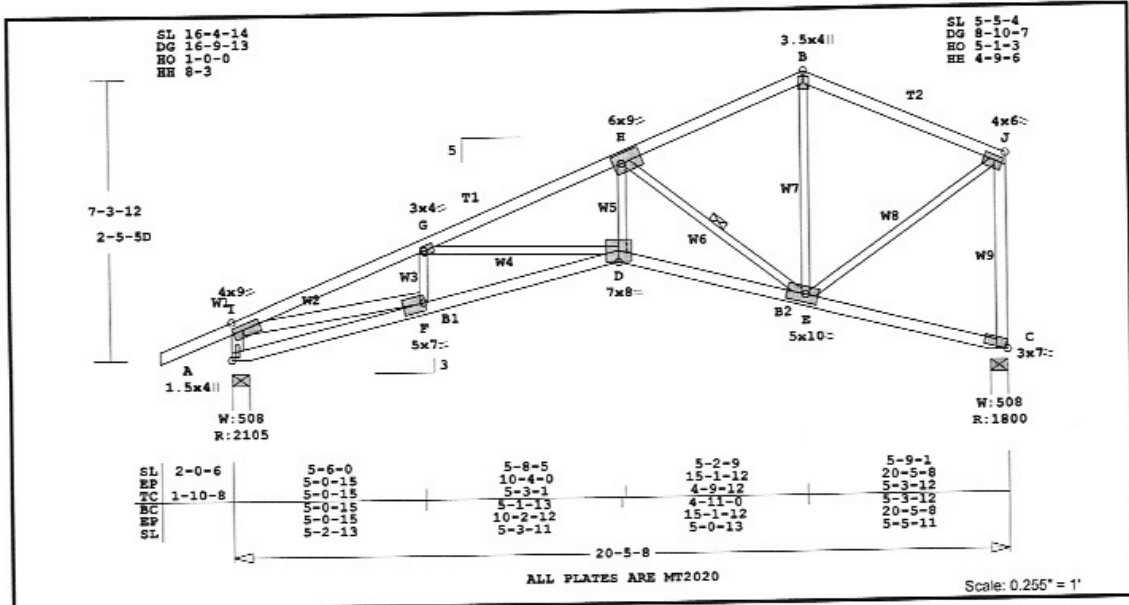
NOTES:
Trusses Manufactured by:
SELKIRK TRUSS
Analysis Conforms To:
TPIC-RES , Modified Formula
NBCC2005
OH Loading
Design Roof Snow Load Use:
Ground Snow Load = 88.0 psf
Rain Load = 2.1 psf
Non-slippery Roof
Importance Factor 1.00
Exposed to Wind Factor 1.00
Balanced Load Factor 0.55
Unbalanced Load Factor 0.00



Jun 27, 2011

ROOF TRUSS ENGINEER STAMP

Job Patterson	Mark T4	Quan 15	Type SP	Span 200508	P1-H1 5	Left OH 1-10- 8	Right OH 0	Engineering
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MiTek® Online Plus™ APPROX. TRUSS WEIGHT: 79.4 LBS

Online Plus -- Version 27.0.005
RUN DATE: 15-JUN-11

CSI -Size- ---Lumber---
TC 0.73 2x 4 SPF-#2B
BC 0.79 2x 4 SPF-#2B
WB 0.81 2x 3 SPF-#2B
-- 0.67 2x 4 SPF-#2B
A -I I -F C -J

Importance Category : Normal
Condition at Manufacture : Dry
Treatment : Untreated
Service Condition : Dry

Brace truss as follows:

O.C. From To
TC Cont. 0- 0- 0 20- 5- 8
BC 72.0" 0- 0- 0 20- 5- 8
One Continuous Lateral Brace
H -E
All braces 1x4"

psf-lb	Dead	Live	Snow
TC	3.0	0.0	50.5
BC	7.0	0.0	0.0
TC+BC	10.0	0.0	50.5
Total	60.5	Spacing 24.0"	
TC Fb=1.10	Fc=1.10	Ft=1.10	
BC Fb=1.10	Fc=1.10	Ft=1.10	

Unfactored Reactions (Lbs)		
Jt	-DL-	-LL-
A	216D	OU
C	202D	OU

TL Factored Reactions (Lbs)		
Jt	Down	Uplift Horiz-
A	2105	
C	1800	

Jt	Brg Size	Required
A	5.5"	2.3"
C	5.5"	1.5"

Maximum Downward Loadcase					
LC#	1	Snow Loading			
Plf	TC	Beq	End	From	To
Dist	Dead	6	0.0	20.5	
Dist	Snow	101	101	0.0	20.5
Plf	BC	Beq	End	From	To
Dist	Dead	14	14	0.0	20.5

Membr	CSI	P Lbs	Ax1	CSI-End
-----Top Chords-----				
I -G	0.73	4491 C	0.32	0.41
G -H	0.66	3996 C	0.27	0.38
H -B	0.43	1317 C	0.03	0.40
B -J	0.73	1287 C	0.03	0.70
-----Bottom Chords-----				
A -F	0.11	1 C	0.00	0.11
F -D	0.79	4295 T	0.69	0.10
D -E	0.67	3716 T	0.60	0.08
E -C	0.09	2 T	0.00	0.08
-----Webs-----				
A -I	0.21	2053 C		
I -F	0.67	4179 T		
F -G	0.09	625 C		
G -D	0.23	474 C		
D -H	0.46	2061 T		
H -E	0.81	3077 C	1 Br	
E -B	0.06	273 T		
E -J	0.33	1453 T		
C -J	0.57	1766 C		

TL Defl -0.45" in F -D L/524
TL Panel -0.36" in B -J L/188
(Note - TL = 1.33LL + DL)
LL Defl -0.36" in F -D L/660
Hz Disp LL DL TL
Jt C 0.23" 0.05" 0.28"
Shear // Grain in I -G 0.32

Plates for each ply each face.
PLATING CONFORMS TO TPIC 2007
CSA STANDARD O86-01, ENG.
DESIGN IN WOOD, LATEST EDITION
GRIP VALUES BASED ON NET AREA
PLATES MANUFACTURED BY
MITEK CANADA INC.
Plate - MT20 20 Ga, Net Area
Plate - M78H 18 Ga, Net Area
Plate - MT16 16 Ga, Net Area
Jt Type Plt Size X Y JSI
I MT20 4.0x 9.0 1.4 0.2 0.90
G MT20 3.0x 4.0 Ctr Ctr 0.60
H MT20 6.0x 9.0 0.5 0.2 0.83
B MT20 3.5x 4.0 Ctr Ctr 0.65
J MT20 4.0x 6.0-0.4-0.3 0.77
A MT20 1.5x 4.0 Ctr 0.3 0.77
F MT20 5.0x 7.0-3.0-0.6 0.89
D MT20 7.0x 8.0 Ctr-0.1 0.82
E MT20 5.0x10.0-1.0 0.2 0.87
C MT20 3.0x 7.0-0.3 1.1 0.87

Placement Tolerance Used 0.25 in.
Allowance For Ineffective Teeth
shall be 10.0%
Allowance for Rotation on Joint
shall be 5.0 deg.

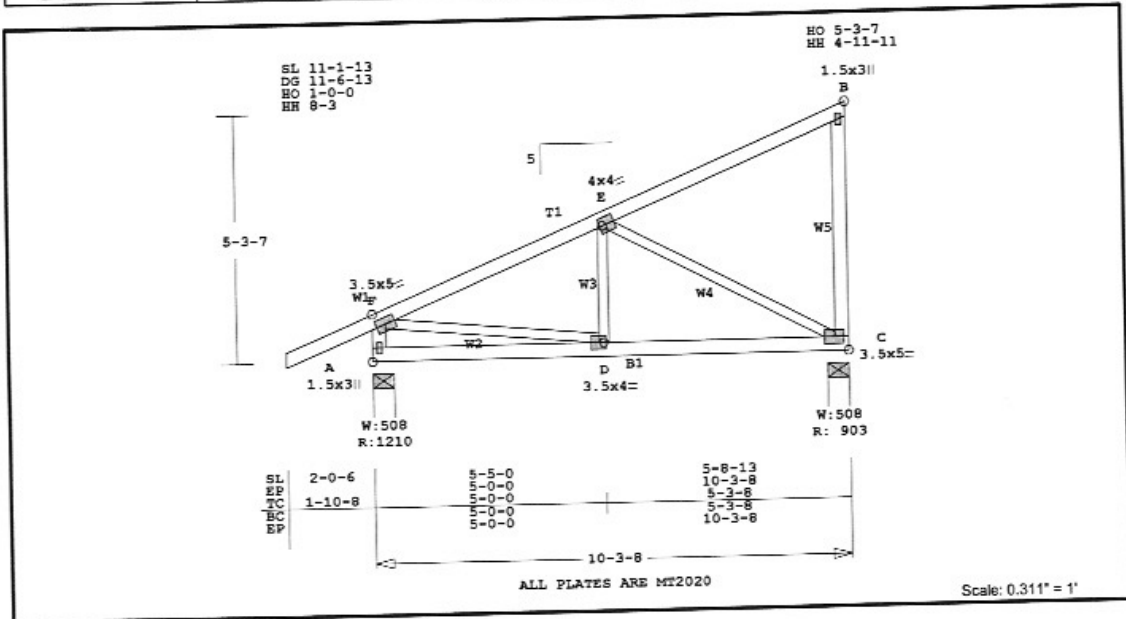
NOTES:
Trusses Manufactured by:
SELKIRK TRUSS
Analysis Conforms To:
TPIC-RES , Modified Formula
NBCC2005
OH Loading
Design Roof Snow Load Use:
Ground Snow Load = 88.0 psf
Rain Load = 2.1 psf
Non-slippery Roof
Importance Factor 1.00
Exposed to Wind Factor 1.00
Balanced Load Factor 0.55
Unbalanced Load Factor 0.00



Jun 27, 2011

ROOF TRUSS ENGINEER STAMP

Job Patterson	Mark T7	Quan 22	Type MONO	Span 100308	P1-H1 5	Left OH 1-10- 8	Right OH 0	Engineering
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Online Plus -- Version 27.0.005
RUN DATE: 15-JUN-11

CSI -Size- ---Lumber---
TC 0.50 2x 4 SPF-#2B
BC 0.21 2x 4 SPF-#2B
WB 0.64 2x 3 SPF-#2B
-- 0.12 2x 4 SPF-#2B
A -F C -B

Importance Category : Normal
Condition at Manufacture : Dry
Treatment : Untreated
Service Condition : Dry

Brace truss as follows:

O.C.	From	To
TC Cont.	0-0-0	10-3-8
BC	0-0-0	10-3-8

psf-Ld	Dead	Live	Snow
TC	3.0	0.0	50.5
BC	7.0	0.0	0.0
TC+BC	10.0	0.0	50.5
Total	60.5	0.0	50.5
Spacing 24.0"			
TC Fb=1.10	Fc=1.10	Ft=1.10	
BC Fb=1.10	Fc=1.10	Ft=1.10	

Unfactored Reactions (Lbs)

Jt	-DL-	-LL-	-SL-
A	114D	0U	712D
C	103D	0U	517D

TL Factored Reactions (Lbs)

Jt	Down	Uplift	Horiz-
A	1210		
C	904		

Jt	Brg Size	Required
A	5.5"	1.5"
C	5.5"	1.5"

Maximum Downward Loadcase
LC# 1 Snow Loading
Plf TC Beg End From To

Mitek® Online Plus™ APPROX. TRUSS WEIGHT: 40.4 LBS

Dist	Dead	6	6	0.0	10.3
Dist	Snow	101	101	0.0	10.3
Plf	BC	Beg	End	From	To
Dist	Dead	14	14	0.0	10.3

Membr CSI P Lbs Ax1-CSI-Bnd

-----Top Chords-----
F -E 0.50 1009 C 0.02 0.48
E -B 0.48 34 C 0.00 0.48

-----Bottom Chords-----
A -D 0.06 0 T 0.00 0.06
D -C 0.21 962 T 0.15 0.06

-----Webs-----
A -F 0.12 1172 C
F -D 0.22 974 T
D -E 0.01 49 C
E -C 0.64 1093 C
C -B 0.10 342 C

TL Defl -0.05" in D -C L/999
TL Panel -0.17" in E -B L/396
(Note - TL = 1.33LL + DL)
LL Defl -0.03" in A -D L/999
Shear // Grain in E -B 0.35

Plates for each ply each face.
PLATING CONFORMS TO TPIC 2007
CSA STANDARD 086-01, ENG.
DESIGN IN WOOD, LATEST EDITION
GRIP VALUES BASED ON NET AREA
PLATES MANUFACTURED BY
MITEK CANADA INC.

Plate	MT20	20 Ga,	Net Area		
Plate	MT8H	18 Ga,	Net Area		
Plate	MT16	16 Ga,	Net Area		
Jt Type	Plt Size	X	Y	JSI	
F	MT20	3.5x	5.0	Ctr Ctr	0.71
E	MT20	4.0x	4.0	Ctr Ctr	0.60
B	MT20	1.5x	3.0	Ctr Ctr	0.35
A	MT20	1.5x	3.0	Ctr Ctr	0.70
D	MT20	3.5x	4.0-1.5	0.1	0.70
C	MT20	3.5x	5.0-0.2	Ctr	0.72

Placement Tolerance Used 0.25 in.
Allowance For Ineffective Teeth

shall be 10.0%
Allowance for Rotation on Joint
shall be 5.0 deg.

NOTES:

Trusses Manufactured by:

SELKIRK TRUSS

Analysis Conforms To:

TPIC-RES , Modified Formula
NBCC2005

OH Loading

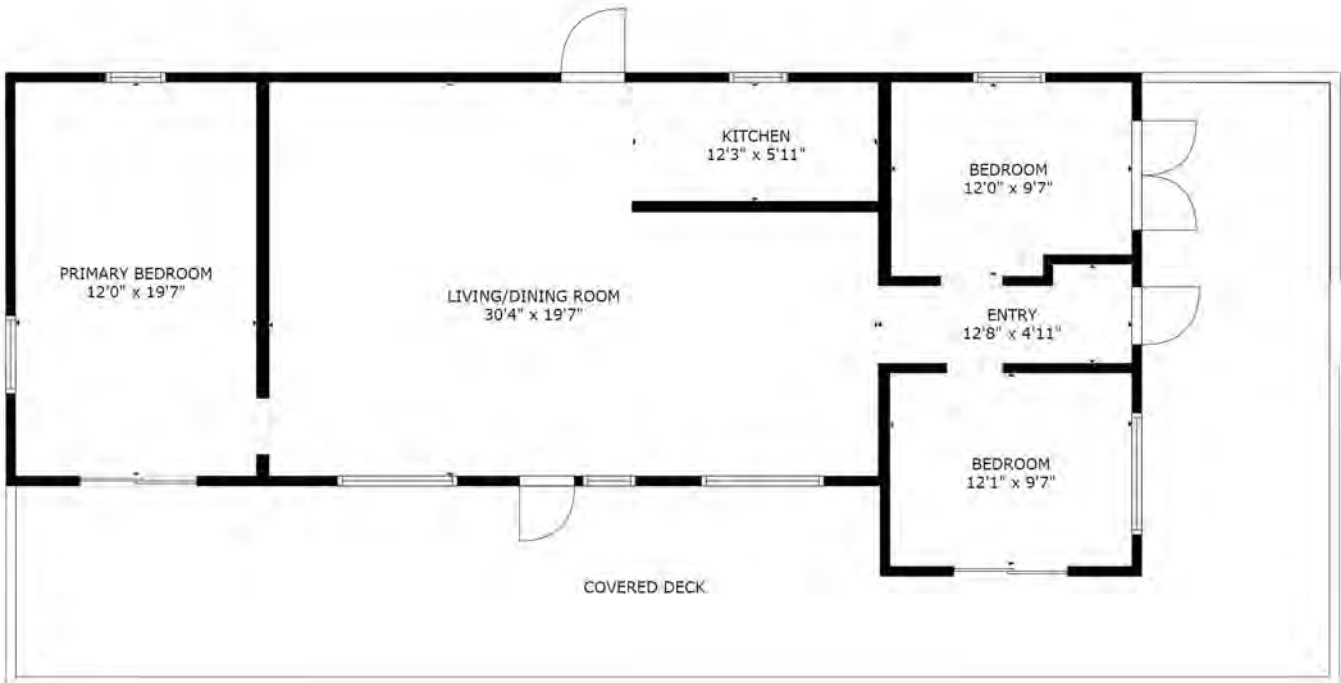
Design Roof Snow Load Use:

Ground Snow Load = 88.0 psf
Rain Load = 2.1 psf
Non-slippery Roof
Importance Factor 1.00
Exposed to Wind Factor 1.00
Balanced Load Factor 0.55
Unbalanced Load Factor 0.00



Jun 27, 2011

FLOOR PLANS



FLOOR 1

GROSS INTERNAL AREA
FLOOR 1: 1143 sq. ft
TOTAL: 1143 sq. ft
SIZES AND DIMENSIONS ARE APPROXIMATE, ACTUAL MAY VARY.

RDCK MAP



RDCK Property Report

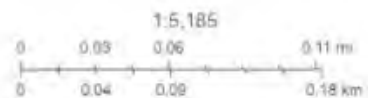
Area of Interest (AOI) Information

Area : 3.28 acres

Aug 23 2021 12:27:1 Eastern Daylight Time



- Legal Parcel Report
- Electoral Areas
- Cadastre - Legal Parcels



Source: Esri, Airphoto, USGS, NOAA, IGN, SNG, Swatch, NGA, GEBCO, NOAA, NCEM, NGA, Esri, BAA, GeoEye, AeroGRID, IGN, Esri, DeLorme, FEMA, Itasca and the GIS User Community. Sources: Esri, HERE, DeLorme, Mapbox, OpenStreetMap contributors, and the GIS User Community

RDCK REPORT

Summary

Name	Count	Area(acres)	Length(mi)
Cadastre - Legal Parcels	1	3.28	-
Civic Address	0	-	-
Electoral Areas	1	3.28	-
Fire Service Areas	0	0	-
Water Systems	0	0	-
Zoning	0	0	-
Official Community Plan	1	3.28	-
Agriculture Land Reserve	0	0	-
Non Standard Flooding Erosion Area	0	0	-
Flood Construction Levels - 1990	0	0	-

Cadastre - Legal Parcels

#	Folio	PID	Site Address	Actual Use	Plan Number
1	707.22148.010	018-314-171	SLOCAN LAKE BOAT ACCESS, RDCK REGION	2 Acres Or More (Single Family Dwelling, Duplex)	NEP20595

#	LTO Number	Lot	Block	District Lot	Land District
1	XJ9631	1	-	10396	KOOTENAY

#	Legal Long	Lot Size	Lot Description	Area(acres)
1	LOT 1 PLAN NEP20595 DISTRICT LOT 10396 KOOTENAY LAND DISTRICT	3.237	ACRES	3.28

Electoral Areas

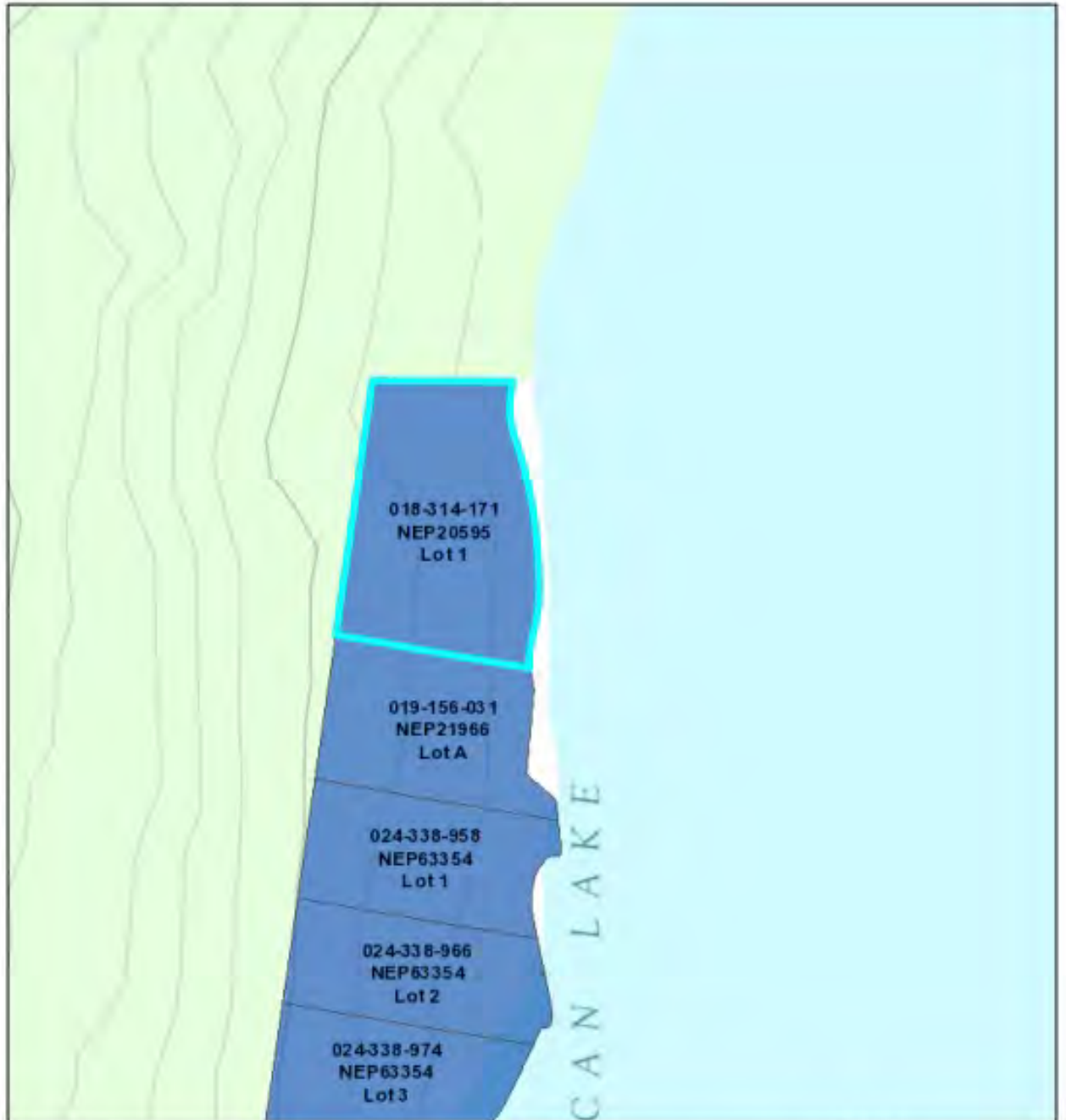
#	Area Name	Director	Area(acres)
1	Electoral Area H - The Slocan Valley	Walter Popoff	3.28

Official Community Plan

#	Class	ClassDescription	Bylaw	DPA	Area(acres)
1	R3	-	1967	No	3.28

The mapping information shown are approximate representations and should be used for reference purposes only.

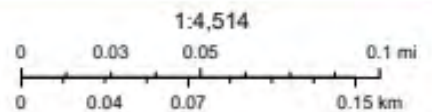
LTSA MAP



August 23, 2021

Parcels By Class

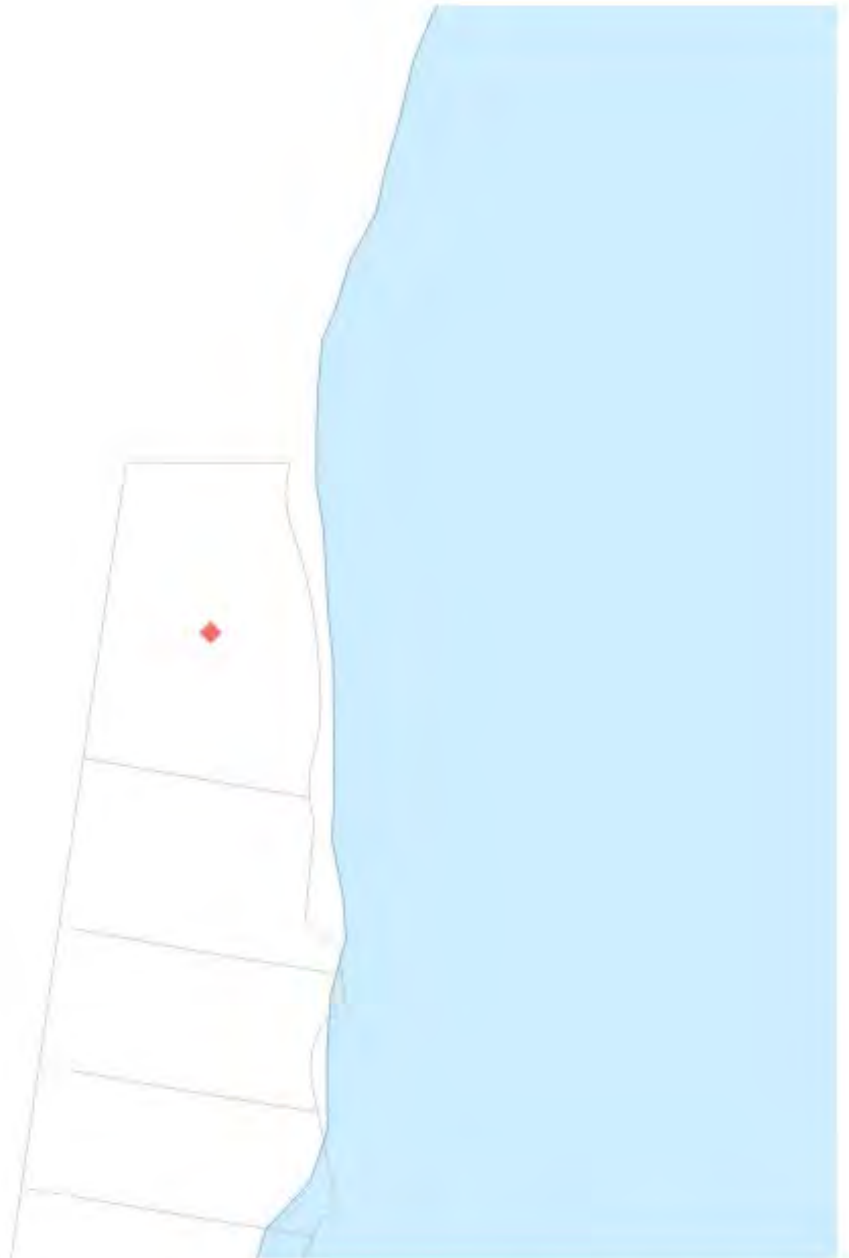
- | | | |
|-------------------|------------------|-------------------|
| Air Space | Bare Land Strata | Crown Subdivision |
| Subdivision | Common Ownership | Part of Primary |
| Absolute Fee Book | Park | Primary |
| Building Strata | Road | Interest Parcels |
| | Return To Crown | |



GeoBC, DataBC, TomTom, © OpenStreetMap contributors

UTILITIES MAP

Utilities



Legend

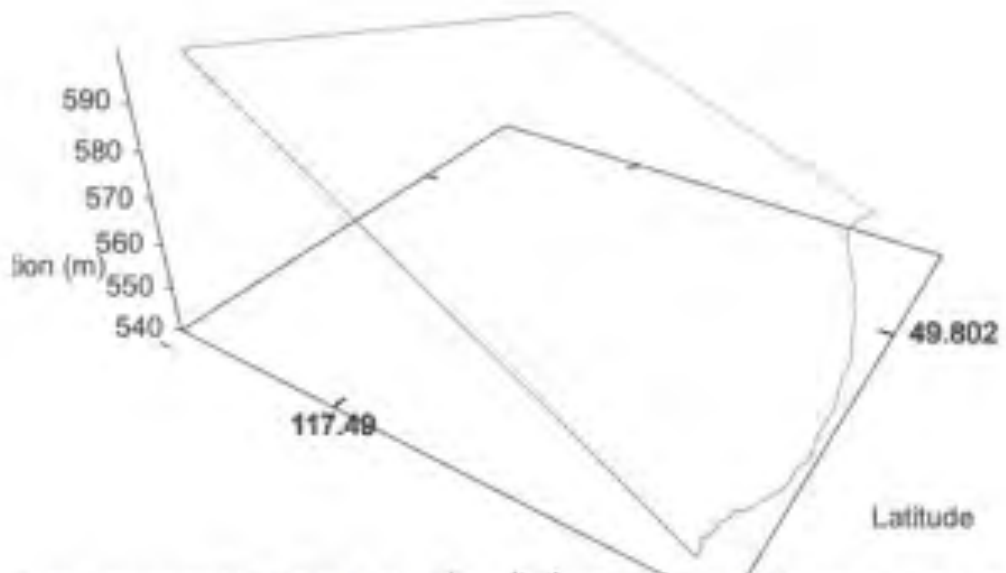
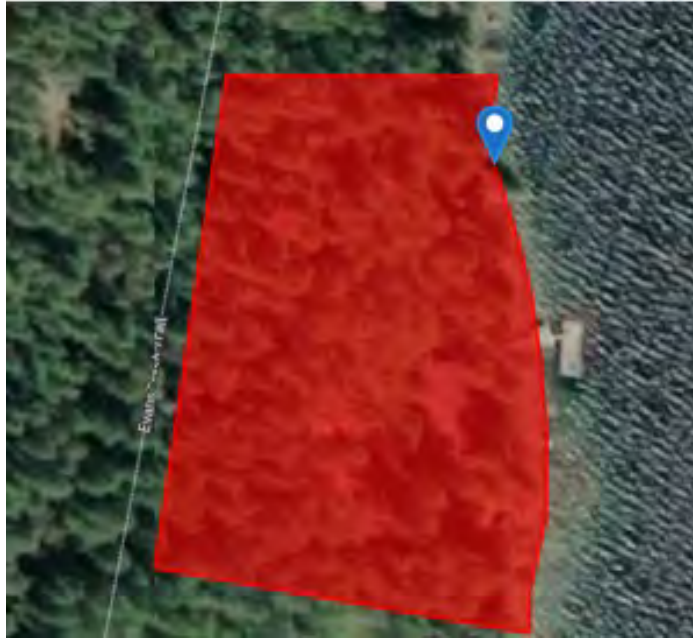
- Hydrant
- Main Line
- Lakes and Rivers

- Stand Pipe
- NON RDCK
- Cadastre - Legal Parcels

- Other
- RDCK OWNED
- RDCK Roads

- Valves
- Water Service Connections
- Streams and Shorelines
- Civic Address

ELEVATION



Max Elevation: 595.68 m | Min Elevation: 544.04 m | Difference: 51.64 m

FLOOD MAP

Flood and Hazard



Legend

- Flood Construction Levels - 1990
- Streams and Shorelines
- Civic Address
- Non Standard Flooding Erosion Area
- Lakes and Rivers
- Slide Hazard
- Cadastral - Legal Parcels
- Slovan Valley GeoHazard
- RDCK Roads

ZONING – R3 RURAL RESIDENTIAL

General Residential Policies

The Regional Board:

1. Will assess and evaluate proposed residential development based on the following criteria, irrespective of land use designation:
 - a. capability of accommodating on-site domestic water and sewage disposal;
 - b. capability of the natural environment to support the proposed development, and its impact on important habitat and riparian areas;
 - c. susceptibility to natural hazards including but not limited to flooding, slope instability or wildfire risk;
 - d. compatibility with adjacent land uses and designations, and how its form and character enhances the character of the rural area;
 - e. proximity and access to existing road network, and other community and essential services;
 - f. mitigation of visual impacts where development is proposed on hillsides and other visually sensitive areas; and
 - g. type, timing and staging of the development.
2. Encourages future residential development to locations away from Slocan Lake to protect this important natural resource, reducing human impact on the lake and maintaining and improving water quality and natural habitat.
3. Encourages a variety of housing tenures and organizational frameworks, including affordable housing, seniors housing, lease, rental, strata title, and co-operative housing.
4. Provides for affordable housing in the form of permitting secondary suites and garage suites in residential designations subject to specific regulations. Secondary suites and garage suites will be permitted subject to:
 - a. Suites and garage suites will not exceed 40% of the floor area of the principal dwelling;

Slocan Lake North portion of Electoral Area 'H' Official Community Plan Bylaw 1967, 2009
Page 19

- b. Proof of adequate water supply to support full-time or seasonal residency and fire protection;
 - c. Means of sewage disposal;
 - d. Provision of adequate off-street parking
5. Will permit the use of cottages as a full-time affordable housing option for family care, market or rental accommodation provided that the maximum floor area not exceed 90 square metres (968 square feet) and in circumstances whereas:
 - a. The subject property is 1 ha (2.47 acres) in area or larger;
 - b. Proof of adequate domestic water supply to support full-time residency and fire protection;
 - c. Means of sewage disposal;
 - d. Provision of adequate off-street parking

Rural Residential (R3) Policies

The Regional Board:

1. Directs that the principal use shall be single detached or duplex dwellings.
2. Directs that the minimum lot size be 2.0 ha (4.94 acres).

Top 5 Community Values in Slocan Lake North

1. *Clean air and water*
2. *Scenic beauty*
3. *Peace and quiet*
4. *Privacy*
5. *Country living*

COMMUNITY INFORMATION

Type	Centre	Distance (km)	Driving Time
School	W.E. Graham Elementary & Secondary School	500m	2 min
Shopping	Downtown Slocan	130m	1 min
	Downtown Winlaw	20	15 min
	Downtown New Denver	32.2	26 min
Airport	West Kootenay Regional Airport, Castlegar	65.6	48 min
	Nakusp Airport	81.2	1 hr 3 min
Major Cities	Kaslo, BC	78.2	1 hr 6 min
	Nelson, BC	69.3	55 min
	Silverton, BC	27.6	22 min
	Castlegar, BC	68.6	53 min
	Calgary, AB	589	7 hr 7 min
	Vancouver, BC	709	8 hr 12 min
Hospital/ Medical Centre	Slocan Community Health and Wellness Centre	750m	1 min
	Castlegar and District Community Health Centre, Castlegar	69.6	53 min
	Kootenay Lake Hospital, Nelson	70	55 min
Dentist	Kootenay Lake Dental Clinic, Nelson	69.1	53 min
	Nelson Ave Dental Clinic, Nelson	71.3	56 min
	Silverton Dental Clinic, Silverton	27.5	22 min
Postal Services	Canada Post, Slocan	220m	1 min
Library	Slocan Community Library	300m	1 min

Slocan Valley

The distinct historical origins of each community in the Slocan Valley have shaped what they are today. Each community has its own flavour and character and are home to friendly and closely-tied residents. The Slocan Valley is comprised of three municipalities in the north: New Denver, Silverton and the Village of Slocan, and roughly 18 other unincorporated communities in Area H of the Regional District of Central Kootenay (RDCK). In the south end of the Valley, communities like Crescent Valley, Slocan Park and Winlaw offer a variety of services for locals and visitors.

Attractions

Explore Slocan City by taking in their beautiful views, local shops and down-to-earth attractions. From taking a calming walk along Slocan Lake Beach to getting an adrenaline rush rock climbing on the Slocan Bluffs. There is something for everyone to do. The beautiful Valhalla Provincial Park has tons of views of the Selkirk Mountains and many hiking trails to explore. Boating, sport fishing, swimming, water-skiing, kayaking, canoeing, camping, scuba diving, hiking, mountain & tour biking, ATV touring, golfing, horseback riding, cross-country skiing, snowmobiling, cat-skiing, heli-skiing, paragliding.

Weather	
Average Yearly Rainfall (mm): 691	Average Yearly Snowfall (cm): 188.9
Average Highest Temperature (c): 22.8	Average Lowest Temperature (c): -4.3

COMMUNITY INFORMATION

SLOCAN

Eat

<https://slocanlakechamber.com/visitors/food/>
<https://slocanvalley.com/valley-directory/categories/food-restaurants/>

Stay

<https://www.hellobc.com/plan-your-trip/accommodations/?location=Slocan>
<https://slocanvalley.com/valley-directory/categories/accommodations/>
<https://slocanlakechamber.com/visitors/accommodation/>

Play

<https://slocanvalley.com/events/>
<https://www.slocanvalleychamber.com/play>
<https://slocanvalley.com/explore/>
<https://slocanlakechamber.com/visitors/attractions/>
<https://www.hellobc.com/places-to-go/kootenays/>

Government/Regulatory

[Affordable Housing Advisory Commission](#)
[Bylaws/Zoning](#)
[Mobile Home Registry](#)
[Building Permits](#)
[Homeowner Protection Office](#)
[Front Counter BC](#)
[Interior Health Rural Water System Samples](#)
[Canadian Immigration](#)
[More Links](#)

Education

K-12 – *W.E Graham Community School*
<https://weg.sd8.bc.ca/>
<https://www.sd8.bc.ca/>

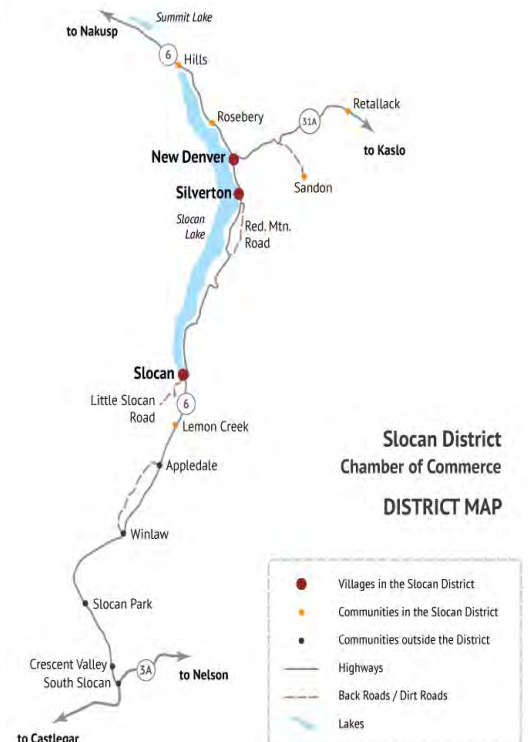
Healthcare

The Slocan Community Health Centre is a primary care centre with residential care, 24/7 emergency services, an ambulance, lab, X-ray, a hospice room and a medical clinic staffed by three physicians on a rotational basis plus a nurse practitioner. A chiropractor and a massage therapist come to the centre once a week.

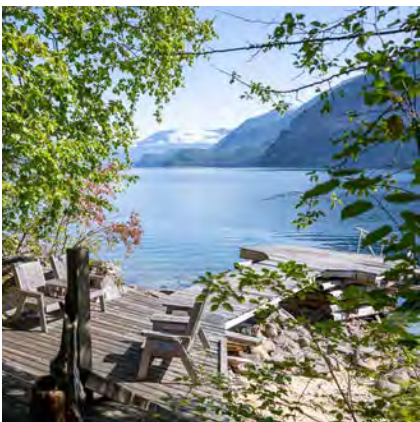
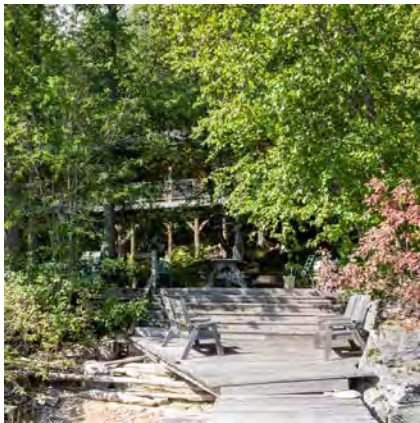
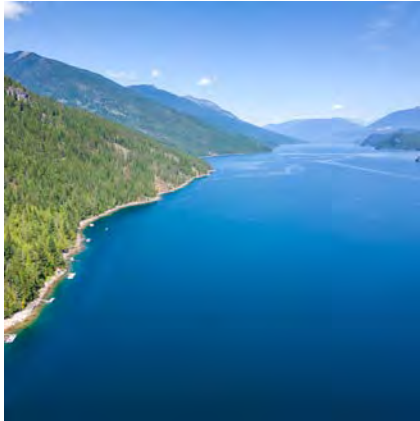
<https://www.slocanvalleychamber.com/healthcare>
<https://www.interiorhealth.ca/>
<https://www2.gov.bc.ca/gov/content/health>

Transportation

<https://www.bctransit.com/west-kootenay>



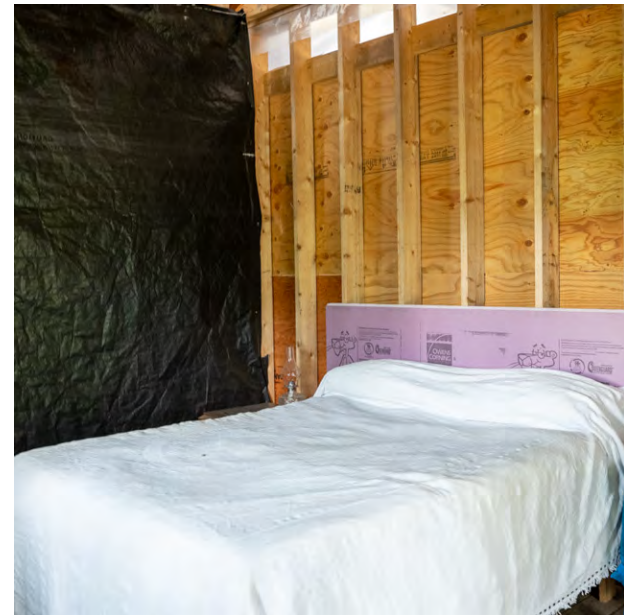
PICTURES



PICTURES



PICTURES



RESOURCES

Kul Nijjar, Your Kootenay Property Matchmaker:

<http://kootenaybc.com>

Slocan City:

<http://www.slocancity.com/>

Slocan History:

<http://www.slocancity.com/history/>

Chamber of Commerce:

<https://www.slocanvalleychamber.com/>

Slocan Attraction Guide:

<http://www.slocancity.com/attractions/>

Regional District of Central Kootenay: For building permits, land use and planning, fire services, parks and recreation etc. inside the Regional District of Central Kootenay

<http://www.rdck.ca/>

Emergency Information: current notices on emergency alerts and declarations

<http://www.rdck.ca/EN/main/services/emergency-management/emergency-response1/evacuation-order-and-alert-page.html>

Water and Waste Disposal:

<http://www.slocancity.com/utilities-water-garbage/>

Recycling Disposal: Slocan Transfer Station

<https://www.rdck.ca/EN/main/services/waste-recycling/waste-disposal/slocan-transfer-station.html>

Satellite TV Providers:

Shaw: <https://www.shaw.ca/tv/satellite-tv>

Internet

Columbia Wireless: <http://columbiawireless.ca/>

Telus: <https://www.telus.com>

Hospital: Slocan Health and Wellness Centre:

<http://www.slocancity.com/wellness-center/>

Post Office

Canada Post: <https://www.canadapost.ca>